# Perkasie Borough Planning Commission Meeting December 10, 2025

#### **AGENDA**

- 1. Meeting Convenes 7:00 PM
- 2. Pledge of Allegiance
- 3. Approval of Minutes from October 22, 2025
- 4. Public Forum
- 5. New Business
  - PRA Booster Pump Land Development Application
- 6. Old Business
  - Accessory Dwelling Unit Use Discussion
  - Economic Development Update Discussion
- 7. Other Business
- 8. Adjournment

#### Minutes of Meeting Perkasie Planning Commission October 22, 2025

620 W. Chestnut Street Perkasie, PA 18944

Attendance: Planning Commission

Maureen Knouse
Heather Nunn
Mairi Schuler
Mary McKay
Dave Weaver (Absent)
Dale Schlegel
Kim Bartells
Kelly Laustsen (Absent)
Quinten Baker

Borough of Perkasie:

Cassandra L. Grillo, Borough Zoning Officer Adrianne Blank, R.L.A., Borough Planner Sean Gresh, Borough Solicitor

#### Call to Order

Chairperson Maureen Knouse called the meeting to order at **7:03 PM**. The Pledge of Allegiance was recited. A quorum was present, and business before the Commission was acknowledged.

#### **Approval of Minutes**

Upon a motion by **Mari Schuler**, seconded by **Dale Schlegel**, the minutes of the **September 24, 2025** Planning Commission meeting—with noted spelling corrections—were unanimously approved.

#### **Old Business**

#### Accessory Dwelling Unit (ADU) Discussion

The Planning Commission continued its discussion regarding the regulation of **Accessory Dwelling Units (ADUs)**. Topics reviewed included minimum lot sizes, permitted residential districts, allowable ADU types, size limitations, parking, and potential occupancy regulations.

Following discussion, the Planning Commission reached consensus on the following **preliminary recommendations**:

#### **ADU Recommendations (Commission Consensus)**

#### **Approval Method:**

- ADUs should be permitted by right in all residential zoning districts: R-1A, R-1B, R-2, and R-3.
- ADUs would be permitted on single-family detached and single-family attached (twin) dwellings.

#### Types of ADUs:

• All sample ADU types reviewed should be permitted, including detached ADUs.

#### Size and Design Standards:

- ADUs may contain no more than one (1) bedroom.
- ADUs must comply with the district's lot size, setback, impervious coverage, and building coverage requirements.
- Maximum ADU size shall be no more than 35% of the existing principal dwelling's habitable floor area and not exceed 800 square feet.
- Detached ADUs must maintain a minimum 15-foot separation from the principal dwelling.
- Height restriction: ADUs shall be no higher than the existing roofline of the principal structure and may not exceed 24 feet in height.

#### **Occupancy & Rental Regulations:**

- Long-term rentals are permitted.
- Short-term rentals (e.g., Airbnb, VRBO) are prohibited.
- Include a deed restriction requiring the property to remain owner-occupied.

#### Parking Requirement:

Provide one (1) off-street parking space per bedroom.

#### Impact Fee:

• An impact fee should apply; details to be determined during ordinance drafting.

After no further discussion regarding ADUs the Commission moved to adjourn.

#### Adjournment:

Wi	th	no	furt	her	busines	s, the	meeti	ng ad	journed	at 8:5	6 pm.
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•	Heather Nunn - Secretary



620 W. Chestnut St P.O. Box 96 Perkasie, PA 18944

(215)257-5065 Fax (215)257-6875

#### SUBDIVISION/LAND DEVELOPMENT APPLICATION

	$\cdot$	
Date of Application:	11/7/25	_ Date of Plan or Revision: 11/1/25
APPLICATION FOR		` /
☐ Subdivision	□Sketch Plan Formal or Informal (Circ	
以Land Development	□Preliminary Plan	Minor Subdivision
	ଷ୍ଟFinal Plan	
NAME of Subdivision or	Land Development: <u>R</u>	Ridge Road Booster Punp To be the name for the Duration of the Project
Location: Ridge	Avenue and	Ridge Road, Perkasie, PA, 18944
	-003-011	V
Total Acreage Gross:	2.08 acres	Net Buildable Site Area: 1.48 acres
ZONING REQUIREM		
Zoning District R -	2 Minimum Lot Size	e
		r 280.2 Number of Lots or Dwelling Units:
Water Supply: □Private	<b>⊠</b> Public	
Sewer Service: □On-Lot	□Public	
		olas Fretz
Address: 150 Rid Sellersville, APPLICANT: Nicha	Je Road, Su Jra, 18960 Las Fretz	ite 1 Phone: 215-257-3654
had proposed the second of the second		uthorityarg Phone: 215-257-3654
	•	1, Sellersville, PA, 18960
REGISTERED ENGINEER C	or surveyor: <u>Sear</u>	n Torpey
mail: Storpey@	pennani.com	Phone: 215 - 257 - 5711
pietinion podrikijamišano o -		The state of the s

Address: 150 Ridge Road, Suite 2, Sellers ville, PA, 18960

This is to certify that I have read the Perkasie Borough Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of the ordinance to the best of my knowledge.

Signature of Property Owner

Signature of Registered Engineer or Surveyor

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(215)257-5065 Fax (215)257-6875

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#### Subdivision & Land Development Plan Submission Checklist

Date of Application: 11/7/25
Subdivision/Land Development Name: Ridge Road Booster Pump
Subdivision/Land Development Name: Ridge Road Booster Pump  Address of Property: Ridge Avenue and Ridge Road, Perkasie, PA, 18944
Owner(s) Name: Nicholas Fretz
Applicants Name: Nicholas Fretz
Tax Map Parcel Number: 33-003-011
Plan Sets – <u>Folded</u> to 8 ½ x 11: (11 Total)
Planning Commission — 8 CopiesXBoro File — 2 Copies
Borough Engineer — 1 Copy
The applicant must show <b>proof of submission</b> to the outside agencies listed below, as applicable, (stamped copy or cover letters and copy of application form). The following plan sets are subject to the requirements of the outside agency and <b>must be submitted to the outside agency by the applicant</b> .
N/A Bucks County Planning Commission (1 Copy)
Bucks County Conservation District (1 Copy)
Supplying Water Authority — (1 Copy)
Bucks County Department of Health (1 Copy)
Penn DOT (Highway Permit)
Army Corps of Engineers (Wetlands)
APPLICATION FORMS & FEES ARE TO BE SUBMITTED TO THE BOROUGH. All applications must include

APPLICATION FORMS & FEES ARE TO BE SUBMITTED TO THE BOROUGH. All applications must include these items or the application will be considered administratively incomplete and returned to the applicant.

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#### PLAN CHECKLIST

(To Be Completed by Applicant)

# GENERAL SUBMISSION ITEMS - Does the submission include:

# PLAN REQUIREMENTS - Do the Plans have:

Yes*	No	Sheet	No.	
* Note (1	Insert NA if	not applicat	ole)	
X	-	all	1.	Plan drawings at a size of 24" x 36"
*******	χ_		2.	A scale of $1'' = 50$ ' or $1 = 100$ '?
X		2	3.	Dimensions set in feet and decimal part thereof and bearings in
				degrees, minutes and seconds?
X		all	4.	Sheets numbered and show relationship to the total number of
				sheets?
X		مال	5.	An adequate legend indicating clearly which features are existing
				and which are proposed?

## GENERAL INFORMATION - Do the Plans have:

Yes*	<u>No</u>	Sheet	<u>No.</u>	
X		all	6.	Name and address of Owner?
$\frac{X}{X}$		all	7.	Name and location of subdivision or land development?
X		all	8.	Graphic and/or written scales?
X		all	9.	Date of plan and all subsequent revision dates?
X		all	10.	Name and address, signature and seal of the licensed engineer or
				surveyor responsible for the Plan?
X		2	11.	Location map at a minimum scale of 1" = 800'?
X		all	12.	North arrow?
X		2-3	13.	Site boundaries survey with tie-ins to all adjacent streets?
X		2-3	14.	Location and type of existing monuments?
X		2-3	15.	Forested areas?
MA			16.	Watercourses, lakes and wetlands (with names, if any)?
, .				

being subdivided or developed and within 400 feet of the site: No Sheet No. 2-3 Streets and rights-of-way (including name and right-of-way 17. widths)? 18. Existing lot layout on the site and on immediately adjacent tracts? X 2-3 19. Property lines, building locations, driveway locations, and names of adjacent property owners? 20. Sewer lines, storm drains and easements, other utilities? 21. Pennsylvania One-Call Serial No. and note. **PROPOSED FEATURES** - Do the Plans show: 2 22. Layout of streets with center lines, cartways and right-of-ways, and proposed names? 23. Layout of lots and dimensions? 24. Building setback lines from all lot lines? 25. The arrangement and use of buildings and parking areas with all necessary dimensions and number of parking spaces? 2-3 26. Rights-of-way and easements for all drainage, utilities, (electric, gas, telephone, and CATV) or other purpose which might affect development? 27. Open space areas, proposed use and maintenance? 28. Proposed monuments and individual lot pins. 2 29. Applicable zoning requirements and the location of zoning district boundary lines affecting the subdivision. 30. A reference to any land to be dedicated for parks, recreation areas, widening of streets or other public uses. 31. For multi-family developments, the total area, total dwelling units, number of buildings, proposed total parking spaces, building

Do the plans include the location of the following existing features on the site

coverage and the bedroom ratio shall be on the plan.

Yes*	No	Shee	t No.	
<u>X</u>		2	32.	An indication of any lots in which other than a residential use is
				intended.
ŊA	*****		33.	For subdivisions, the total area, number of lots, average and minimum
				lot size shall be noted on the plan.
X		3-4	34.	The location and size of storm drains, stormwater management
				facilities, sanitary sewers, culverts, watercourses and all appurtenances
				thereof, on-site sewage disposal facilities, gas mains, electric facilities,
				water mains, fire hydrants, street lights, planting, special structures
				and other underground conduits or structures.
<u> N/A</u>			35.	Typical cross sections and centerline profiles for each proposed street.
,				These plans may be submitted as separate sheets. Where the plan
				covers only a part of the owner's entire holding, a sketch shall be
				submitted of the prospective street layout for the remainder.
X		2-3	36.	A plan for planting is required for open space subdivision; this plan
				shall show the location of all existing trees greater than three (3)
				inches in caliper. All new plantings shall indicate species and size.
X	-	2	37.	The location of all trees to be saved.
<u>X</u>		2	38.	The tree protection zone.
NA			39.	The location of proposed retaining walls.
<u>X</u>	-	2	40.	A table showing open space ratio, density and impervious surface
				ratio.
<b>Ŋ</b> ∕A			41.	Estimated average and peak volumes of water needed to serve the
,				proposed subdivision or land development and an indication of the
				available water volume for fire flow and the water volume required to
				satisfy the Insurance Services Office (ISO) standards for fire
				protection.
X		2	42.	Owners Statement of Acknowledgment

Plan Check W. K

Yes*	<u>No</u>	Sheet	No.	
X		2	43.	The signature block for the Chairman and Secretary of the Borough
;				Planning Commission?
<u> </u>	X		44.	The signature block for Executive Director of the Bucks County
\.				Planning Commission.
$\Delta$		2	45.	The signature block for the Borough Engineer.
<u>X</u>		2	46.	The signature block for the President and Secretary of the Borough
				Council.
Prepare	ed By:			Accepted by:
Date:				Date:
Signatu	re:	Cichola	sJ.	Tut Signature:
	,	Applica	ant or r	epresentative Borough Official

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620 W. Chestnut St P.O. Box 96 Perkasie, PA 18944 (215)257-5065 Fax (215)257-6875

SUBDIVISION / LAND DEVELOR	<u>PMENT 90-DAY REVIEW</u>	WAIVER
Date: 11/7/25		
Borough Manager		
Perkasie Borough		
620 W. Chestnut St.		
P.O. Box 96		
Perkasie, PA 18944		
Re: Subdivision/Land Development Plan of <u>R</u>	idge Road Bo	oster Pump
On November 7 <sup>th</sup> , 20 25, I/V plan of subdivision/land development.	We submitted for official fil	ng, the above referenced
Please be advised that, notwithstanding, any or Planning Code or the Perkasie Borough Code, this le requirement that action be taken on this subdivision pathout limitation as to time.	etter will serve as notice to I	erkasie Borough that the
This Waiver can be revoked upon thirty (30)	days written notice to Perka	sie Borough.
,	Very truly yours,	
-	Nicholas J- Zet	
		:



November 7, 2025

PEREA25004

Perkasie Borough Attn: Ms. Andrea Coaxum 620 West Chestnut Street P.O. Box 96 Perkasie, PA 18944

RE: Ridge Road Booster Station (PRA25-03)

TMP 33-003-011

Dear Ms. Coaxum:

The Perkasie Regional Authority (PRA) currently operates a 750,000-gallon water storage tank located on TMP 33-003-011. The use is an existing F(2) Public Utility use. The use is permitted as Use by Right. We have made application to Perkasie Borough to expand the existing use. Additionally, we are asking for a Waiver of Land Development. The proposed development will consist of a new 20' x 24' building to house a booster pump, which will connect the two pressure zones that make up the PRA potable water system. Below, please find a list of our requested waivers, as well as a list of previously approved waivers and variances for the site:

#### **WAIVERS REQUESTED:**

Sellersville, PA 18960

164-8.B - PRELIMINARY/FINAL APPROVAL.

#### WAIVERS GRANTED BY THE PERKASIE BOROUGH COUNCIL ON SEPTEMBER 22, 2022:

- 1. 164-8.B PRELIMINARY/FINAL APPROVAL.
- 2. 164-20.A TO NOT WIDEN RIDGE ROAD OR RIDGE AVENUE.
- 3. 164-20.B.(3) TO WIDEN STREETS WHERE THE MINIMUM WIDTH DOES NOT MEET WITH THE SPECIFIC REQUIREMENTS FOR THE INDIVIDUAL STREET.
- 4. 164-24 TO ALLOW AN EXISTING DRIVEWAY TO BE LESS THAN 24 FEET WIDE AND HAVING A LONGITUDINAL SLOPE GREATER THAN 5%.
- 5. 164-51.A TO NOT PROVIDE SIDEWALKS.
- 6. 164-52.B TO NOT INSTALL CURBS ALONG RIDGE ROAD AND RIDGE AVENUE.
- 7. 164-68.C.(2) & 164-70.C.(2) TO PROVIDE AN AERIAL PHOTOGRAPH IN LIEU OF THE INFORMATION REQUIRED UNDER 164-68.C.(2) AND 164-70.C.(2).
- 8. 164-68.D.(17) & 164-68.D.(18) TO NOT SHOW INDIVIDUAL TREE LOCATIONS AND DRIP LINES.
- 9. 164-70.A.(5) TO PREPARE PLANS ON 24" X 36" SHEETS.

#### VARIANCES GRANTED BY THE PERKASIE BOROUGH ZONING HEARING BOARD ON MAY 24, 2022:

- 1. 186-18.F.(2).(a) ALLOW 10-FEET-WIDE PROPOSED STONE SERVICE RING IN REQUIRED BUFFER.
- 2. 186.54.D.(2) TO NOT PROVIDE TWO (2) STAGGERED ROWS OF EVERGREEN ALONG APPROXIMATELY 135 FEET OF RIDGE AREA AS SHOWN ON THIS PLAN.

We believe this application qualifies for a Waiver of Land Development because it is an existing use and the collective improvements since 2005 will result in a net decrease in impervious. These improvements will ensure that PRA can continue to provide safe and reliable drinking water to their customers in the event of an emergency.

Page 1 of 2

If you have any questions, do not hesitate to contact me.

Sincerely,

PENNONI ASSOCIATES INC.

1/2

Sean R. Torpey, PE Authority Engineer

SRT:jar

Cc: Nick Fretz, PRA

Jakob Reilly, EIT John Rundy, PE

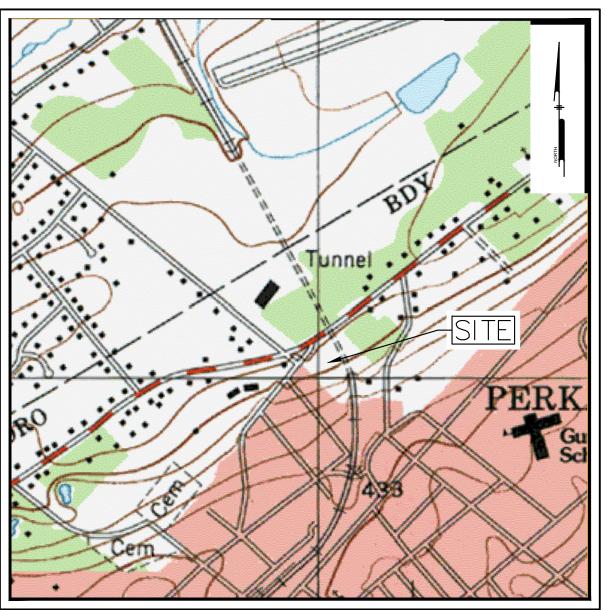
# RIDGE ROAD BOOSTER PUMP (PRA 25-03)

PERKASIE BOROUGH, BUCKS COUNTY, PA

PREPARED FOR:

# PERKASIE REGIONAL AUTHORITY

150 RIDGE ROAD SELLERSVILLE, PA 18960



USGS MAP
Scale: 1" = 800'

# PREPARED BY: PENNONI ASSOCIATES INC.



150 Ridge Road, Suite 2 Sellersville, PA 18960 **T** 215-257-5711 **F** 215-257-5766

SHEET LIST TABLE												
SHEET	PAGE	SHEET TITLE	ISSUED DATE	REVISED DATE								
CS0001	1	COVER SHEET	11/7/2025									
CS0101	2	RECORD PLAN	11/7/2025									
CS0201	3	EXISTING FEATURES PLAN	11/7/2025									
CS1001	4	PROPOSED IMPROVEMENT PLANS	11/7/2025									
CS6001	5	PROPOSED BOOSTER PUMP LAYOUT PLAN	11/7/2025									
CS6002	6	CONSTRUCTION DETAILS	11/7/2025									
CS6003	7	CONSTRUCTION DETAILS	11/7/2025									
CS8001	8	EROSION & SEDIMENT CONTROL SITE PLAN	11/7/2025									
CS8501	9	EROSION & SEDIMENT CONTROL NOTES	11/7/2025									
CS8502	10	EROSION & SEDIMENT CONTROL DETAILS	11/7/2025									
CS9501	11	AERIAL PHOTO	11/7/2025									

STOP-CALL SYSTEM

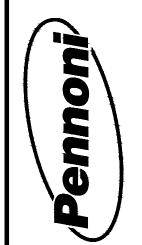
CALL BEFORE YOU DIG

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA

CALL 1-800-242-1776

PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20252883761

**NOT FOR CONSTRUCTION** 



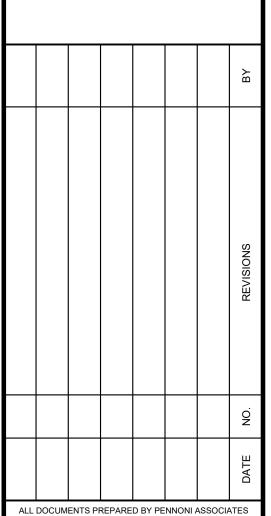
PENNONI ASSOC 150 Ridge Road Sellersville, PA

AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

PROFESSIONE
PROFESSION

E AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

OVER SHEET



ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATE FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT PEREA25004

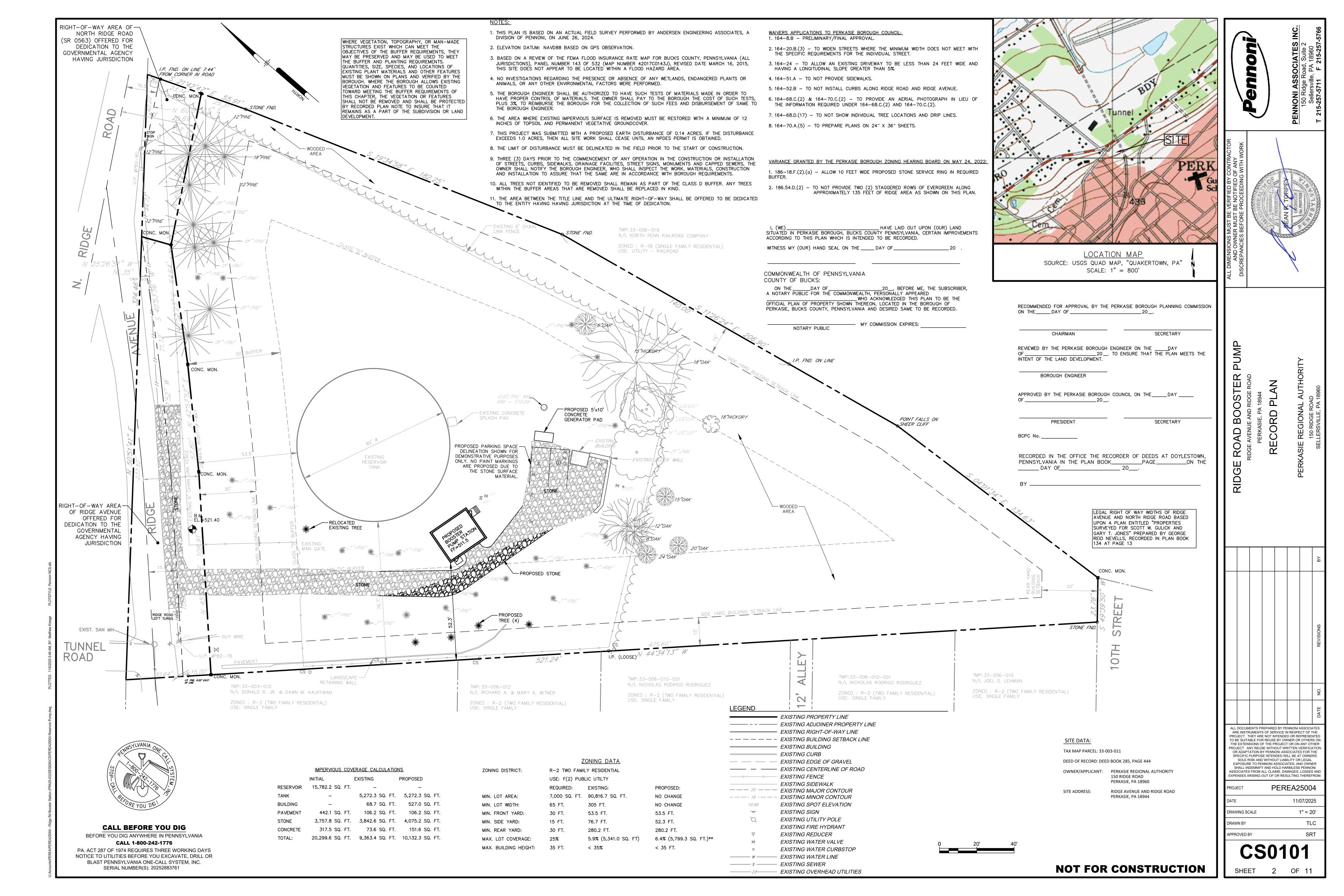
DATE 11/07/2025

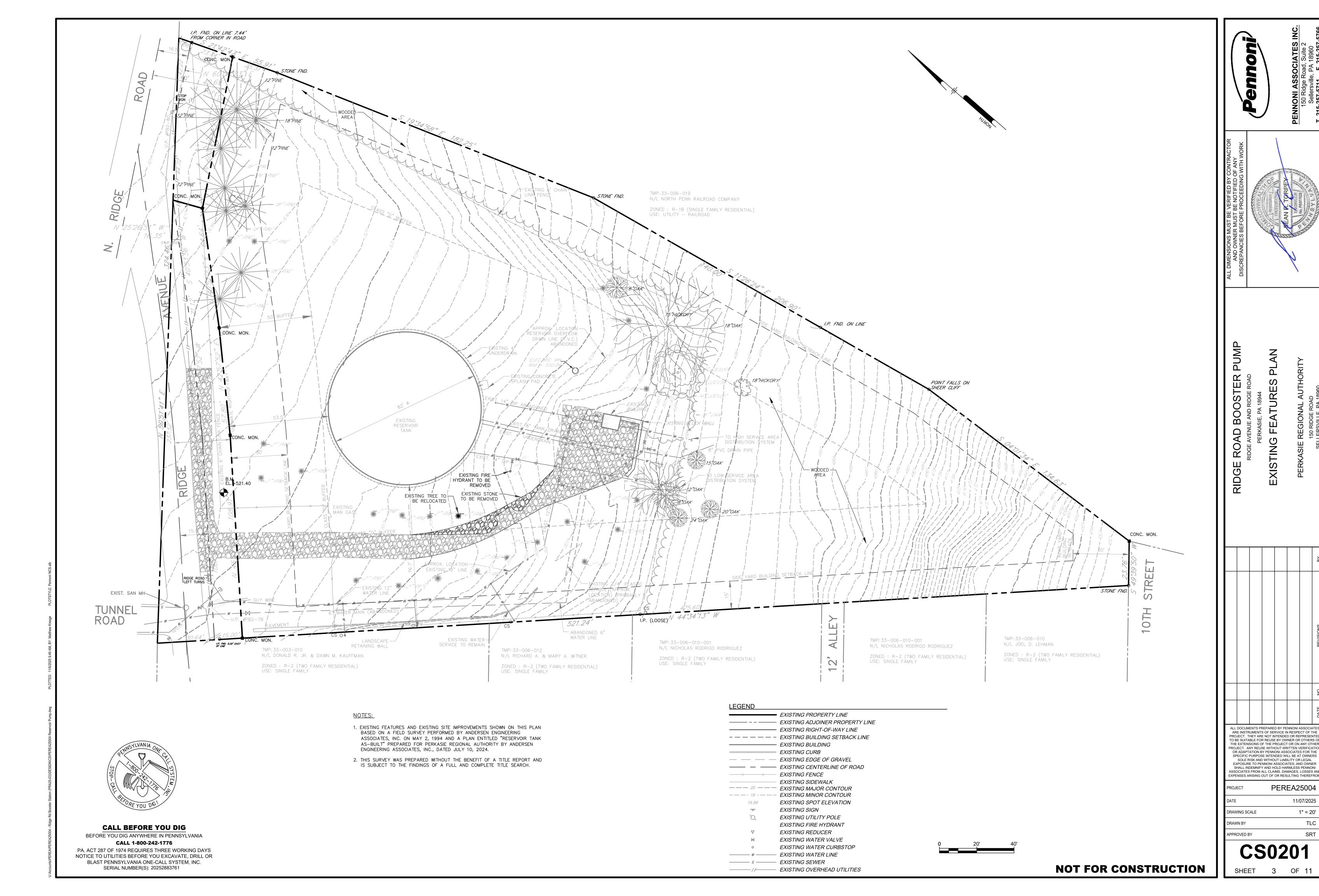
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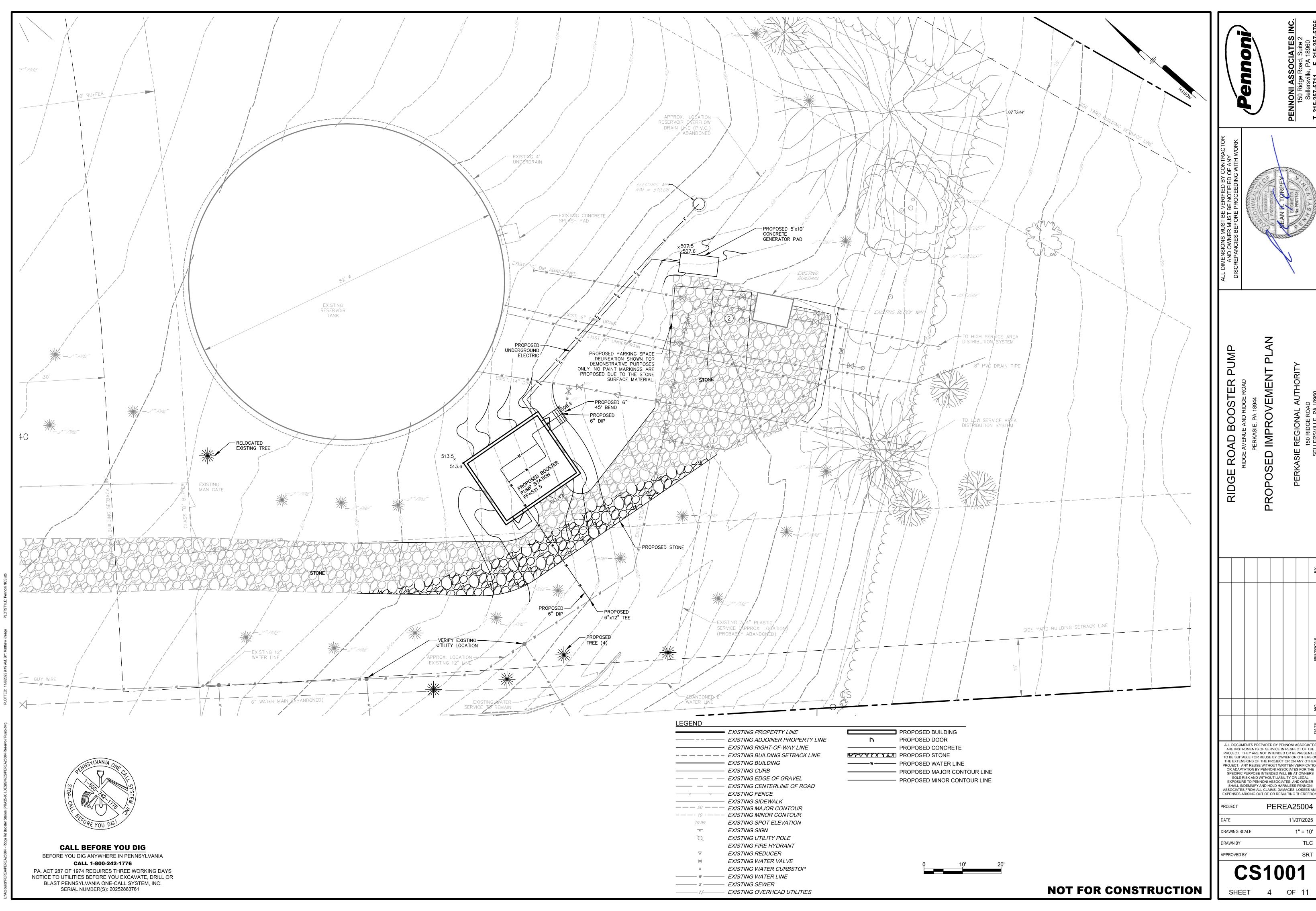
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CS0001

SHEET 1 OF







SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM PEREA25004 11/07/2025

1" = 10'

**CS1001** 

BOOSTER PUMP STATION PLAN VIEW

NOTES

NOTES:

1. ALL UNDERGROUND/UNDER SLAB POTABLE WATER PIPE IS TO BE MECHANICAL JOINT CLASS 52 DUCTILE IRON PIPE WITH EBAA IRON MEGA LUG RESTRAINED JOINTS.

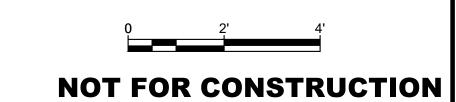
- 2. ALL UNDERGROUND/ UNDER SLAB POTABLE WATER PIPE FITTINGS, VALVES AND END PLUGS ARE TO BE MECHANICAL JOINT WITH EBAA IRON MEGA LUG RESTRAINED JOINTS.
- 3. UNLESS, OTHERWISE NOTED, ALL UNDERGROUND/UNDER SLAB TEES, END PLUGS AND BENDS ARE TO HAVE THRUST BLOCKS.
- 4. METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS' REQUIREMENTS AND THE CONTRACT DOCUMENTS.
- 5. RAISE ALL EXISTING AND PROPOSED VALVE BOXES TO PROPOSED FINISH GRADE.

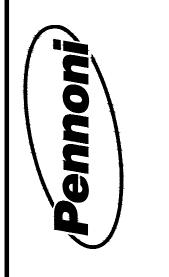
REFER TO STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

SEQUENCE:

1. CONTRACTOR SHALL PERFORM ALL REQUIRED GRADING INCLUDING INSTALLATION OF SOIL EROSION CONTROL MEASURES.

- 2. CONTRACTOR SHALL INSTALL ALL UNDER SLAB PIPING.
- 3. CONTRACTOR SHALL INSTALL BUILDING FOUNDATION.
- 4. CONTRACTOR SHALL INSTALL TWO PIPE PENETRATIONS OF FOUNDATION STEM WALL.
- 5. CONTRACTOR SHALL EXTEND PIPING ABOVE GROUND.
- 6. CONTRACTOR SHALL INSTALL REINFORCED CONCRETE SLAB.
- 7. CONTRACTOR SHALL INSTALL ALL UNDERGROUND PIPING. DURING THIS CONSTRUCTION, A PRE—FABRICATED STRUCTURE SHALL BE INSTALLED (BY OTHERS). CONTRACTOR SHALL TEMPORARILY STOP ALL WORK IN THE VICINITY OF THE PROPOSED STRUCTURE INSTALLATION. CONTRACTOR SHALL NOT BE COMPENSATED FOR THE TEMPORARY STOPPAGE OF WORK.
- 8. AFTER INSTALLATION OF STRUCTURE IS COMPLETE, CONTRACTOR SHALL INSTALL ALL ABOVE GROUND PIPING, VALVES, PUMPS AND FITTINGS.
- 9. CONTRACTOR SHALL PERFORM ALL REQUIRED GRADING INCLUDING INSTALLATION OF STONE DRIVE AND REMOVAL OF SOIL EROSION CONTROL MEASURES.





PENNONI ASSOCIA:
150 Ridge Road, Su
Sellersville, PA 189

DISCREPANCIES BEFORE PROCEEDING WITH WORK

HIGHERTON

PROFESSION

PROFESSION

No. PEOTINGS

TORPEY

No. PEOTINGS

TORPEY

No. PEOTINGS

TORPEY

No. PEOTINGS

TORPEY

UMP LAYOUT PLAN

PERKASIE, PA 18944
PROPOSED BOOSTER PUMP LAY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES

BY

BY

BY

ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM

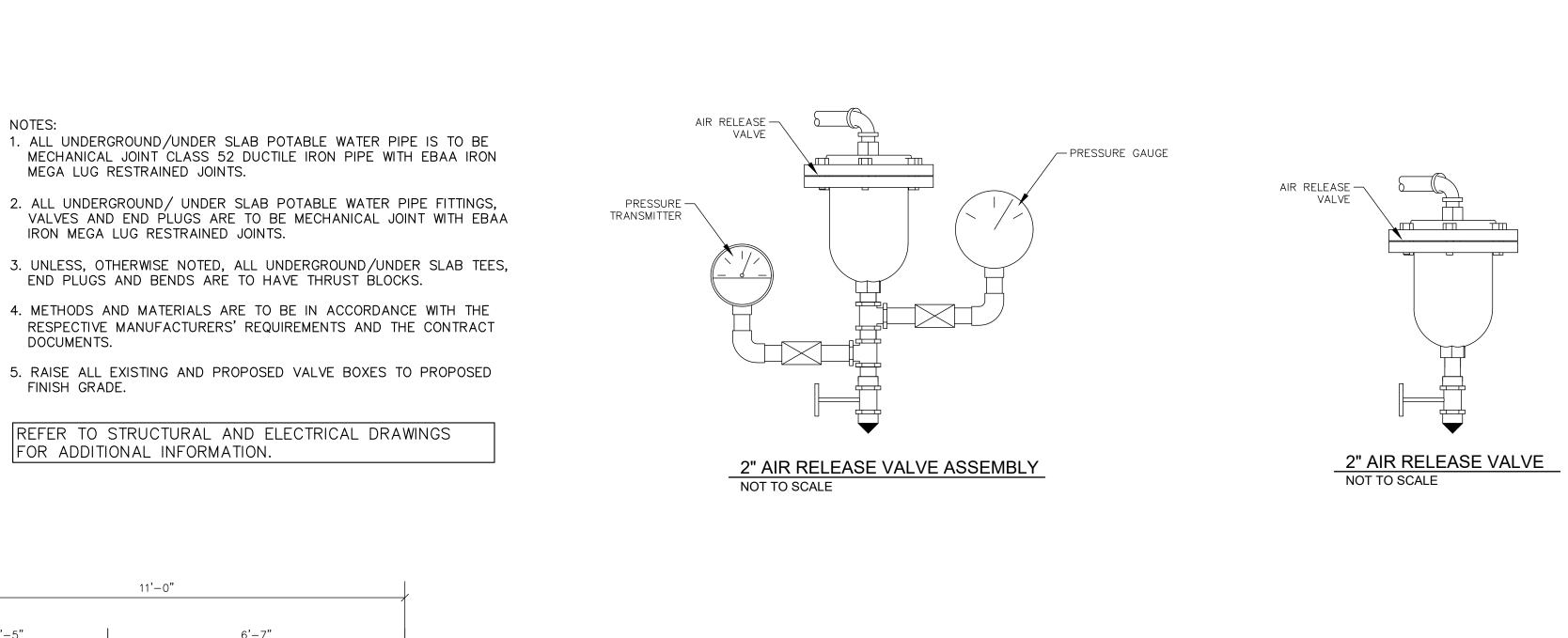
PROJECT PEREA25004

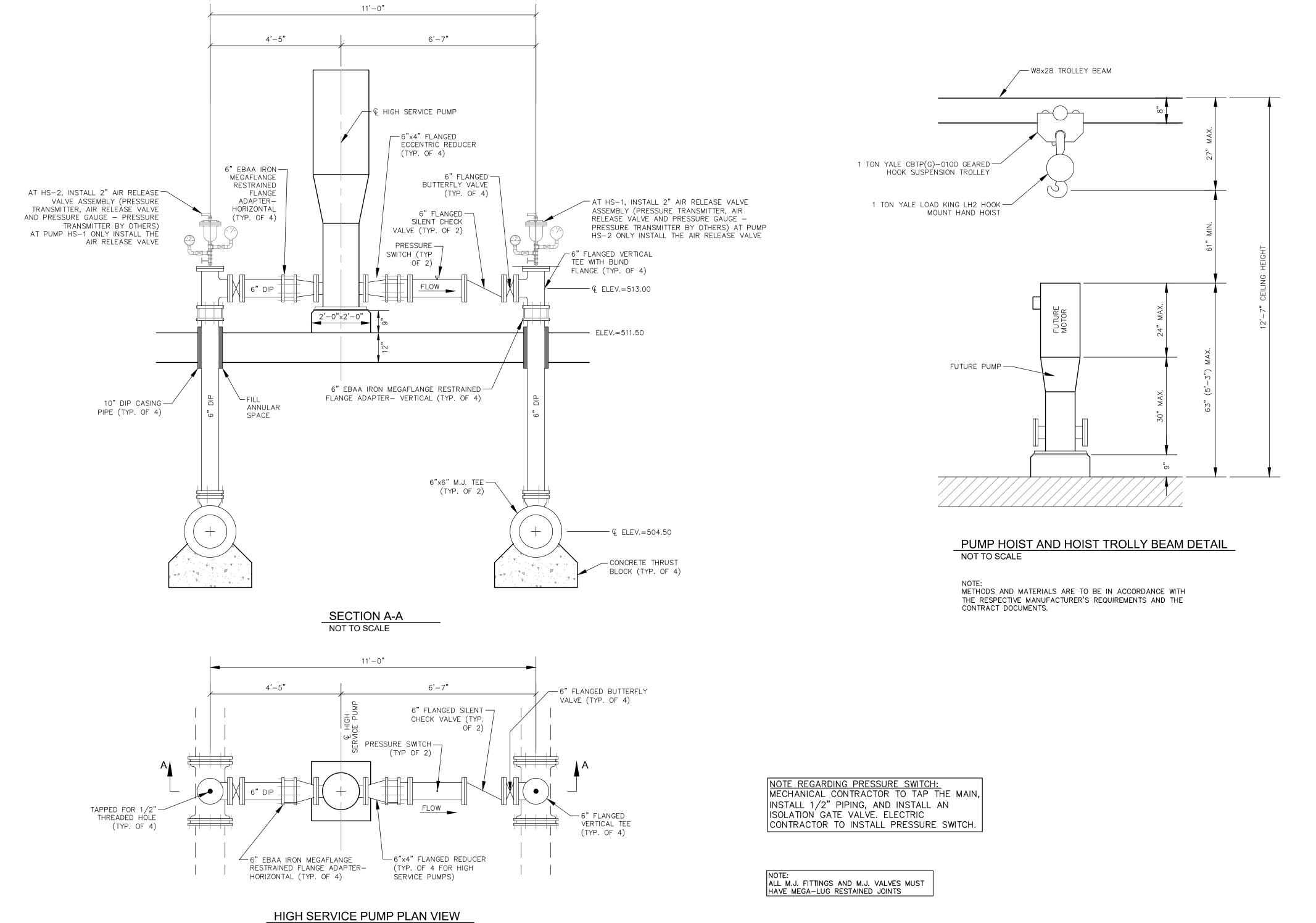
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SHEET 5 OF



