

**Perkasie Borough
Planning Commission Meeting
December 10, 2025**

AGENDA

1. Meeting Convenes – 7:00 PM
2. Pledge of Allegiance
3. Approval of Minutes from October 22, 2025
4. Public Forum
5. New Business
 - PRA Booster Pump Land Development Application
6. Old Business
 - Accessory Dwelling Unit Use Discussion
 - Economic Development Update Discussion
7. Other Business
8. Adjournment

Minutes of Meeting
Perkasie Planning Commission
October 22, 2025

620 W. Chestnut Street
Perkasie, PA 18944

Attendance:
Planning Commission

Maureen Knouse
Heather Nunn
Mairi Schuler
Mary McKay
Dave Weaver (Absent)
Dale Schlegel
Kim Bartells
Kelly Laustsen (Absent)
Quinten Baker

Borough of Perkasie:

Cassandra L. Grillo, Borough Zoning Officer
Adrienne Blank, R.L.A., Borough Planner
Sean Gresh, Borough Solicitor

Call to Order

Chairperson Maureen Knouse called the meeting to order at **7:03 PM**. The Pledge of Allegiance was recited. A quorum was present, and business before the Commission was acknowledged.

Approval of Minutes

Upon a motion by **Mari Schuler**, seconded by **Dale Schlegel**, the minutes of the **September 24, 2025** Planning Commission meeting—**with noted spelling corrections**—were unanimously approved.

Old Business

Accessory Dwelling Unit (ADU) Discussion

The Planning Commission continued its discussion regarding the regulation of **Accessory Dwelling Units (ADUs)**. Topics reviewed included minimum lot sizes, permitted residential districts, allowable ADU types, size limitations, parking, and potential occupancy regulations.

Following discussion, the Planning Commission reached consensus on the following **preliminary recommendations**:

ADU Recommendations (Commission Consensus)

Approval Method:

- ADUs should be permitted by right in all residential zoning districts: R-1A, R-1B, R-2, and R-3.
- ADUs would be permitted on single-family detached and single-family attached (twin) dwellings.

Types of ADUs:

- All sample ADU types reviewed should be permitted, including detached ADUs.

Size and Design Standards:

- ADUs may contain no more than one (1) bedroom.
- ADUs must comply with the district's lot size, setback, impervious coverage, and building coverage requirements.
- Maximum ADU size shall be no more than 35% of the existing principal dwelling's habitable floor area and not exceed 800 square feet.
- Detached ADUs must maintain a minimum 15-foot separation from the principal dwelling.
- Height restriction: ADUs shall be no higher than the existing roofline of the principal structure and may not exceed 24 feet in height.

Occupancy & Rental Regulations:

- Long-term rentals are permitted.
- Short-term rentals (e.g., Airbnb, VRBO) are prohibited.
- Include a deed restriction requiring the property to remain owner-occupied.

Parking Requirement:

- Provide one (1) off-street parking space per bedroom