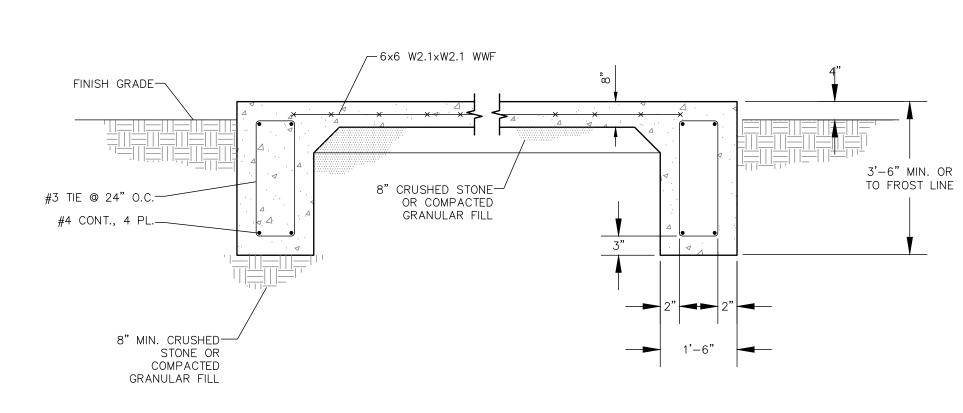


NOT TO SCALE

RIDG ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM PEREA25004 11/07/2025 NOT TO SCALE DRAWING SCALE DRAWN BY **CS6002** 

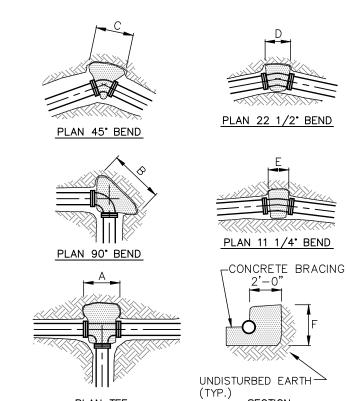
NOTES: 1. VERIFY DIMENSIONS WITH GENERATOR MANUFACTURER.

- 2. REMOVE ALL LOOSE INORGANIC OR UNSUITABLE SOIL TO UNDISTURBED BEARING STRATA W/ ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF.
- 3. CONCRETE STRENGTH SHALL BE 4000 PSI, MIN.
- 4. SLAB SHALL BE LEVEL ±1/4"
- 5. CONTACT MANUFACTURER REGARDING CONNECTIONS TO SLAB.
- 6. CONTACT GENERATOR MANUFACTURER REGARDING REQUIRED



GENERATOR FOUNDATION NOT TO SCALE

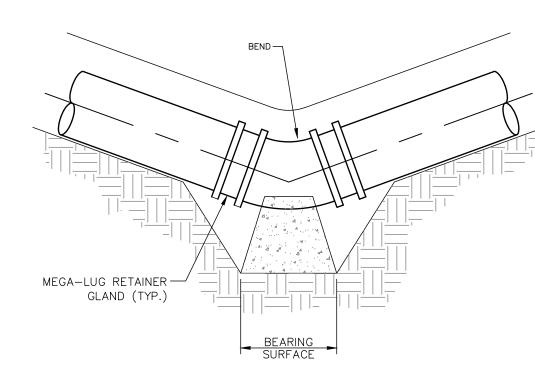
SECTION A-A



NOTE: PROVIDE PLASTIC COVERING TO PROTECT PIPE JOINTS FROM CONCRETE.

DESIGN PRESSURE	PIPE DIAMETER	REA	CTION	BACK	(ING D	IMENS	IONS
I NESSUNE	DITAMETER	A	В	С	D	Ε	F
150 PSI	16	5'-6"	7'-9"	4'-2"	2'-2"	_	3'-4
	12	4'-2"	5'-11"	3'-3"	1'-8"		2'-6
	8	3'-0"	4'-3"	2'-4"	1'-2"		1'-8
	6	2'-2"	3'-4"	1'-10"	0'-11"		1'-3
200 PSI	16	7'-3"	10'-3"	5'-7"	2'-10"	1'-6"	3'-4
	12	5'-7"	7'-11"	4'-3"	2'-2"	1'-2"	2'-6
	8	4'-0"	5'-7"	3'-1"	1'-7"	0'-10"	1'-8
	6	3'-1"	4'-5"	2'-5"	1'-3"	0'-8"	1'-3
250 PSI	16	9'-3"	13'-2"	7'-1"	3'-6"	2'-3"	3'-4
	12	6'-4"	8'-11"	5'-4"	3'-5"	1'-9"	2'-6
	8	5'-0"	6'-11"	3'-10"	1'-11"	1'-3"	1'-8
	6	3'-10"	5'-6"	3'-9"	1'-10"	1'-1"	1'-3

REACTION BACKING NOT TO SCALE

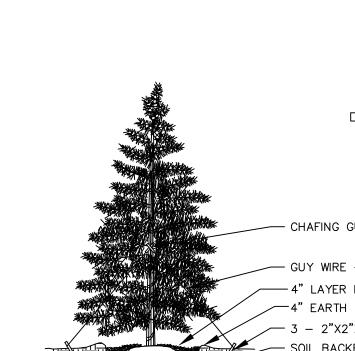


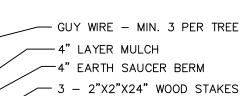
TYPICAL SECTION VERTICAL TRUST DOWNWARD

- 1. ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2500 P.S.I.
- 2. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHYLENE FILM BEFORE PLACING CONCRETE. 3. PAINT ALL EXPOSED STEEL WITH TWO COATS OF VALDURA PAINT OR APPROVED EQUAL.
- 4. FOR THE REQUIRED BEARING SURFACE SEE STANDARD DETAIL.

BEARING SURFACE REQUIRED — SQ. FT. HORIZONTAL THRUST BLOCKING AND VERTICAL THRUST DOWNWARD 100 P.S.I. WORKING PRESSURE																
PIPE SIZE	6" & 8"					10" & 12"			16" 18" 20"				24"			
TYPE OF BEARING MATERIAL						DEGR	EE OF	BEND	OR	DEFLE	CTION					
AND ALLOWABLE LOADS	22.5°	45°	90,	D.E.	22.5°	45°	90.	D.E.	22.5°	45°	90°	D.E.	22.5°	45°	90,	D.E.
SAND 0.75 TON/SQ.FT.	3.4	6.0	11.0	6.4	6.7	12.8	23.4	14.2	14.8	28.8	52.9	34.4	26.1	48.3	89.7	64.0
SOFT CLAY 1 TON/SQ.FT.	2.6	4.6	8.2	4.8	5.0	9.6	17.5	10.7	11.2	21.7	39.7	28.2	19.6	36.3	67.3	48.0
SAND & GRAVEL 2 TON/SQ.FT.	1.3	2.3	4.1	2.4	2.5	4.8	8.8	5.3	5.6	10.8	20.0	14.1	9.8	13.1	33.6	24.0
CLAY 4 TON/SQ.FT.	1.0	1.2	2.1	1.3	1.3	2.4	4.4	2.7	2.8	5.4	10.0	7.2	4.9	9.1	16.8	12.0
SOFT ROCK 5 TON/SQ.FT.	1.0	1.0	1.6	1.0	1.0	1.9	3.5	2.2	1.6	4.4	8.0	5.7	3.9	7.3	13.5	9.6
ROCK 15 TON/SQ.FT.	-	-	1.0	0.4	_	1.0	1.2	0.8	1.0	1.4	2.6	1.9	1.3	2.4	4.5	3.2

DOWNWARD THRUST BLOCK DETAIL NOT TO SCALE

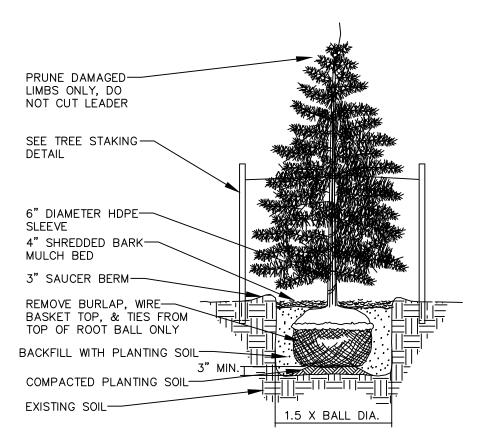




- SOIL BACKFILL ROOT BALL PIT TO BE 1.5x ROOT BALL DIA.

- UNDISTURBED SOIL LEDGE - 3" MIN.

# CONIFEROUS TREE STAKING DETAIL



CONIFEROUS TREE

## TREE PLANTING DETAIL NOT TO SCALE

LANDSCAPE	PLANTING	SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	QUAN.			
	PSEUDOTSUGA MENZIELII	DOUGLAS FIR	5 FT.	4			

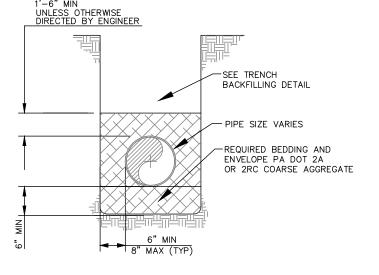
# - 1/4" x 3' WIDE PIPE STRAP (ASPHALT COATED) - TYP. 2 PLACES WIDTH MEGA-LUG RETAINER /-3/4" ANCHOR BOLT (TYP) -GLAND (TYP.)--FILL BETWEEN PIPE AND REACTION A----BLOCK WITH A NON-SHRINK GROUT. FLANGES AND BOLTS ARE TO REMAIN

# TYPICAL SECTION VERTICAL TRUST UPWARD NOT TO SCALE

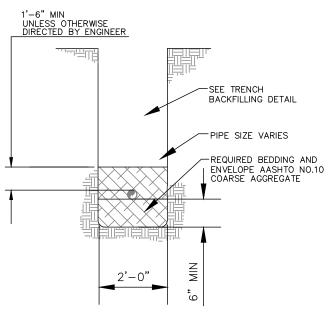
- 1. ALL CONCRETE SHALL BE PENNDOT CLASS A.
- 2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE. 3. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHELENE FILM
- BEFORE PLACING CONCRETE.
- 4. PAINT ALL EXPOSED STEEL WITH TWO COATS OF VALDURA PAINT OR APPROVED EQUAL.

	CONCRETE BLOCKING DIMENSIONS, VERTICAL THRUST UPWARD — 100 P.S.I. WORKING PRESSURE											
PIPE LENGTH					4	WIDTH DEPTH			ł			
	S	ΙZΕ	.S	11.25°	22.25°	45°	11.25°	22.25°	45°	11.25°	22.25°	45°
	6"	&	8"	3'	4'	6'	3'	4'	6'	3'	4'	6'
	10"	&	12"	3.5'	4'	7'	3.5'	4'	7'	3.5'	4'	7'
	14"	&	16"	4'	6'	9'	4'	6'	9'	4'	6'	9'
	18"	&	20"	5'	6.5'	11.5'	5'	6.5'	11.5'	5'	6.5'	11.5'
		24"	,	5'	9'	12.5	5'	9'	12.5	5'	9'	12.5

UPWARD THRUST BLOCK DETAIL NOT TO SCALE

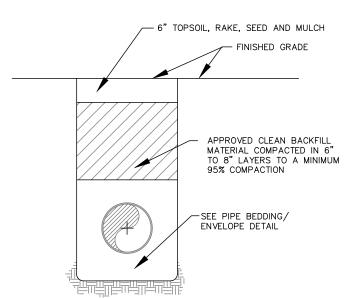


STANDARD PIPE BEDDING - WATERMAIN



STANDARD PIPE BEDDING - WATER SERVICE

PIPE BEDDING AND ENVELOPE NOT TO SCALE

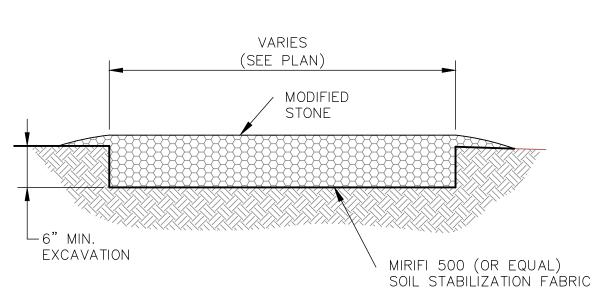


# UNPAVED AREAS OUTSIDE PUBLIC R/W

# TRENCH COMPACTION TO BE TESTED, AT THE DEVELOPERS EXPENSE, IN ACCORDANCE WITH PENNDOT PUB 408, AS REQUIRED BY THE AUTHORITY'S ENGINEER.

- 2. CLEAN FILL MUST BE APPROVED BY THE AUTHORITY'S ENGINEER PRIOR TO PLACEMENT
- 3. AREAS AROUND MANHOLES AND OTHER APPURTENANCES SHALL BE HAND COMPACTED AS DIRECTED BY THE AUTHORITY'S ENGINEER.
- 4. SPECIAL CONDITIONS OF HIGHWAY OCCUPANCY PERMIT MAY SUPERCEDE THIS DETAIL.

TRENCH BACKFILL NOT TO SCALE



CRUSHED STONE PARKING AREA DETAIL NOT TO SCALE

NOT FOR CONSTRUCTION

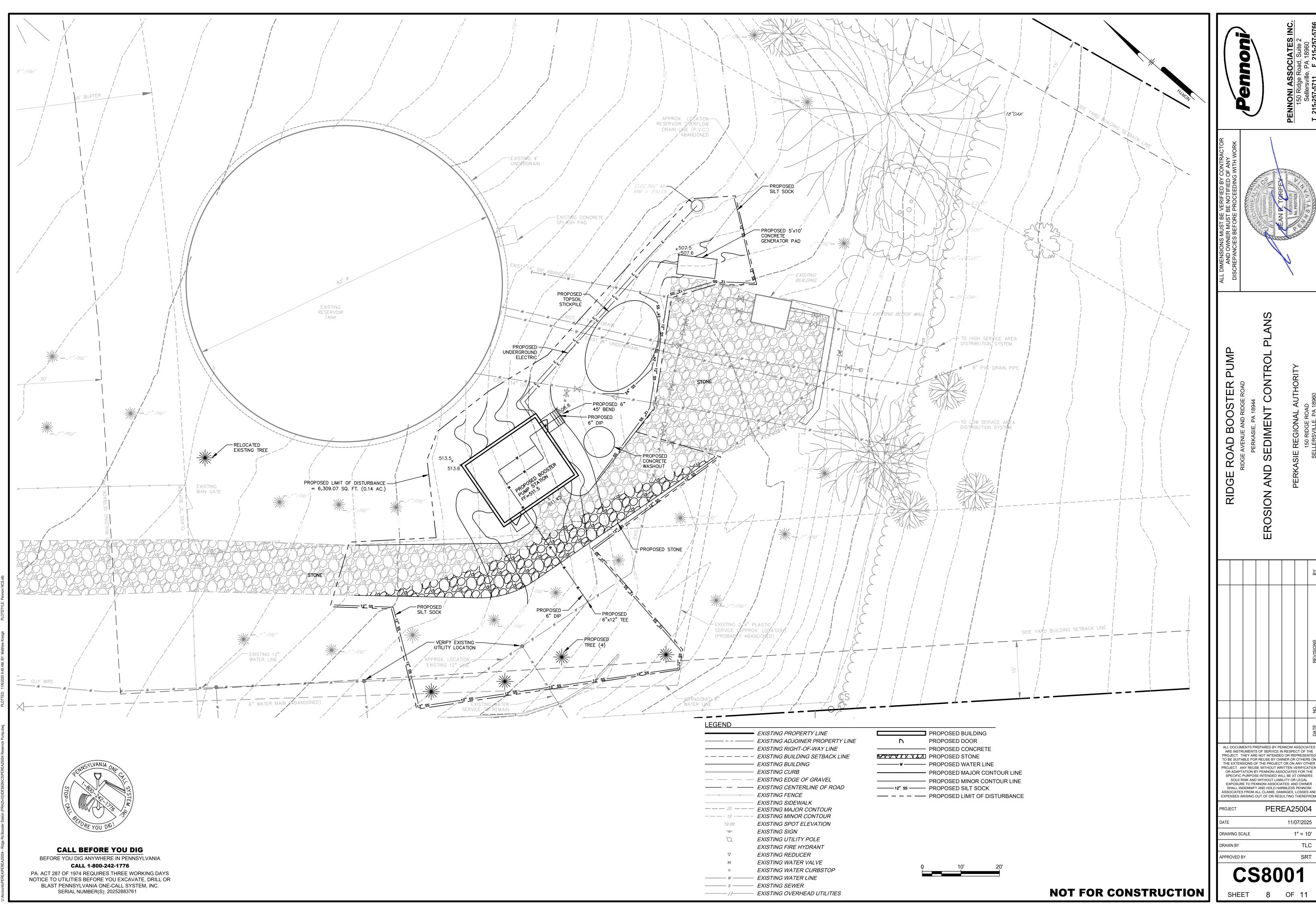
RIDG

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM

PEREA25004 11/07/2025

NOT TO SCALE DRAWING SCALE DRAWN BY

**CS6003** 



PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM PEREA25004

11/07/2025 1" = 10'

#### **EROSION AND SEDIMENTATION CONTROL NOTES:**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND 1. DURING THE INSPECTION OF EROSION CONTROL FACILITIES AFTER DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES, THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE 2. UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE 3. LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL 3.1. CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE, GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED, IF NECESSARY, AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS, STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL

  ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PLAN MAPS AND/OR DETAIL

  ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL.
- THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- UNTIL THE SITE IS STABILIZED. ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL BE REPAIRED, CLEANED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE WASHOUT AREA (CWA) SHALL BE REMOVED. WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO BUCKS COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED
- A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN, IN NO CASE SHALL THE SEDIMENT BE WASHED. SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP
- SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A
- MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL
- BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 2. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS

ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.

4. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF

STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

- A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR MOTHER MOVEMENTS.
- EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED. STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS, E&S BMPS SHALL REMAIN FUNCTIONAL AS SUC UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE F&S BMPS
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A
- FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- . CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- 3. IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE BUCKS COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATELY.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C. PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.) STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN

# **EROSION AND SEDIMENTATION CONTROL PLAN NOTES:**

- THE E&S PLANS HAVE BEEN DESIGNED TO:
- MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
- MINIMIZE SOIL COMPACTION UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF
- INCREASED STORMWATER RUNOFF.

# PERMANENT SEEDING NOTE:

- SPREAD AND FINE GRADE 12" TOPSOIL ON ALL AREAS TO BE PERMANENTLY SEEDED.
- BEFORE SEEDING, APPLY APPROPRIATE SOIL MODIFICATIONS.
- INSTALL EROSION/SEED BLANKET WHERE NEEDED.
- WATER AND MAINTAIN ALL LAWN AREAS.
- RESEED BARE OR THIN AREAS AS DIRECTED BY THE ENGINEER.
- IF GROUND COVER IS NOT OTHERWISE SPECIFIED ON THE APPROVED LANDSCAPING PLANS. USE
- SEED MIXTURE.
- APPLY STRAW MULCH AT 3.0 TON/ACRE IMMEDIATELY AFTER SEEDING.
- APPLY STRAW AND MULCH DURING NON-GROWING SEASONS (NOVEMBER MARCH)

# PERMANENT SEEDING SITE PREPARATION:

- PERMANENT STABILIZATION OF THE ALL EXPOSED EARTH SURFACES AFTER THE COMPLETION OF THE SITE GRADING AND IMPROVEMENTS SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS:
- 1. AFTER INSTALLATION OF THE NEEDED SURFACE WATER CONTROL MEASURES, PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
- 2. OBTAIN SOILS TESTING FROM AN INDEPENDENT LABORATORY TO DETERMINE NECESSARY SOILS
- 3. IN THE ABSENCE OF SOILS TESTING, APPLY AGRICULTURAL GRADE LIMESTONE AT THE MINIMUM RATE OF
- SIX TONS LIMESTONE PER ACRE (276 LBS. PER 1,000 SQUARE FEET).
- 4. IN THE ABSENCE OF SOILS TESTING, WORK IN FERTILIZER AT THE RATE OF 1000 LBS. OF 10-20-20 OR **EQUIVALENT PER ACRE**
- 5. SMOOTH AND FIRM SEEDED AREAS WITH CULTIPACKER, OR OTHER SIMILAR EQUIPMENT, PRIOR TO
- SEEDING. APPLY SEED.
- 7. COVER GRASS SEEDS WITH 1/4 INCH OF TOPSOIL WITH SUITABLE EQUIPMENT.

ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.

- 8. APPLY STRAW MULCH AT A RATE OF 3.0 TON PER ACRE IMMEDIATELY AFTER SEEDING.
- 9. USE SOD WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER IN ORDER TO PREVENT GULLYING. USE SOD AT THE DIRECTION OF THE TOWNSHIP
- 10. HYDROSEEDING SHALL BE AN ACCEPTABLE ALTERNATIVE TO THE ABOVE SEEDING WHEN PERFORMED IN ACCORDANCE WITH PENNDOT PUB. 408 SECTIONS 804 AND 805 AND APPROVED BY THE SITE ENGINEER.

#### HYDRIC SOIL DEPTH TO SEASONAL HYDROLOGIC SOIL SYMBOL SOIL NAME SLOPE DRAINAGE CLASS BEDROCK HIGH WATER TABLE CAPABILITY SOIL GROUP RATING URBAN LAND-ABBOTTSTOWN SOMEWHAT POORLY 40" - 60 UgB 0 TO 8 6" – 18" 8s/3w NONHYDRIC COMPLEX DRAINED

# SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE "WEB SOIL SURVEY"

#### **EROSION AND SEDIMENTATION MAINTENANCE:**

- EACH RUNOFF EVENT AND ON A WEEKLY BASIS, UNLESS MORE FREQUENT INSPECTION IS REQUIRED. IMMEDIATELY PERFORM CLEANOUT, REPAIR AND REPLACEMENT OF THE FACILITIES AS NEEDED. (REGRADE, RESEED AND MULCH WASHED OUT AREAS AS NEEDED.)
- EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO DEP UPON REQUEST.
- WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE NOTIFY THE BUCKS COUNTY CONSERVATION DISTRICT OF THE FAILURE AND SHALL INCLUDE THE FOLLOWING INFORMATION:
- THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
- 3.2. ALL STEPS TAKEN TO, REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.
- 3.3. THE TIME FRAME TO CORRECT THE NONCOMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- 4. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- 5. SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RESEEDED. A STRAW COVER SHALL BE APPLIED TO RETAIN THE SEED ALONG WITH AN ANCHORING METHOD DESCRIBED ON THE ATTACHED MULCH ANCHORING GUIDE, UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL
- 8. INLET FILTER BAGS SHALL BE CLEANED OUT OR REPLACED WHEN BAG IS HALF FULL. 9. SEDIMENT SHALL BE REMOVED FROM COMPOST FILTER SOCKS WHEN REACHING ONE HALF THE HEIGHT OF THE SOCK, IF USED.
- 10. THE CONTRACTOR SHALL INSPECT ALL ROCK CONSTRUCTION ENTRANCES ON A DAILY BASIS AND SHALL ENSURE THAT SEDIMENT IS NOT BEING TRACKED ONTO PUBLIC STREETS. SEDIMENT THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE COLLECTED AND RETURNED TO THE SITE OR OTHERWISE PROPERLY REMOVED BY A STREET SWEEPER.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE 12. FILL MATERIAL FOR EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 6 INCH LAYERED LIFTS AT 95% DENSITY
  - ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
  - 14. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF
  - 15. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
  - 16. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
  - 17. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ABOVE. IN NO CASE SHALL IT BE ALLOWED TO ENTER THE SURFACE WATERS OR GROUNDWATER SYSTEMS,

#### UNFORSEEN EROSIVE CONDITIONS NOTES:

- SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH
- 2. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, D.E.P., SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- 3. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT EXISTING TREES AND SHRUBS WHICH ARE TO REMAIN IN PLACE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES, INCLUDING REPLACING TREES OR SHRUBS IN KIND IF NECESSARY.
- 4. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING REGULARLY TRACKED ONTO PUBLIC STREETS, THE CONTRACTOR SHALL BE PREPARED, UPON WRITTEN NOTICE GIVEN BY THE MUNICIPALITY OR THE CONSERVATION DISTRICT, TO PROVIDE TIRE WASHING FACILITIES AT ALL ROCK CONSTRUCTION ENTRANCES.

#### **CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE:**

THE OPERATOR IS RESPONSIBLE FOR ENSURING THAT ALL MATERIAL PLACED ON THE SITE QUALIFIES AS CLEAN FILL. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIAL PLACED IN OR ON WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773. A COPY OF THIS DOCUMENT IS AVAILABLE THROUGH THE DEP WEBSITE AT www.depweb.state.pa.us ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING BY NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF

# **RECYCLING AND DISPOSAL NOTE:**

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 et seq. AND 287.1 et seq.

CONSTRUCTION WASTES INCLUDE. BUT NOT LIMITED TO:

INLET PROTECTION PUMPED WATER FILTER BAGS

# THERMAL IMPACT NOTE:

THERMAL IMPACTS WILL BE MINIMIZED DURING CONSTRUCTION BY USE OF THE PROPOSED E&S BMPS. PROTECTION OF NATURAL FEATURES, THE USE OF INFILTRATION FACILITIES, AND LANDSCAPING WILL REDUCE OR PREVENT THERMAL IMPACTS AFTER CONSTRUCTION IS COMPLETE.

# PREVENTIVE MEASURES AGAINST INDUCING SINKHOLES:

SEVERAL CONSTRUCTION, DESIGN, AND POST-CONSTRUCTION MEASURES ARE CONSIDERED ESSENTIAL TO REDUCE THE POSSIBILITY OF INDUCING SINKHOLE FORMATION.

PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

# 1. CONSTRUCTION MEASURES SHOULD INCLUDE:

- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AREAS AND EXPOSED ROCK AT ALL TIMES DURING CONSTRUCTION.
- 1,2. AVOID PONDING OF WATER OR CONCENTRATION OF SURFACE FLOWS WHICH COULD RESULT IN SERIOUS SURFACE EROSION AND OFFER CHANNELS FOR RUNOFF TO ENTER THE SUBGRADE
- CONSTRUCTION SCHEDULING SHOULD PROVIDE FOR CLOSING OF EXCAVATIONS SUCH AS FOR FOOTINGS AND UTILITIES AS SOON AS POSSIBLE AFTER EXPOSURE. BACKFILL SHOULD BE PLACED IN LAYERS AND COMPACTED, AND SHOULD BE NO MORE PERMEABLE THAN THE ADJACENT SOILS.
- 1.4. WHERE ROCK IS ENCOUNTERED, EXCAVATION METHODS OTHER THAN BLASTING ARE FAVORED WHEN FEASIBLE. ANY BLASTING SHOULD BE PERFORMED BY A CONTRACTOR EXPERIENCED WITH LOCALIZED, CONTROLLED BLASTING TO MINIMIZE ROCK DISTURBANCES AWAY FROM THE BLAST AREA.
- 2. DESIGN AND POST-CONSTRUCTION MEASURES AGAINST INDUCING SINKHOLES INCLUDE:
- 2.1. EXTERIOR FINISH GRADES SHOULD PROVIDE FOR POSITIVE DRAINAGE OF RUNOFF AWAY FROM THE BUILDING AREAS.
- 2.2. AVOID DEEP CUTS, ESPECIALLY IN THE BUILDING AREAS. WHERE POSSIBLE, KEEP GROUND FLOOR LEVELS AT OR ABOVE EXISTING GRADES. WHERE BASEMENTS ARE CONSIDERED, POURED CONCRETE WALLS SHOULD BE
- CONSIDERED. 2.3. THE PERIPHERY IMMEDIATELY ADJACENT TO BUILDING WALLS SHOULD BE IMPERMEABLE TO REDUCE OR PREVENT INFILTRATION OF RUNOFF INTO FOUNDATION AREAS.

EXPERIENCED GEOTECHNICAL ENGINEER. THE MOST APPLICABLE METHOD OF REPAIR WILL BE BASED ON THE CONDITIONS ENCOUNTERED DURING FURTHER EXPLORATION.

- UNDERGROUND PIPING SHOULD BE LEAKPROOF (GASKETED JOINTS, ETC.). USE SOMEWHAT CONSERVATIVE DESIGN TO ALLOW FLEXIBILITY, PARTICULARLY AT BUILDING ENTRANCES. LEAKAGE CAN BE A PRIME SOURCE
- OF ORIGIN OF POST-CONSTRUCTION SINKHOLE ACTIVITY. 2.5. ROOF DRAINAGE SHOULD BE PIPED AND DISCHARGED INTO THE STORM SYSTEM.

3. IF SINKHOLES ARE PRESENT OR ENCOUNTERED ON-SITE, THEY SHOULD BE FURTHER EXPLORED. THE EXPLORATION AND REPAIRS SHOULD BE PERFORMED UNDER THE FULL-TIME OBSERVATION/DIRECTION OF AN

2.6. UNDERGROUND PIPING SHOULD BE PROPERLY BEDDED. WHERE NON-UNIFORM ROCK CONDITIONS, E.G. PINNACLES, BOULDERS, ETC. ARE ENCOUNTERED AT THE BEDDING ELEVATION, THE ROCK SHOULD BE OVER EXCAVATED AT LEAST 1 FT. AND REPLACED WITH COMPACTED SOIL OR SCREENINGS.

# SEEDING SPECIFICATIONS:

TEMPORARY SEEDING AND MULCHING SPECIFICATIONS

PULVERIZED AGRICULTURAL LIMESTONE APPLICATION RATE: 80 LBS, PER 1000 S.F. (DETERMINE ACTUAL NEED FOR LIME WITH SOIL TEST)

APPLICATION RATE: 3 LBS. PER 1000 S.F.

B) FERTILIZER: 10-20-20 ANALYSIS COMMERCIAL FERTILIZER APPLICATION RATE: 192 LBS. PER 1000 S.F. C) SEED: ANNUAL RYE GRASS

D) MULCH: STRAW OR UNROTTED SALT HAY TO BE APPLIED AFTER SEEDING APPLICATION RATE: 3 TONS PER ACRE OR 138 LBS PER 1000 S.F.

# PERMANENT SEEDING AND MULCHING SPECIFICATIONS

A) LIME: PULVERIZED AGRICULTURAL LIMESTONE APPLICATION RATE: 50 LBS. PER 1000 S.F. (DETERMINE ACTUAL NEED FOR LIME WITH SOIL TEST)

B) FERTILIZER: 10-6-4 ANALYSIS COMMERCIAL FERTILIZER APPLICATION RATE: 35 LBS. PER 1000 S.F. 60% KENTUCKY BLUEGRASS

10% FINE LEAF RYE APPLICATION RATE: 6 LBS. PER 1000 S.F.

30% CREEPING RED FESCUE

#### D) MULCH: STRAW OR UNROTTED SALT HAY TO BE APPLIED APPLICATION RATE: 3 TONS PER ACRE OR 138 LBS. PER 1000 S.F.

### **SEQUENCE OF CONSTRUCTION:**

PROTECTION, AND CONSERVATION DISTRICT.

SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED AS NECESSARY.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. DISTURBED AREAS SHALL BE

PRIOR TO VERTICAL CONSTRUCTION, A STABLE BASE WILL BE ESTABLISHED AND MAINTAINED, TO AVOID ACCELERATED EROSION.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LAND OWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER AND A REPRESENTATIVE FROM THE BUCKS COUNTY CONSERVATION DISTRICT TO SCHEDULE A PRE-CONSTRUCTION MEETING, ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.

BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 et seq. AND 287.1 et seq

DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL PROPOSED SOIL/ROCK SPOIL AND BORROW AREAS ON OR OFFSITE. CONSTRUCTION WILL BEGIN UPON RECEIPT OF ALL REQUIRED PERMITS FROM THE MUNICIPALITY, PA DEPARTMENT OF ENVIRONMENTA

THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CONSERVATION

- 2. PRIOR TO PROCEEDING WITH CONSTRUCTION, CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES. MAINTAIN AND PROTECT ALL EXISTING UTILITIES TO REMAIN AT ALL TIMES.
- 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER PLAN. AS CONSTRUCTION PROGRESS, EROSION AND
- I. DELINEATE LIMITS OF DISTURBANCE AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS WITH CONSTRUCTION FENCING. LINEAR UTILITY TRENCHES, AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS. DO NOT NEED TO BE DELINEATED WITH FENCE. UTILITY TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY AND TEMPORARILY STABILIZED. CONTRACTOR SHALL NOT PERFORM ANY OTHER WORK OUTSIDE OF THE APPROVED LIMITS OF
- 5 INSTALL ROCK CONSTRUCTION ENTRANCE OFF OF THE ACCESS DRIVE AS SHOWN ON THE APPROVED PLAN EXISTING PAVEMENT TO BE REMOVED WITHIN THE FOOTPRINT OF THE ROCK CONSTRUCTION ENTRANCE FOR CONSTRUCTION PER THE APPROVED DETAIL. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH AREA FOR WHICH ROCK CONSTRUCTION ENTRANCE CAN BE INSTALLED BY THE END OF EACH WORK DAY. CONSTRUCTION VEHICLES SHALL ENTER AND/OR EXIT THE SITE THROUGH THE ENTRANCE. ROCK CONSTRUCTION ENTRANCE TO BE RESTORED AND SEDIMENT IS TO BE REMOVED ON A DAILY BASIS.
- 6. IN ADDITION TO LIMIT OF DISTURBANCE DELINEATION, INSTALL CONSTRUCTION FENCING AROUND THE EXISTING TREES TO REMAIN AS
- 7. THE STAGING AREA SHALL BE ESTABLISHED WHERE SHOWN ON THE APPROVED PLANS AND SHALL NOT IMPEDE RUNOFF, STAGING AREAS NOT CREATED ON EXISTING PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DETAIL. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED.
- 8. THE CONCRETE WASHOUT SHOULD BE INSTALLED NEAR THE ROCK CONSTRUCTION ENTRANCE PER THE APPROVED PLANS. CONCRETE WASHOUTS SHALL BE NO CLOSER THAN 50 FT TO AN INLET.
- 9. CONTRACTOR SHALL TEMPORARILY STABILIZE THE SITE AT THE END OF EACH WORK DAY (WHENEVER POSSIBLE) AND AT THE START O A RAINFALL EVENT. CESSATION OF EARTH DISTURBANCE ACTIVITIES FOR AT LEAST 4 DAYS REQUIRES TEMPORARY STABILIZATION.
- 10. INSTALL SILT FENCE DOWN GRADE OF THE PROPOSED FEATURES. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED.
- 11. CONTRACTOR TO HAVE PUMPED WATER FILTER BAG ONSITE AND AVAILABLE FOR DEWATERING OF EXCAVATED AREAS WHEN REQUIRED. FILTER BAG TO BE LOCATED ON EXISTING VEGETATION IN ACCORDANCE WITH THE APPROVED PLANS.
- 12. CONTRACTOR TO BEGIN ROUGH GRADING AND EXCAVATION FOR THE PROPOSED BUILDING, WALLS, AND UTILITIES, SILT FENCE LOCATIONS SHALL BE CONTINUOUSLY ADJUSTED AND REMAIN PARALLEL TO THE SLOPES DURING THE GRADING AND EXCAVATION.
- 13. CONTRACTOR SHALL TEMPORARILY STABILIZE THE SITE AT THE END OF EACH WORK DAY (WHENEVER POSSIBLE) AND AT THE START OF A RAINFALL EVENT. CESSATION OF EARTH DISTURBANCE ACTIVITIES FOR AT LEAST 4 DAYS REQUIRES TEMPORARY STABILIZATION. 14. CONCURRENTLY WITH THE ROUGH GRADING AND EXCAVATION OF THE SITE, BEGIN CONSTRUCTION OF THE UNDERGROUND UTILITIES, FOUNDATIONS AND BUILDING. THESE ARE **CRITICAL STAGES** OF THE PROJECT AND A LICENSED PROFESSIONAL MUST BE ONSITE TO

OVERSEE THE CONSTRUCTION AND INSTALLATION, SOIL SPOILS ARE TO BE PLACED IN THE SOIL STOCKPILE OR ON THE UPSLOPE SIDE

INSTALLED, BACKFILLED, AND STABILIZED WITHIN ONE WORKING DAY. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED. 15. CONCURRENTLY WITH FOUNDATION AND BUILDING CONSTRUCTION, ELECTRICAL, WATER, AND ALL OTHER BUILDING UTILITY LATERALS AND CONNECTIONS SHALL BE CONSTRUCTED. CONTRACTOR SHALL ONLY DISTURB AND EXCAVATE TRENCH FOR THAT AMOUNT OF UTILITY THAT CAN BE INSTALLED, BACKFILLED, AND STABILIZED WITHIN ONE WORKING DAY. TRENCH SOIL SPOILS ARE TO BE PLACED OF

OF THE UTILITY TRENCH. CONTRACTOR SHALL ONLY DISTURB AND EXCAVATE TRENCH FOR THAT AMOUNT OF PIPE THAT CAN BE

INSTALL GENERATOR PAD. STABILIZE STEEP SLOPES WITH MATTING, REMOVE ROCK CONSTRUCTION ENTRANCES AND CONCRETE

THE UPSLOPE SIDE OF THE UTILITY TRENCH. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED.

WASHOUTS WHEN CONCRETE WORK IS COMPLETE AND CONSTRUCTION EQUIPMENT NO LONGER NEEDS ACCESS

- 17. COMPLETE UTILITY HOOK UPS TO THE PROPOSED BUILDING.
- 18. COMPLETE STRUCTURE.
- 19. ONCE THE PROPOSED STRUCTURE NO LONGER REQUIRES HEAVY EQUIPMENT FOR ITS CONSTRUCTION, THE CONTRACTOR SHALL SWEEP ALL PAVEMENT AREAS.
- 20. ONCE THE SITE AREA HAS ACHIEVED A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION. REMOVE TEMPORARY EROSION AND SEDIMENTATION BMP'S INCLUDING ROCK CONSTRUCTION ENTRANCES AND CONSTRUCTION FENCE. ANY AREA DISTURBED DURING THE REMOVAL OF A TEMPORARY BMP SHALL BE IMMEDIATELY STABILIZED WITH SEEDING AND STRAW MULCH.
- 21. CONTACT THE CONSERVATION DISTRICT AND THE TOWNSHIP FOR A FINAL INSPECTION

22. CONTRACTOR TO COLLECT AND REMOVE ALL TRASH/DEBRIS ON SITE.

ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE ROJECT. THEY ARE NOT INTENDED OR REPRESENT TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ( THE EXTENSIONS OF THE PROJECT OR ON ANY OTHE PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATI OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNE SHALL INDEMNIFY AND HOLD HARMLESS PENNONI SSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES A EXPENSES ARISING OUT OF OR RESULTING THEREFRO

NOT FOR CONSTRUCTION

PEREA25004 11/07/2025 NOT TO SCALE

RAWING SCALE

DRAWN BY

FILTER SOCK-

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

PLAN VIEW

UNDISTURBED AREA

! IN. x 2 IN.

CENTER

WOODEN STAKES

PLACED 10 FT ON

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

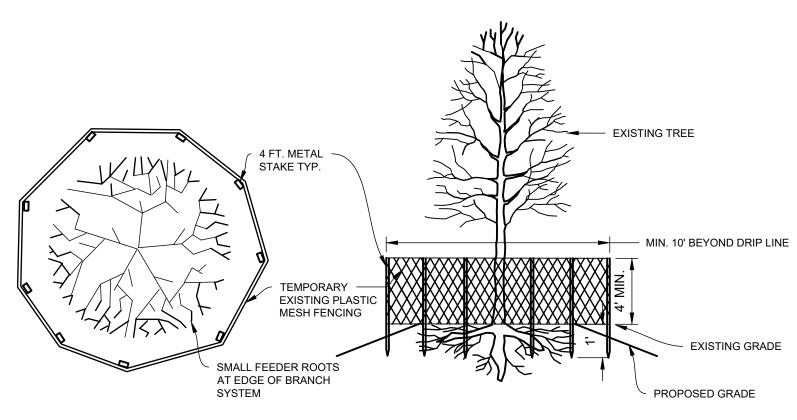
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

## STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

NOT TO SCALE

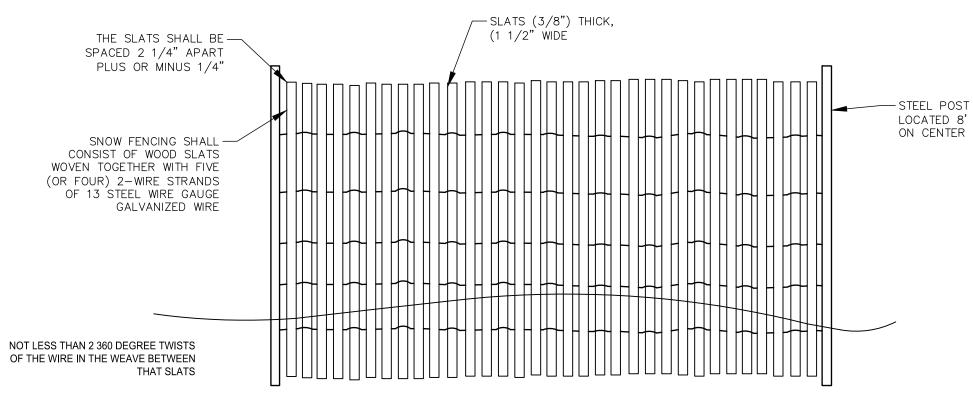


1. THOSE TREES WHICH ARE WITHIN TWENTY-FIVE (25) FEET OF ANY PROPOSED EXCAVATION OR GRADING OPERATION, OR IN ANY OTHER LOCATION DEEMED APPROPRIATE BY THE ENGINEER, SHALL BE PROTECTED BY INSTALLING AND MAINTAINING A FENCE AT THE DRIP LINE. 2. NO BOARDS OR OTHER MATERIAL SHALL BE NAILED TO TREES DURING CONSTRUCTION. 3. HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGING EXISTING TREE TRUNKS FEET FROM TREE TRUNKS. 4. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE BY BEING TREATED

5. TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL BE PROPERLY PRUNED AND TREATED IMMEDIATELY. 6. THE OPERATION OF HEAVY EQUIPMENT OVER ROOT SYSTEMS OF SUCH TREES SHALL BE MINIMIZED IN ORDER TO PREVENT SOIL

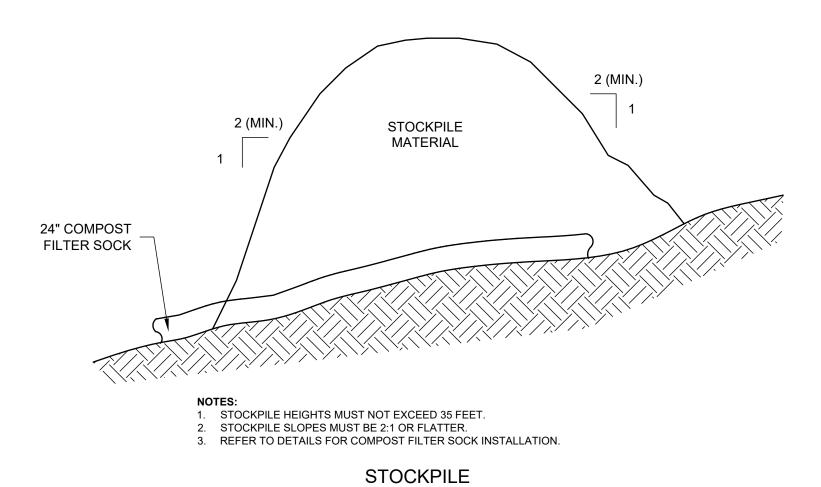
7. DAMAGED TREES SHALL BE FERTILIZED TO AID IN THEIR RECOVERY. 8. CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND TREES.

# TREE PROTECTION



SLATS SHALL BE MADE OF NO.1 ASPEN OR SPRUCE MEASURING 3/8" THICK, 1 1/2" WIDE AND 48" HIGH.

# CONSTRUCTION FENCE DETAIL



NOT TO SCALE

**MOUNTABLE** BERM (6 IN. MIN.)\* EXISTING ROADWAY GEOTEXTILE-EARTH FILL `EXISTING `PIPE AS NECESSARY MIN 8" AASHTO #1 GROUND **PROFILE** 

PLAN VIEW

\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

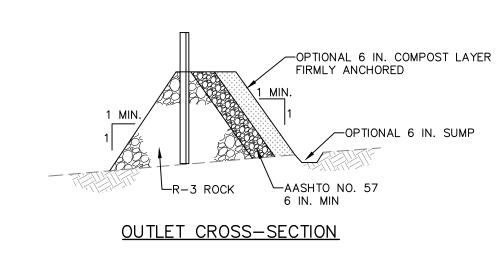
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

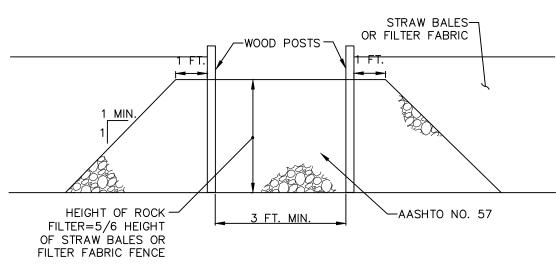
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

#### STANDARD CONSTRUCTION DETAIL #3-1 **ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



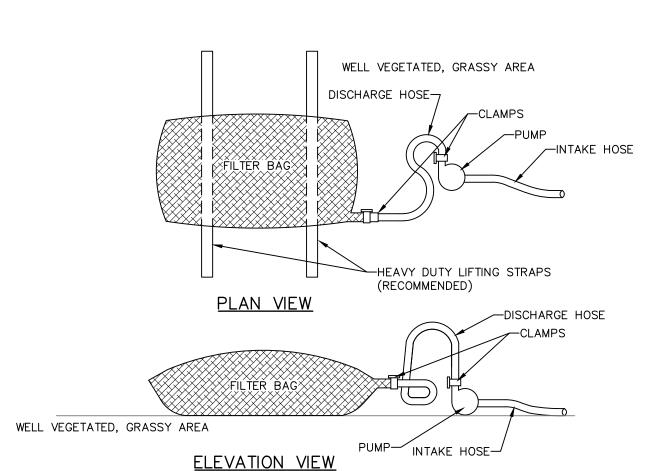


A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.

UP-SLOPE FACE

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET. STANDARD CONSTRUCTION DETAIL #4-6 ROCK FILTER OUTLET

NOT TO SCALE



LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE

OLLOWING STANDARDS:						
TEST METHOD	MINIMUM STANDARD					
ASTM D-4884	60 LB/IN					
ASTM D-4632	205 LB					
ASTM D-4833	110 LB					
ASTM D-3786	350 PSI					
ASTM D-4355	70%					
ASTM D-4751	80 SIEVE					
	ASTM D-4884 ASTM D-4632 ASTM D-4833 ASTM D-3786 ASTM D-4355					

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

NOT TO SCALE

STANDARD CONSTRUCTION DETAIL #3-16

PUMPED WATER FILTER BAG

-MAXIMUM DEPTH OF CONCRETE

RING HEIGHT

- 2"x2"x36" WOODEN STAKES

PLACED 5' O.C.

WASHOUT WATER IS 50% OF FILTER

FILTER SOCK

- 24" DIAMETER COMPOST

- 24" DIAMETER COMPOST

FILTER SOCK. 4' MIN. OVERLAP ON UPSLOPE SIDE OF FILTER RING.

- 2"x2"x36" WOODEN STAKES

IMPERVIOUS SURFACE

1. INSTALL ON FLAT GRADE FOR OPTIMUM

STACKED ONTO DOUBLE 24" DIAMETER

SOCKS IN PYRAMIDAL CONFIGURATION

2. 18" DIAMETER FILTER SOCK MAY BE

PERFORMANCE.

FOR ADDED HEIGHT.

PLACED 5' O.C. OR CONCRETE

BLOCK WHEN PROPOSED ON

SECTION (NO SCALE)

PLAN (NO SCALE)

AND STAKED SO AS TO FORM A TRIANGULAR CROSS SECTION.

1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING

2. WHENEVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT

3. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE

TYPICAL COMPOST SOCK / CONCRETE WASHOUT

REACH 75% CAPACITY. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

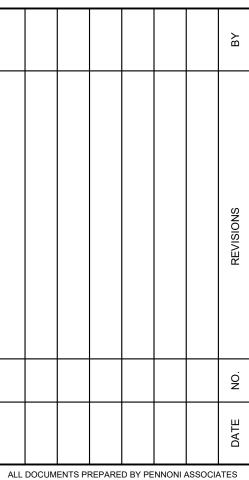
THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE

MANUFACTURER AROUND THE PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER (AS SHOWN ABOVE). CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS

CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED

DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATLY. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY





ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTE TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI SSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AN EXPENSES ARISING OUT OF OR RESULTING THEREFRO

PEREA25004 11/07/2025

RAWING SCALE NOT TO SCALE DRAWN BY

**NOT FOR CONSTRUCTION** 



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK
DISCREPANCIES BEFORE PROCEEDING WITH WORK

REAN R. TORPEX
R. TORPEX
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R. TORPEX
REAN R. TORPEX
REAN R. TORPEX
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IDGE ROAD BOOSTER PUNRIDGE ROAD
RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

REVISIONS BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
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PEREA25004
ATE 11/07/2025

DRAWING SCALE
DRAWN BY

CSQ50

CS9501



December 3, 2025

File No. 25-01077

Cassandra L. Grillo, CZO, BCO Zoning Officer and Code Enforcement Administrator Borough of Perkasie 620 W. Chestnut Street P.O. Box 96 Perkasie. PA 18944

Reference: Perkasie Regional Authority – Ridge Road Booster Pump

N. Ridge Road & Ridge Avenue

Waiver of Land Development Plans - Review #1

#### Dear Cassandra:

Pursuant to your request, Gilmore & Associates, Inc. (G&A) has reviewed the Waiver of Land Development Plans for the above-referenced project. We offer the following comments for consideration by the Borough:

#### I. Submission

- A. Ridge Road Booster Pump plans prepared for Perkasie Reginal Authority, as prepared by Pennoni Associates, Inc., consisting of eleven (11) sheets, dated November 7, 2025.
- B. Waiver Request Letter for Ridge Road Booster Station (PRA25-03), as prepared by Pennoni Associates, Inc., dated November 7, 2025.
- C. Subdivision/ Land Development Application and Plan Submission Checklists dated November 7, 2025.
- Adequate letter for Ridge Road Booster Pump from Bucks County Conservation District, dated November 25, 2025.

#### II. General Information

The subject property known as tax map parcel 33-003-011 is located along the south side of Ridge Avenue at the intersection with N. Ridge Road (S.R. 0563) in Perkasie Borough, Bucks County, PA. The property contains a total of 91,529.11 square feet (2.10 acres). The Applicant and Owner of Record for the site is the Perkasie Reginal Authority.

The site currently contains a partially inground concrete water reservoir tank and associated utilities along with a stone access drive extending from Ridge Avenue, landscape retaining walls, landscaping, fencing, and wooded areas. Following the removal of a portion of the stone driveway and a fire hydrant along with the relocation of a tree, the Applicant proposes to construct a 458 square foot booster pump station building between the existing reservoir tank and the stone driveway along with a 233 square foot stone driveway expansion, landscaping and a 50 square foot generator pad. The site is zoned Two Family Residential (R-2) Zoning District and the use is "Public Utility" (F2), which is a use permitted by right in the R-2 Zoning District. According to FEMA map 42017C0143J, dated March 16, 2015, the site is not located within a 100-year floodplain.

#### III. Reference Documents

ZHB Appeal No. 2022-06 – The Applicant previously received zoning relief from the Perkasie Borough Zoning Hearing Board (ZHB) on Appeal No. 2022-06 on May 23, 2022 for the PRA Reservoir Replacement project. The ZHB granted variances from the following Sections: 1) §186-18.F.(2)(a) to extend a portion of the stone ring around the proposed water reservoir to be located in the buffer area, and 2) §186-54.D.(2) to decrease the amount of certain vegetation within the buffer yard. The reservoir replacement project was constructed in accordance with the decision rendered on Appeal No. 2022-06.

#### IV. Review Comments

#### A. Zoning Ordinance (Chapter 186)

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Zoning Ordinance:

- §186-20.C.(5) The maximum accessory building height shall be 15 feet. The proposed Booster Pump Station is considered an accessory building to the reservoir tank. This requirement should be added to the 'Zoning Data' table and the height of the Booster Pump Station building should be noted on the plan to verify compliance with this requirement.
- 2. §186-28.B. At each point where a private accessway intersects a public street or road, a clear-sight triangle of 10 feet, measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade. The clear sight triangles should be shown at the driveway intersection with Ridge Avenue to demonstrate adequate visibility.
- 3. §186-52.C. Any outdoor lighting such as pole-mounted, building, sign, canopy, or sidewalk illumination, and driveway lights, shall be shown on the lighting plan in sufficient detail to allow determination of the effects to adjacent properties, traffic safety, and overhead sky glow. Any lighting for the Booster Pump Station should be added to the plan and a lighting plan provided as necessary.
- 4. §186-54.E.(4)(c) All plant material should be guaranteed for 18 months from the day of final approval of the landscape installation by the Borough in accordance with the provisions of the Borough's Developer's Agreements, escrow agreements, and maintenance agreements. A note should be added to the Record Plan stating the guarantee noted above.
- 5. §186-57 The existing area and proposed disturbance of environmental resources listed in this section should be tabulated on the plans. Any resource which does not exist should be listed with an area of 0 square feet.

#### B. Subdivision and Land Development Ordinance (Chapter 164)

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Subdivision and Land Development Ordinance (SALDO):

1. §164-8.B. – Land Development projects require a separate stage of approval for the submission of preliminary plans and final plans for all major subdivisions and land development. The Applicant is requesting a Waiver a Land Development, which would waive certain requirements within SALDO including a separate stage of approval. We have no objection to this waiver request due to the scope of the project conditioned upon the Applicant providing the deposit and fee for both preliminary and final submission as required in §164-11.C.(1).

Also, the Applicant is requesting as part of the Waiver of Land Development the reaffirmation of the following waivers that were previously granted by Borough Council on September 22, 2022 as part of the PRA Reservoir Replacement Project:

- a. §164-20.B,(3) Requires widening of existing streets where the minimum width does not meet the specific requirements for the individual street as required by Borough Council in specific cases. Ridge Avenue is a primary street which requires a minimum cartway width of 34 feet and N. Ridge Road is an arterial road which requires a minimum cartway width of 48 feet. A waiver was granted from widening these roads due to the limited frontage on these roadways resulting in a varying road width.
- b. §164-24. Requires a two-way driveway for a nonresidential use to have a minimum width of 24 feet and a maximum slope of 5%. A waiver was granted to use the existing driveway which has provided access to the property for over 50 years. However, we note that the proposed Booster Pump Station building requires modifications to the existing driveway. Since the driveway is not used by the public, we have no objection to the modifications of the existing driveway slope.
- c. §164-51.A. Requires sidewalks be constructed on one side of all frontage streets, unless in the opinion of the Borough Council with the advice of the Planning Commission they are unnecessary for the public safety and convenience. A waiver was granted from providing sidewalk along the frontage of both N. Ridge Road and Ridge Avenue since no sidewalks exist in the immediate area of the development.
- d. §164-52.B. Requires curbs be constructed along existing streets which a land development abuts. A waiver was granted from providing curbs along the frontage of both N. Ridge Road and Ridge Avenue since no curbs exist in the immediate area of the development.
- e. §164-68.C.(2) & 70.C.(2) Requires existing features within 400 feet of any part of the land to be subdivided or developed to be shown on the plans. A waiver was granted to provide an aerial photograph in lieu of the required information conditioned upon the Applicant providing any additional information for the surrounding area as deemed necessary by our office.
- f. §164-68.D.(17) Requires the location of all trees to be saved, including their trunk and dripline locations be shown on the plans. A waiver was granted to only show the dripline of the wooded areas.
- g. §164-70.A.(5) Requires that Final Plans be on sheets either 18 inches by 22 inches or 36 inches by 44 inches, and all lettering be so drawn as to be legible if the plan should be reduced to half size. A waiver was granted to provide the plans on 24 by 36-inch sheets.
- 2. §164-20.A The waiver request letter indicates that a waiver was previously granted from this section of the ordinance from providing the required ultimate right-of-way. However, a waiver was not granted from this requirement and the legal and ultimate rights-of-way were offered for dedication to the Governmental Agency having jurisdiction. We note that the legal right-of-way is under the jurisdiction of PennDOT and the ultimate right-of-way is under the jurisdiction of Perkasie Borough. The Applicant should determine if these dedications were accepted and revise the plan accordingly.
- 3. §164-31. The following issues related to grading should be addressed:
  - a. Spot elevations should be provided at the corners of the proposed Booster Pump Station building.
  - b. The proposed 509 contour is only 2 feet from the existing 508 contour on the southeastern side of the proposed building. The grading should be revised to provide a maximum slope of 3:1 in all grass areas.
  - c. Based on the proposed 507.6 spot elevation at the corner of the generator pad, the southern corner of the pad will be approximately 2 feet higher than the existing grade. Spot elevations should be provided at the corners of the pad and the grading should be revised accordingly.
  - d. The proposed contours should be labeled on the Proposed Improvement Plan.
- 4. §164-41.1.B Prior to construction, the tree protection zone shall be delineated with a forty-eight-inch-high wooden snowfence mounted on steel posts, located eight feet on center, placed along the boundary of the tree protection zone. All trees within the limits of disturbance and any trees directly adjacent to the limits of disturbance should be protected with tree protection fence. The tree protection fence should be shown on the plans.

- 5. §164-50.A The Record Plan appears to show proposed monuments along the ultimate right-of-way and at one corner. These monuments were proposed on the previous PRA Reservoir Replacement Project. The Applicant should verify whether these monuments were installed previously, and if so, then the Record Plan should be revised accordingly.
- 6. §164-54.B. Review and approval by the Perkasie Fire Chief should be obtained by the Applicant in order to ensure that adequate emergency access is provided. A copy of the approval letter should be submitted to the Borough and our Office. Also, we note that the existing fire hydrant within the site is to be removed but not replaced. The Applicant should specify the reason for not installing a new fire hydrant.
- 7. §164-68.D.(18) The waiver request letter indicates that a waiver was previously granted from this section of the ordinance. However, a waiver was not granted from this section of the ordinance since the requirements of this section were provided on the plans.
- 8. §164-71. The following issues related to the plan notations and recording signature lines should be addressed:
  - a. The BCPC No. block on the Record Plan should include the statement "BCPC has reviewed the plan in accordance with PaMPC requirements" and note the date of the review.
  - b. The notes on the Record Plan should reference the Reservoir Replacement Plans dated January 27, 2022, last revised April 6, 2023.
  - c. Note 11 on the Record Plan related to the dedication of right-of-way should be updated as necessary based on the previous acceptance of the right-of-way.
  - d. The rear yard setback distance of 280.2 feet should be dimensioned on the plan.
  - e. The double asterisk for the proposed lot coverage in the 'Zoning Data' table should be clarified.
- C. <u>Amended Stormwater Management Ordinance (Chapter 158) East Branch Perkiomen Creek Watershed</u> (District 'B')

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Amended Stormwater Management Ordinance (SMO):

- §158-5.B.(9)(a) Construction or reconstruction of buildings or additions to existing buildings or other impervious surface (regulated activities) is exempt when an area of impervious surface is removed from the site so that upon completion of the regulated activity, the total increase of impervious surface area is 1,000 square feet or less. The plans indicate that the previous removal of the existing reservoir and associated impervious will offset the increase in impervious from the previously installed reservoir tank and proposed Booster Pump Station, resulting in a net decrease in impervious surface. Therefore, the project is exempt from the requirements of stormwater management.
- 2. §158-56.A The following issues related to erosion and sedimentation control should be addressed:
  - A portion of the 12" silt sock crosses the stone parking area and should be relocated outside of the stone area.
  - b. The silt sock along the stone driveway runs perpendicular to the contours and may result in sediment laden runoff flowing towards the downslope property. The silt sock at this location should run parallel to the contours for the extent of disturbance before turning perpendicular at the limits of disturbance.
  - c. The size of the silt sock line types should be specified in the legend.
  - d. The sequence of construction notes the installation of a rock construction entrance. However, the entrance is not shown on the plan and it appears the stone driveway is intended to be used as the construction entrance. The sequence should be revised to specify the use of the existing driveway as the construction entrance with the condition that a full rock construction entrance be installed if any sediment is tracked onto Ridge Avenue.

- e. The sequence of construction specifies establishing a staging area. The staging area should be identified on the plan or the sequence should be revised.
- f. The sequence of construction specifies the installation of construction fence around the entire limits of disturbance. This may limit the contractor's ability to maneuver through the site. This sequence item should be reviewed and revised accordingly.
- g. All references to "Township" in the sequence of construction and E&S notes should be revised to "Borough".

#### D. General Comments

1. The Applicant is responsible for any other required approvals, permits, etc. (i.e., Perkasie Fire Chief, etc.). Copies of these permits and approvals should be submitted to the Borough and our office.

We recommend the plans be revised to address the above comments to the satisfaction of the Borough. In order to help expedite the review process of the resubmission of the plans, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. If you have any questions regarding the above, please contact this office.

Sincerely,

Douglas C. Rossino, P.E. Gilmore & Associates, Inc.

**Borough Engineers** 

DCR/tw

cc: Andrea L. Coaxum, Borough Manager
Megan McShane, Executive Assistant
Jeffrey P. Garton, Esq., Borough Solicitor
Judith Stern Goldstein, R.L.A., ASLA, Gilmore & Associates, Inc.
Jeffrey Tulone, Public Works Director
Nicholas Fretz, Manager, Perkasie Regional Authority, Owner/ Applicant
Perkasie Fire Company Number 1 (Station 26)
Sean R. Torpey, P.E., Pennoni Associates, Inc.
Erik Garton, P.E., E.V.P., Gilmore & Associates, Inc.



620 W. Chestnut Street PO Box 96 Perkasie, Pa. 18944-0096 (215) 257-5065 Fax (215) 257-6875

TO: Perkasie Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO – Zoning Officer & Code Enforcement Administrator

DATE: December 3, 2025

RE: Opening Discussion – Key Considerations for Accessory Dwelling Unit (ADU) Regulations

#### Introduction

After reviewing the notes from our last Planning Commission meeting, several major points were raised regarding the regulation of Accessory Dwelling Units (ADUs). Before staff can begin drafting a formal ordinance, there are key items that require additional discussion, clarification, and direction from the Commission. The purpose of this memo is to outline those items and guide tonight's conversation.

#### 1. Definition of Accessory Dwelling Unit (ADU)

A clear, defensible definition of an ADU is essential and will form the foundation of any adopted regulations. Attached are sample ADU definitions from several Pennsylvania boroughs.

Key takeaway from municipal comparisons:

Most municipalities limit ADUs to lots where the principal use is a single-family detached dwelling or single-family attached dwelling (twin). They generally do not permit ADUs accessory to multifamily dwellings, townhomes, rowhomes, or duplexes.

Additionally, nearly all definitions emphasize that the ADU is subordinate, incidental, and accessory to the primary residential use.

#### Attached for reference:

Samples of Definitions

#### **Discussion Question:**

How should Perkasie Borough define "Accessory Dwelling Unit"?

#### 2. Understanding Use by Right, Special Exception, and Conditional Use

A reference memo on "Understanding Use by Right, Special Exception, and Conditional Use" has been included for review. During the prior Planning Commission meeting, the Commission recommended that ADUs be considered a Use by Right in applicable districts, provided that appropriate performance standards and regulatory safeguards are included to mitigate potential

impacts. During that discussion the was a misunderstanding on what a Special Exception is and the process of the approval.

#### Attached for reference:

Understanding Use by Right, Use by Special Exception and Conditional Use

#### **Discussion Question:**

 Does the Commission wish to reaffirm that ADUs should be permitted as a Use by Right, with specific standards (parking, occupancy, owner-occupancy, size, design compatibility, etc.) should accompany that approval method or by Special Exception which will allow each application be reviewed case by case?

#### 3. Understanding Zoning Districts and Allowed Residential Uses

At the previous meeting, there was initial support for permitting ADUs in all residential zoning districts. However, several non-residential districts—including C-2 Commercial and I-2 Light Industrial—also permit single-family homes as an allowed or pre-existing use.

#### Attached for reference:

Summary sheets describing each zoning district

#### **Discussion Question:**

Should ADUs be allowed based on the use of the property (i.e., presence of a single-family dwelling), rather than solely on the zoning district classification?

#### 4. Review of Zoning Map and Prior Planning Recommendations

To support tonight's discussion, the following documents are attached:

- The full Borough Zoning Map
- Samples of lots in different districts
- Gilmore & Associates Planning Memo

These materials outline prior recommendations regarding occupancy limits, parking standards, size restrictions, owner-occupancy requirements, and other regulatory considerations relevant to ADU implementation.

Samples Definitions of other municipalities.

Haycock Township: (4) H4. ACCESSORY DWELLING UNIT. A separate dwelling unit subordinate in size to the principal single-family detached dwelling unit. The accessory dwelling unit may be contained in the

principal residence or in an accessory building which is permanently affixed to the ground. (use permitted by right in specifically districts)

Chalfont Borough: H4) Accessory Building Dwelling Unit. A separate, subordinate dwelling in a detached building on the same lot as a single-family detached dwelling.

North Wales Borough: Use A-1: Accessory dwelling unit. An accessory dwelling unit (ADU) is a dwelling unit that is accessory to a single-family dwelling that is located on the same lot. Use A-1: Accessory dwelling unit is only permitted upon special exception approval by the Zoning Hearing Board and when the following requirements are m

Lansdale Borough: ACCESSORY DWELLING UNIT: A suite attached to or contained within the principal dwelling unit on a lot that houses certain family members of the occupant(s) of the principal dwelling unit, and may contain separate cooking facilities.et:

#### Phoenixville Borough

ACCESSORY DWELLING UNIT (ADU) An accessory dwelling proposed within an existing principal single-family dwelling, attached to an existing principal single-family dwelling by way of addition, or wholly and exclusively within an accessory building on the same lot as a principal single-family dwelling.

#### West Chester Borough

#### ACCESSORY DWELLING UNIT or ADU

A residential dwelling unit located on the same lot as a single-family detached dwelling, single-family semidetached dwelling and single-family attached dwelling unit which provides complete independent living facilities for a maximum of two persons. It may take various forms: a detached dwelling unit; a dwelling unit that is part of an accessory structure, such as a detached garage; or a dwelling unit that is part of an expanded or remodeled principal dwelling unit. The adaptive reuse of a historic carriage house for an accessory dwelling unit shall not be considered an ADU.

#### Sample Definition for Perkasie Borough:

#### ACCESSORY DWELLING UNIT (ADU):

A subordinate, self-contained residential dwelling unit that is accessory to, and located on the same lot as, a principal single-family detached dwelling. An ADU provides independent living facilities for one (1) family and includes permanent provisions for sleeping, cooking, sanitation, and living areas. An ADU may be located within the principal dwelling (such as a converted basement, attic, or attached addition) or within a detached accessory structure (such as a garage or carriage house), provided it remains clearly subordinate to the principal dwelling and complies with all applicable zoning requirements. An ADU shall not be subdivided or sold separately from the principal dwelling and shall be under the same ownership as the principal dwelling.



620 W. Chestnut Street PO Box 96 Perkasie, Pa. 18944-0096

(215) 257-5065 (215) 257-6875 Fax

TO: Perkasie Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO – Zoning Officer & Code Enforcement Administrator

DATE: December 4, 2025

RE: Understanding Use by Right, Special Exception, and Conditional Use

#### **Purpose of This Memo**

This memo explains the three zoning approval methods used in Perkasie Borough—Use by Right, Special Exception, and Conditional Use. Understanding these methods helps the Planning Commission decide how different land uses should be reviewed and what level of oversight or public input is appropriate. The memo outlines what each method means and the key differences between them.

#### Use by Right

#### **What It Means**

A **Use by Right** is automatically permitted within a zoning district if the applicant meets all relevant ordinance requirements. The Zoning Officer may approve the use administratively.

#### **Process for Approval:**

- 1. Application submission to the Zoning Officer.
- 2. Zoning Officer reviews application and verifies the proposal meets zoning ordinance requirements.
- 3. If all applications meet all standards of the Zoning Ordinance, the Zoning Officer must issue Zoning permit.

#### Characteristics

- Administrative approval
- No public hearing
- No neighborhood notice
- No ability to impose site-specific conditions

#### Summary:

Use by Right provides efficiency but limits the Borough's ability to review or condition a use based on site-specific characteristics.

#### **Use by Special Exception**

#### What It Means

A special exception in zoning is a permitted land use that requires approval from a zoning hearing board, subject to specific criteria and public hearings.

#### **Definition and Purpose**

A special exception is a zoning mechanism that allows certain land uses that are permitted in a zoning district but requires extra review and meet specific conditions. This process ensures that the proposed use aligns with the community's zoning regulations and does not adversely affect the surrounding area. Special exceptions are often used for land uses that may have a significant impact on the community or neighborhood.

#### **Process for Obtaining a Special Exception**

- **1: Application Submission**: The property owner or developer must apply to the local zoning hearing board, detailing the proposed use. The applicant must prove they meet all specific criteria in the ordinance.
- **2: Public Hearing**: A public hearing is held where the applicant presents evidence supporting the request. This allows community members to voice their opinions or concerns regarding the proposed use.
- **3: Decision by the Zoning Hearing Board:** The board evaluates the application based on specific standards outlined in the zoning ordinance. If the applicant demonstrates compliance with these standards, the board may grant the special exception.

#### **Summary:**

- · Public hearing required
- Neighbor notice and participation
- Applicant must prove compliance with standards
- ZHB can impose reasonable, site-specific conditions
- Case-by-case evaluation of impacts and property characteristics

#### Conditional Use

#### What It Means

A Conditional Use is a permitted use that requires review and approval by Borough Council, following a public hearing. The Planning Commission provides advisory recommendations, and Council may impose reasonable conditions to ensure the use is appropriate both for the site and for the broader community.

#### **Characteristics**

- Public hearing before Borough Council
- Planning Commission review and recommendation
- Council may impose conditions
- Evaluates both site-specific and community-wide effects
- Used for uses of broader policy significance or potential impact

### **Summary:**

Conditional Use is the most detailed and policy-driven approval method, appropriate for uses requiring heightened oversight.

### Conclusion

Each approval mechanism serves a specific purpose:

- Use by Right provides administrative efficiency but minimal oversight.
- **Special Exception** balances flexibility, public involvement, and protection of neighborhood character through ZHB review.
- **Conditional Use** offers the highest level of legislative oversight and allows the Borough to align land-use decisions with long-term policy objectives.

A clear understanding of these three pathways will help guide zoning discussion for ADUs and other future ordinance changes and ensure that land-use decisions support the Borough's planning goals and community expectations.

Municipality	Approval Method	Occupancy Requirements	Type of Unit Permitted	Rental Allowed?
Haycock Township	Not explicitly stated; treated as permitted accessory use when standards are met	None stated	Internal or detached ADU; max 30% of principal residence or 800 sq ft if detached	Unclear / Not addressed
Chalfont Borough	Mirrors approval of principal use (if principal is special exception → ADU is special exception)	Annual affidavit verifying identity and relationship of occupants	Detached only; minimum 700 sq ft	No
North Wales Borough	Special Exception Only	Owner must occupy either the ADU or the principal dwelling; In R-1 District → ADU restricted to immediate family; Max 3 persons in the ADU	Attached or detached; max 40% of living area or 1,200 sq ft	No
Warminster Township	By Right	Relatives only	Attached or existing accessory structure; new structures only if lot is 1.5× minimum requirement	NO
Lower Southampton Township	By Right	Relatives only; affidavit verifying relationship; annual inspection	Attached only; max 600 sq ft	No
Lansdale Borough	By Right	Limited to specific family members; max 2 occupants; owner must occupy principal dwelling	Attached only; separate entrance not facing street	NO

West Chester Borough	By Right	One unit must be	Attached or detached	YES
		owner-occupied; max		
		2 people in ADU		
Phoenixville Borough	Special Exception	One of the two units	Internal, attached, or detached; size limits vary	Unclear / Not
		must be owner-		addressed
		occupied in		
		perpetuity; ADU		
		limited to 1 bedroom		

TO: Perkasie Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO - Zoning Officer & Code Enforcement Administrator

DATE: December 5, 2025

RE: Overview and Description of All Zoning Districts in Perkasie Borough

### Purpose of This Memo

The purpose of this memo is to provide a clear and comprehensive overview of all zoning districts within Perkasie Borough as established in Chapter 186 of the Borough Zoning Ordinance. A detailed understanding of each district's purpose and intent is essential for evaluating land-use consistency, reviewing zoning applications, and identifying how future planning initiatives should align with the Borough's long-term development goals.ZONING DISTRICT DESCRIPTIONS

R-1A – Low-Density Residential District

### Purpose & Intent:

The R-1A District is intended to preserve the Borough's existing low-density residential character, including areas with larger lots, mature landscapes, and significant open space. Development standards prioritize the protection of natural resources, minimization of impervious surfaces, and maintenance of single-family detached neighborhoods.

### **Key Characteristics:**

- Single-family detached dwellings on larger lots
- Cluster development permitted as an alternative pattern
- Strong environmental protection and open space preservation
- Excludes uses incompatible with low-density residential living

### R-1B – Low-Density Residential District

### Purpose & Intent:

The R-1B District supports low-density single-family neighborhoods, allowing slightly smaller lot sizes than the R-1A District while maintaining open space and environmental resource protection. The district reinforces established single-family development patterns.

- Single-family detached homes
- Slightly increased density compared to R-1A
- Environmental and natural resource protections
- Maintains traditional single-family neighborhood character

### R-2 – Medium-Density Two-Family Residential District

### Purpose & Intent:

The R-2 District accommodates medium-density residential uses and serves as a transition between lower-density and higher-density districts. It provides opportunities for both single-family and two-family dwellings that meet varied housing needs.

### Key Characteristics:

- Single-family detached and Two-family dwellings (twins/duplex)
- Moderate lot sizes
- Transitional residential zone
- Provides expanded housing opportunities

### R-3 – Multifamily Residential District

### Purpose & Intent:

The R-3 District supports higher-density residential development, including townhomes, rowhomes, and multifamily structures. This district is intended to diversify the Borough's housing options within suitable areas.

### Key Characteristics:

- Higher-density attached residential uses
- Smaller individual lots
- Accommodates multifamily structures
- Supports compact and walkable residential design

### A – Apartment District

### Purpose & Intent:

The A District provides for medium- to high-density apartment buildings and multifamily developments. It is intended to offer alternative residential living options in areas served by appropriate public infrastructure.

- Multi-story apartment buildings
- High-density residential uses
- Proximity to commercial services and transportation
- Efficient utilization of land and utilities

### C-1 – Business Professional District

### Purpose & Intent:

The C-1 District is designed for professional office uses and low-intensity commercial activities that are compatible with adjacent residential neighborhoods. It acts as a transition between residential and more intense commercial districts.

### Key Characteristics:

- Offices, clinics, and small professional services
- Lower-traffic commercial uses
- Emphasis on design aesthetics and pedestrian access
- Neighborhood compatibility focus

### C-2 – General Commercial District

### Purpose & Intent:

The C-2 District accommodates a wide range of commercial, retail, and service establishments that serve the Borough and surrounding region. It is oriented toward higher-intensity commercial activity along major roadways.

### **Key Characteristics:**

- Retail stores, restaurants, and drive-throughs
- Larger commercial buildings
- High customer traffic
- Supports regional economic activity

•

### I-1 - Planned Industrial District

### Purpose & Intent:

The I-1 District encourages the development of modern, well-planned industrial parks under coordinated design standards. It accommodates technology firms, research facilities, and light manufacturing in an organized industrial setting.

- Planned industrial and research facilities
- · Emphasis on site design and buffering
- Clean industrial operations
- Limits heavier industrial uses

### I-2 – Light Industrial District

### Purpose & Intent:

The I-2 District allows light manufacturing, warehousing, distribution, and similar industrial uses. It provides flexibility for a variety of industrial operations while maintaining compatibility with surrounding areas through appropriate controls.

### Key Characteristics:

- Light manufacturing and assembly
- Warehousing and distribution
- Contractor and service-related industrial uses
- Buffering requirements to minimize impacts

### I-3 – Airport Industrial District

### Purpose & Intent:

The I-3 District supports airport-related industrial and commercial uses associated with the Pennridge Airport. Uses within this district must be compatible with aviation operations and associated safety considerations.

### Key Characteristics:

- Aviation-supporting commercial and industrial activities
- Large parcels suitable for outdoor storage or operations
- Noise and aviation safety considerations
- Airport-linked economic development

### Town Center Overlay District (TC)

### Purpose & Intent:

The Town Center Overlay promotes pedestrian-oriented, mixed-use development within Downtown Perkasie. It supports reinvestment, historic preservation, and the creation of a vibrant, walkable town core through flexible, form-based design standards.

- Mixed-use development
- Infill redevelopment and adaptive reuse
- Historic preservation emphasis
- Streetscape and pedestrian design standards

### Residential Infill Overlay District (RIOD)

### Purpose & Intent:

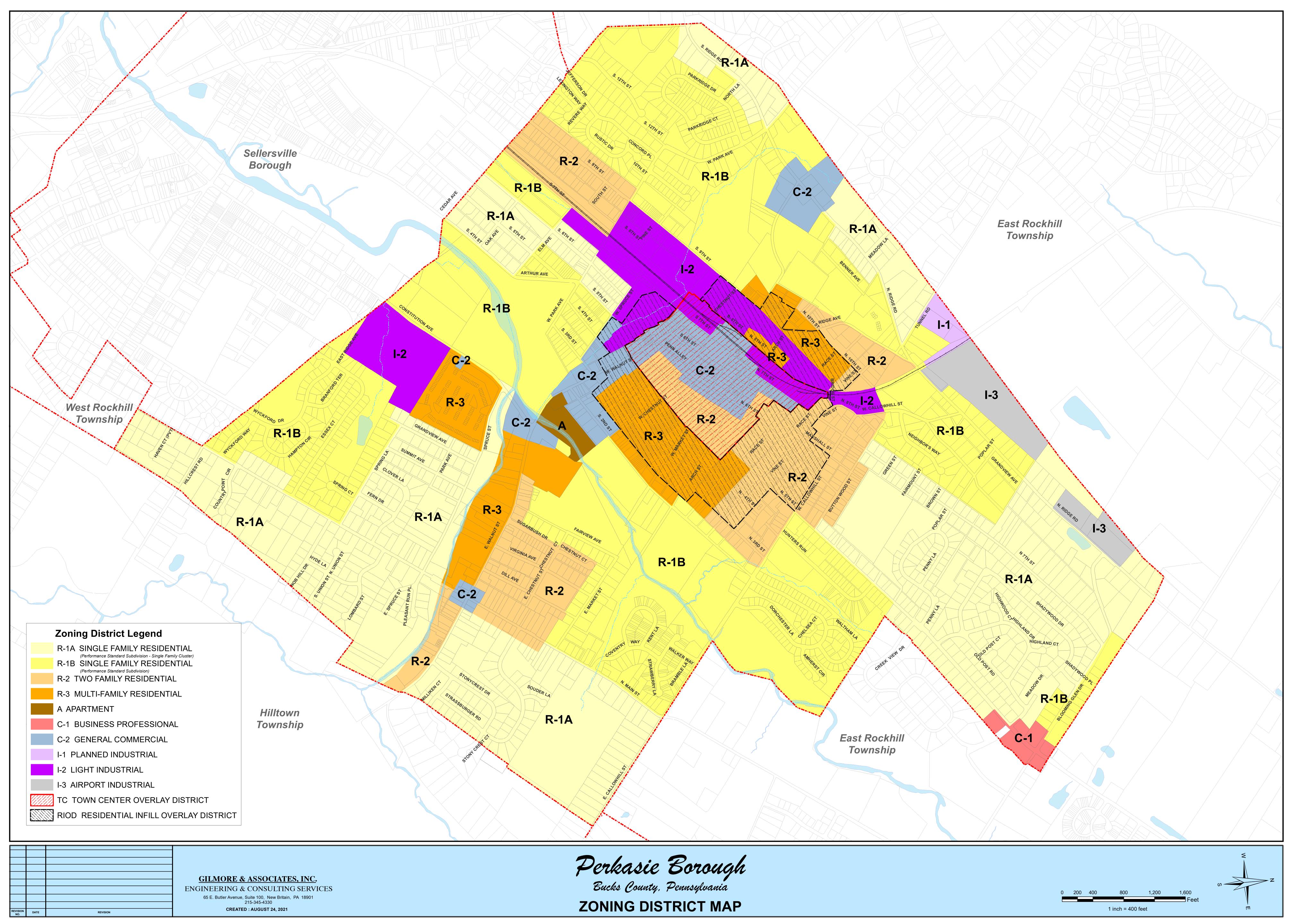
The RIOD Overlay provides flexible development standards for smaller or irregular lots in older sections of the Borough. The goal is to encourage reinvestment and neighborhood stabilization while ensuring new development aligns with existing residential character.

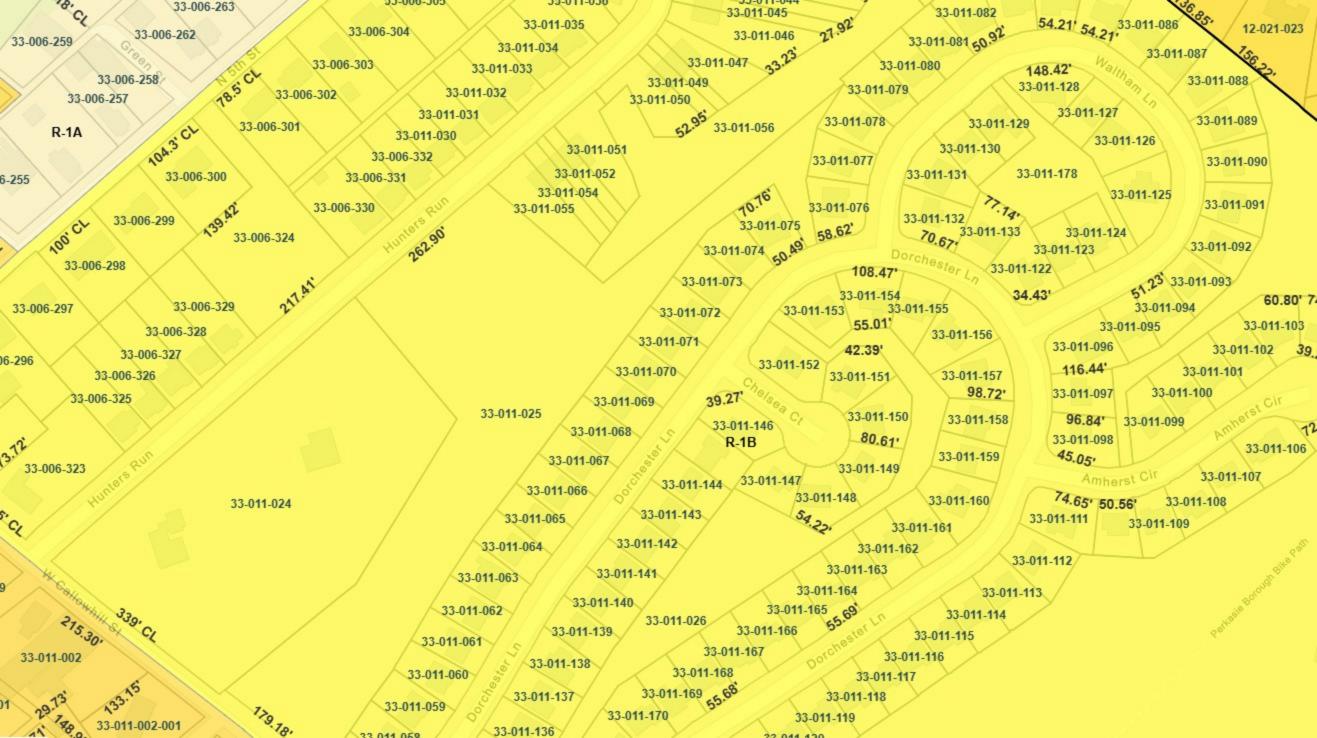
### Key Characteristics:

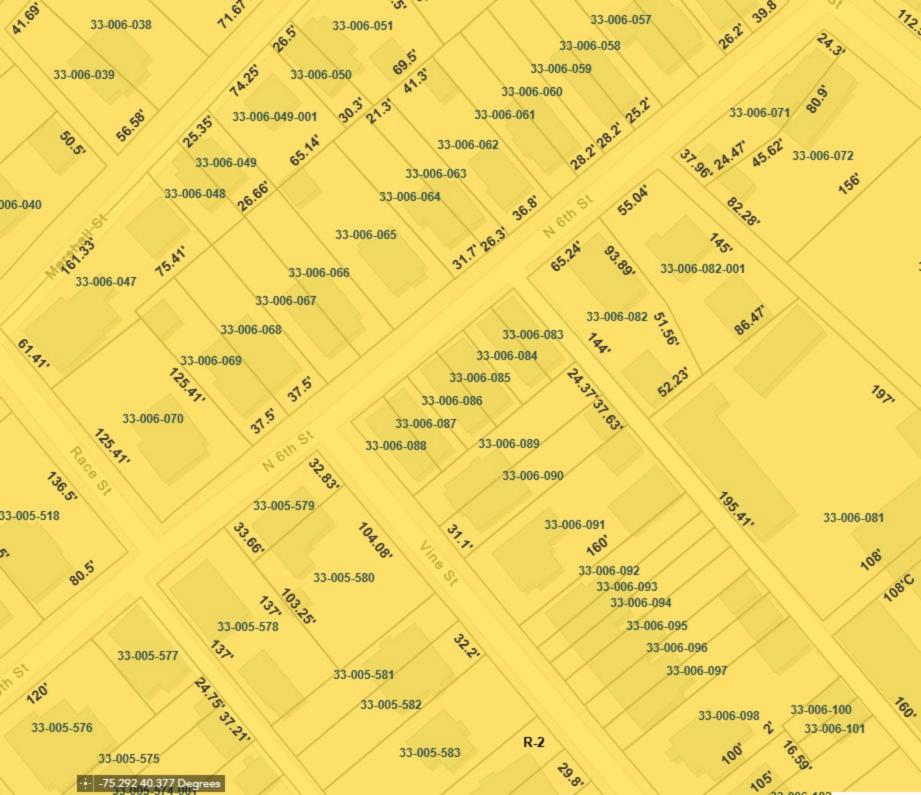
- Flexible lot size and setback requirements
- Supports redevelopment and infill housing
- Ensures compatibility with surrounding homes
- Reinforces long-standing neighborhood patterns

### Conclusion

This memo is intended to serve as a reference document to support the Planning Commission's ongoing work in evaluating land-use regulations, reviewing zoning proposals, and aligning zoning practices with the Borough's comprehensive planning goals.









☐ 3850 Sierra Circle, Suite 100   <b>Center Valley</b> , PA 18034   P: 610.366.8064   F: 610.366.0433
12 Terry Drive, Suite 205   <b>Newtown</b> , PA 18940   P: 215.369.3955   F: 610.968.1829
⊠ 65 E. Butler Avenue, Suite 100   <b>New Britain</b> , PA 18901   P: 215.345.4330   F: 215.948.9943
401 Plymouth Road, Suite 150   <b>Plymouth Meeting</b> , PA 19462   P: 610.489.4949   F: 610.489.8447
☐ One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425   <b>Philadelphia</b> , PA 19103   P: 215.687.4246   F: 215.564.1780

### **MEMORANDUM**

**Date:** October 24, 2025

**To:** Andrea Coaxum, Perkasie Borough Manager

**From:** Adrianne Blank, R.L.A.

cc: Cassandra Grillo, Zoning Officer and Code Enforcement Administrator

Jeffrey P. Garton, Esq., Borough Solicitor Megan McShane, Perkasie Borough Doug Rossino, P.E., Borough Engineer Linda Reid, Assistant Borough Manager

Reference: October 22, 2025, Planning Commission Meeting Summary

G&A Project No. 9991013

#### I. Old Business

A. Accessory Dwelling Unit (ADU) Use Discussion

The Planning Commission reviewed the Accessory Dwelling Unit use packet and information, discussed the regulations and came to the following consensus:

- ADU permitted as a bi-right use in all residential zoning districts (R1A, R-1B, R-2, and R-3).
- A consensus to allow all sample ADU types be included, (including "detached").
- One (1) ADU shall contain no more than one bedroom.
- ADU's to be regulated by lot size regulations, setbacks, impervious/building coverage regulations based on zoning district where located.
- Not to exceed 35% of existing principal dwelling habitable floor area and not to exceed 800 SF.
- Detached ADU's are to be a minimum of 15 ft. from the primary structure.
- ADU's height restriction: no higher than the existing roof line of the primary structure but not to exceed 24 feet high.
- Long-term rentals are acceptable. Short-term rentals such as (Air B&B) are not permitted.
- Include Deed restriction requirement to specify owner occupied covenant.
- Required parking: one (1) off-street parking space per bedroom.
- Impact fee to apply.

The Planning Commission suggested G&A prepare a draft Accessory Dwelling Unit Ordinance based on the above discussed items.

### Perkasie Borough Economic Development Plan Update

# Planning Commission Meeting December 10, 2025

### Question to solicit feedback

- 1. Strategies and goals: "Maintaining Authenticity" is the overall theme, with healthy living/ recreation, enhancing the arts and cultural activities, business advocacy-activating current vacant business sectors and Town Center development as key strategies.
  - Which growth or new businesses do you want to see in the Borough?
- 2. Main Street Matters Designation Program Opportunities
  - With the overall theme of "Maintaining Authenticity", Perkasie is primed for the Main Street Matters Program Designation as a logical next step to economic development. Is a Main Street Matters Designation something the Borough is interested in pursuing?

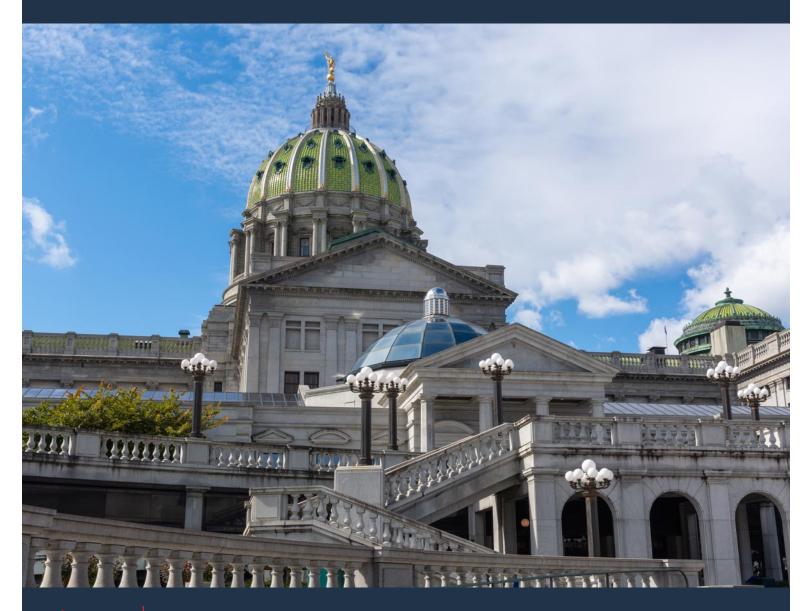
**Next steps:** Public meeting scheduled for March 11<sup>th</sup>, 2026 (6 pm)

## Main Street Matters Program **Designations**

**PROGRAM GUIDELINES July 2025** 



Pennsylvania Department of Community & Economic Development





Commonwealth of Pennsylvania Josh Shapiro, Governor

**PA Department of Community & Economic Development** dced.pa.gov







## **Table of Contents**

Section I – General Program Information
Section II – Eligible Applicants
Section III – Designations Defined2A. Main Street Designation2B. Elm Street Designation2
Section IV – Application Procedures
Section V – Designation Requirements
Section VI – Operations Funding Support and Program Administration
D. Requests for Payment
Section VII – Other Program Requirements  A. Nondiscrimination  B. Project Records  C. Conflict of Interest Provision
Section VIII – Program Flow Chart
Section IX – Contact Information
Appendix I – The Elm Street Approach
Appendix II – DCED Regional Offices
Appendix III - Designation Application Requirements

## **Section I – General Program Information**

The Department of Community and Economic Development (DCED) offers communities the opportunity to designate areas of a municipality or region for targeted investment and development for a period of five years. Designation includes the identification of specific needs for investment and/or development and the design and/or implementation of a strategy to address those needs. Applicants may request designation as any one of the following:

- Main Street focus on downtowns and commercial districts
- Elm Street focus on residential areas and neighborhoods adjacent to the community's downtown or commercial district

The benefits to designation may include:

- Funding for operational support, including the salary and benefits of the area manager.
- Priority consideration for a variety of DCED programs,
- Technical assistance and training for the designated area manager, local board, and committee members through DCED and other subject matter experts, and assistance in accomplishing designation goals and strategies,
- Networking opportunities with other designated program areas, and
- Eligibility for consideration under the Neighborhood Assistance Program (NAP) and Neighborhood Assistance Program Enterprise Zone Tax Credit (NAP/EZP).

## Section II - Eligible Applicants

The following entities are eligible to submit requests for designation under the Main Street Matters Program:

- Units of local government to include counties, cities, boroughs, townships, towns, and home rule municipalities,
- Redevelopment and/or housing authorities,
- Nonprofit organizations to include economic development organizations, housing corporations, etc.,
- Community development corporations, and
- Business improvement districts, neighborhood improvement districts, downtown improvement districts, and similar organizations incorporated as authorities.

Nonprofit organizations, business improvement districts, and other similar entities are required to provide documentation of at least two years of satisfactory operational experience relevant to the requested designation program and/or activities. Additionally, these entities must submit copies of the two most recent agency audits demonstrating no findings.

## Section III – Designations Defined

### A. Main Street Designation

The Main Street designation follows the principles of the National Main Street Center, a subsidiary of the National Trust for Historic Preservation's Main Street Approach, including preservation-based economic development with a strong emphasis on public engagement and Organizational Sustainability, demonstrated by identifying and documenting a sustainable funding plan to employ the full-time professional manager for at least five years. Examples of designation goals and strategies are as follows:

- Preserve and strengthen existing retail, local government, and business centers of communities.
- Improve the quality of life in a community by making the traditional downtown area a more attractive place to live and work.
- Act as a catalyst for small business development thereby increasing employment and tax revenues in downtown locations
- Assist local governments and small businesses in the development of relevant, state-of-the-art technology to provide cost-effective solutions for business and community development opportunities.
- Develop and maintain continuous contact with Main Street businesses regarding opportunities and solutions for impediments to business growth.
- Utilize a well-thought-out planning process, ensuring brick and mortar projects funded with public funds are making a meaningful difference in the downtown economy.
- Ensure the importance of reinvestment in traditional downtowns is considered in the overall economic development strategy at all levels of the private and public sectors.

### **B. Elm Street Designation**

The Elm Street designation encourages communities to integrate Main Street or downtown revitalization program with a neighborhood renewal strategy, that incorporates public engagement, for a residential area adjacent to the commercial district. Using the principles of the Elm Street Five Point Approach (Appendix I) residential neighborhoods in proximity to the central business district receive resources and development with the aim of further enhancing the downtown area and improving the viability of older neighborhoods. The designated area must be in a residential neighborhood in existence since at least 1961, within ½ mile of a commercial district, displaying signs of deterioration, and be in need of revitalization. Organizational Sustainability must be demonstrated by identifying and documenting a sustainable funding plan to employ the full-time professional manager for at least five years. Examples of designation goals and strategies are as follows:

- Revitalize neighborhoods in proximity to the existing downtown by improving the exterior appearance
  of the buildings and streetscapes.
- Formalize a connection between established residential neighborhood areas with downtown revitalization activities.
- Prevent neighborhood decline by developing a plan that includes the establishment of a sustainable community organization that will implement a Five-Year Strategy based on the Elm Street Five Point Approach.
- Assist municipalities in implementing a revitalization strategy for established residential neighborhoods either in the vicinity of a Main Street program or project or in proximity to an existing commercial district.

## **Section IV – Application Procedures**

- A. Applicants for designation must first contact the appropriate DCED Regional Office (Appendix II) to discuss designation consideration and requirements. The Regional Office may request additional information from the applicant to determine if the application will meet program requirements and qualifies to implement a designation program.
- B. With notice to move forward from the Regional Office, the applicant should email the program resource account at <a href="dece-msm@pa.gov">dece-msm@pa.gov</a> for completed designation application submission instructions.
- C. Applications will be reviewed by DCED and Pennsylvania Downtown Center (PDC) staff. Applicant should be prepared to answer questions and modify information as requested in a timely manner.
- D. DCED will make final decisions and provide formal notification of application approval/denial. Approvals will include confirmation of the specified designation area and effective dates and will include instructions for accessing Operations Funding.

## **Section V – Designation Requirements**

### A. Training, Monitoring, and Reporting

- 1. Managers of designated areas are required to attend various training and technical assistance sessions offered by DCED or PDC at DCED's request. All, or the majority, of these trainings will require inperson attendance. The following will be required, at a minimum:
  - Three Managers Meetings per year and
  - Five Academy Sessions to address Organization, Physical Improvement/Design, Community Marketing, Asset Enhancement, and Safe-Clean-Green within the first two years of designation.
  - Monitoring assessments of designated programs will be conducted following years 1, 3, and 5 of designation.
    - NOTE: Assessments, to be completed in-person, will require participation of the program manager as well as board and committee members.
  - Reporting of investment statistics and revitalization efforts within the designated area must be completed annually, at a minimum, using the online reporting system through PDC.
- 2. Main Street or Elm Street Manager or coordinator positions must include fringe benefits and health insurance options.

# Section VI – Operations Funding Support and Program Administration

### A. Operations Funding Support

Upon Main Street or Elm Street Designation approval, the implementing entity will be invited to immediately apply for an operations grant to support Main Street or Elm Street operations. Up to \$225,000 may be available to communities within their first designation under Main Street Matters based on the following scale:

- Year 1: Up to \$75,000
- Year 2: Up to \$75,000
- Year 3: Up to \$50,000
- Year 4: Up to \$25,000
- Year 5: \$0

### B. Eligible Use of Funds

- 1. Direct salary and benefits of a professional Main Street or Elm Street manager or coordinator responsible for the administration of the approved designation strategy and direct support staff.
- 2. Travel and training costs required by designation.
- 3. Rent or mortgage.
- 4. Utilities including, but not limited to, electric, water, internet, and phone.
- 5. Professional support service contracts to include:
  - Bookkeeping
  - Accounting
  - Social media management
  - Advertising

### C. Contracting Operations Funding Support with DCED

- 1. Upon approval of an application by DCED, a grant agreement (contract) will be issued to the applicant for electronic review and signature.
- 2. A fully executed contract between the applicant (hereafter referred to as grantee) and DCED is required prior to disbursement of funds. Costs incurred prior to full execution of the contract are incurred at the grantee's own risk.

### D. Requests for Payment

- 1. All payment requests must be submitted using the approved payment request form received with the fully executed contract.
- 2. Funds will be issued in advance annually, following the scale identified in Section VI, Part A. Grantees will be required to provide evidence of costs incurred by the end of each designation year in order for DCED to disburse the next year's allocation.

- 3. Prior to the release of Year 4 allocation, the grantee must also submit evidence of committed operations funding for Years 4 and 5.
  - Year 4 payment request and evidence of costs incurred must be submitted no later than 60 days after completion of all project activities, or the end of the contract activity period, whichever comes first.
  - Payment requests require at least 45 days for processing.

### E. Other Payment Considerations

- 1. Grantees must maintain good standing with designation and meet all program requirements. Failure to do so may jeopardize operations funding support.
- 2. Grantees who fail to provide evidence of costs incurred by the end of each designation year will forfeit the subsequent year's allocation
- 3. Grantees who fail to provide evidence of costs incurred may be required to repay any unsupported costs.

## Section VII - Other Program Requirements

### A. Nondiscrimination

No assistance shall be awarded to an applicant under this program unless the applicant and the project user certify to DCED that the project user shall not discriminate against any employee or against any person seeking employment by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the Pennsylvania Human Relations Act, which prohibits discrimination on the basis of race, color, religious creed, ancestry, age, sex, national origin, handicap or disability, or in violation of applicable federal laws. All contracts for work to be paid with grant funds must contain the commonwealth's official nondiscrimination clause.

### **B. Project Records**

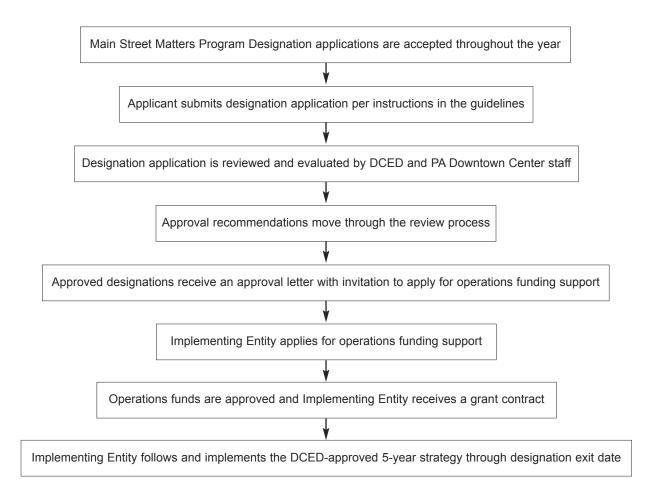
The applicant must maintain full and accurate records with respect to the project and must ensure adequate control over related parties in the project. DCED requires access to such records, as well as the ability to inspect all work, invoices, materials, and other relevant records at reasonable times and places. Upon request of the program office, the applicant must furnish all data reports, contracts, documents, and other information relevant to the project.

### C. Conflict of Interest Provision

An officer, director, or employee of an applicant who is party to or has a private interest in a project shall disclose the nature and extent of the interest to the governing body of the applicant, and may not vote on action of the applicant concerning the project, nor participate in the deliberations of the applicant concerning the project.

Please note that while designation does provide priority consideration for several DCED funding programs, including the Main Street Matters Program, it does not guarantee funding of any project.

## **Section VIII – Program Flow Chart**



## **Section IX – Contact Information**

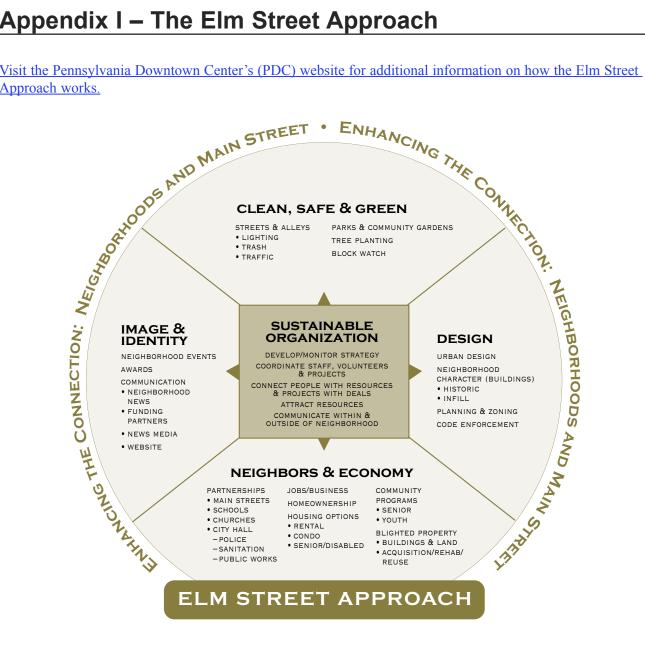
Questions regarding designation or program funding may be directed to:

PA Department of Community & Economic Development Center for Community Enhancement Commonwealth Keystone Building 400 North Street, 4th Floor Harrisburg, PA 17120-0225

Phone: (717) 787-6245 Email: <u>dced-msm@pa.gov</u>

## Appendix I – The Elm Street Approach

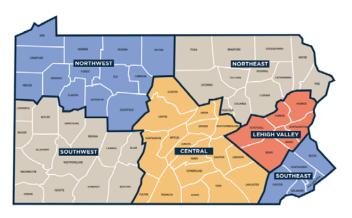
Visit the Pennsylvania Downtown Center's (PDC) website for additional information on how the Elm Street Approach works.



Source: "Elm Street Manager's Handbook"

## Appendix II – DCED Regional Offices

## Pennsylvania Department of Community and Economic Development dced.pa.gov



### **Southeast**

Bucks, Chester, Delaware, Montgomery, and Philadelphia counties

Department of Community and Economic Development **Michael Shorr**, Director 1650 Arch Street, Suite 2500 Philadelphia, PA 19103 (215) 560-3793 Fax: (215) 560-5832 mshorr@pa.gov

### **Northeast**

Bradford, Columbia, Lackawanna, Luzerne, Lycoming, Montour, Pike, Sullivan, Susquehanna, Tioga, Wayne, and Wyoming counties

Department of Community and Economic Development Paul Macknosky, Director 2 North Main Street Pittston, PA 18640 (570) 963-4122 Fax: (570) 654-6315 pmacknosky@pa.gov

### Lehigh Valley

Berks, Carbon, Lehigh, Monroe, Northampton, and Schuylkill counties

Department of Community and Economic Development Fadia Halma, Director 449 Wild Mint Lane Allentown, PA 18104 (717) 877-8481 fhalma@pa.gov

### Central

Adams, Centre, Clinton, Cumberland, Dauphin, Franklin, Fulton, Huntingdon, Juniata, Lancaster, Lebanon, Mifflin, Northumberland, Perry, Snyder, Union, and York counties

Department of Community and Economic Development Madra Clay, Director 400 North Street, 4<sup>th</sup> Floor Commonwealth Keystone Building Harrisburg, PA 17120-0225 (717) 720-7397 maclay@pa.gov

### Southwest

Allegheny, Armstrong, Beaver, Bedford, Blair, Butler, Cambria, Fayette, Greene, Indiana, Lawrence, Somerset, Washington, and Westmoreland counties

Department of Community and Economic Development **Johnna Pro**, Director 301 Fifth Avenue, Suite 250 Pittsburgh, PA 15222 (412) 565-5098 Fax: (412) 565-2635

#### Northwest

iopro@pa.gov

Cameron, Clarion, Clearfield, Crawford, Elk, Erie, Forest, Jefferson, McKean, Mercer, Potter, Venango, and Warren counties

Department of Community and Economic Development Christi Martone, Director 100 State Street, Suite 205 Erie, PA 16507 (814) 871-4241 cmartone@pa.gov

## **Appendix III – Designation Application Requirements**

Applications for designation must clearly state the designation status being sought and provide the following:

- 1. Name and description of the community applying for designation.
  - Demonstrate the area is in need of revitalization to include, as applicable, the reporting of crime, poverty, unemployment, deteriorated/dilapidated housing stock, blighted buildings, a blight declaration in accordance with the Housing and Redevelopment Assistance Law and Urban Renewal Law, reduced homeownership rates, or other similar criteria.
  - Discuss the role the community plays within the context of its region. Identify the substantive assets within the community and explain how these assets significantly contribute to the regional economy. Examples include, but are not limited to, colleges and universities; Keystone Innovation Zones, Keystone Opportunity Zone designations; regional healthcare centers; county seats; tourism venues; and high growth businesses and/or high-tech business concentrations.
  - If an application is a regional request or includes more than one community, the application must identify all communities involved in the request and outline the role each community plays within the region and with respect to this request. This must include a description of the geographic connection among the participating communities.
  - Demonstrate that the Five-Year Strategy has been developed though a planning process with community-wide engagement. Eligible activities that meet this requirement include, but are not limited to, community visioning, focus groups, and public meetings. Evidence of community-wide engagement includes, but is not limited to, advertisements of public meetings such as flyers and social media posts, attendance lists, descriptions of meetings that occurred, and photographs.
  - Applications for *Elm Street* designation must also demonstrate the following:
    - The designated area is a targeted, residential, pedestrian-oriented district dominated by traditional older buildings which as existed as a residential neighborhood since 1961. The selected area may be mixed-use, but must be primarily residential. Preference is given for those areas within a local or Nationally Registered Historic District.
    - The target area must be within approximately a ½ mile of the edge of a downtown commercial district in need of or actively undergoing a revitalization effort.
- 2. **Five-Year Strategy** that emphasizes opportunities for business growth, downtown and/or neighborhood revitalization, and the effective ways in which the local government and nonprofit partners intend to assist in the implementation of the strategy.
  - a. The strategy must be specific to the designated area and contain, at a minimum:
    - the goals, objectives, and outcomes of the revitalization effort,
    - identification of how implementation complements the community and/or region's overall development strategy,
    - specific outline of activities anticipated to be accomplished during the first year of implementation and planned activities through year five,
    - evidence of direct correlation between elements of the plan and community-wide engagement efforts as well as results of the Main Street Image Development Report or the Elm Street Image & Identity Report.
    - mission statement and
    - vision statement.

- Current Operating Budget of the organization responsible for daily oversight and administration of the
  designation program. Provide documentation that details costs related to operation of the designated
  program within that budget.
- 4. **Sustainability Plan** identifying funding source(s) in place to sustain a full-time professional manager for, at a minimum, the five-year designation period. Provide a plan covering the five-year period which accounts for anticipated costs related to designation including, but not limited to, salary and benefits costs of a professional manager and costs associated with training required by designation. Sustainability Plan should include funding anticipated from MSM Operations Funding Support.
- 5. **A map of the proposed designation area** which details the area's location with regard to major thoroughfares, amenities, and other notable landmarks specific to the community. Boundary identification by street names should be clear and specific.
- 6. **A resolution** from the subject municipality indicating support for the designation request, willingness to participate in the program, support of the Five-Year Strategy, and, if the applicant is an organization other than the municipality, authorization of the applicant to represent the municipality.
- 7. **Identification of the organization responsible for daily oversight and administration of the designation program.** This organization should be reflective of the designated area it represents, for example, Elm Street designations should be represented by organizations that are neighborhood-oriented and comprised of residents, community-based organizations, property owners, institutions, churches, businesses, social services agencies and/or municipal officials.
  - a. Applications must include:
    - Names and titles of board members providing information regarding each person's role within the organization
    - Copies of regularly scheduled board and committee meetings minutes since the inception of designation discussions,
    - Copies of the organizational by-laws, official incorporation, and nonprofit tax status of the organization, and
    - The name, address, phone number, email address, and resume or narrative outlining experience of the full-time, professional downtown manager.
    - Applicants that are non-profit organizations must be registered with the Department of State, Bureau of Charitable Organizations and provide their most recent BC-O-10 and most recent financial compilation, review, or audit based on the appropriate conditions and criteria.

### 8. Market assessment and image development reports.

- The Market Assessment Report provides the business inventory, the property/building inventory, and the socio- economic psychographic profile, aka the PRIZM lifestyle profile. The PDC has templates available for both the business inventory and the property/building inventory on the members-only section of the PDC website and will make available to other communities seeking designation upon request. The socio-economic psychographic profile/PRIZM lifestyle profile is available upon request to PDC.
- The Image Development Report compiles the results of a standard perceptual question survey of community members regarding the area to be designated. The purpose of this survey tool is to get a better idea of how people feel about common attributes that contribute to a "sense of place" within a community.
- 9. **Historic Preservation.** As applicable, document local interest and commitment to historic preservation as evidenced by the existence or planned creation of a local historic district, the involvement of local historic groups on the organization's board, or qualification as a Certified Local Government.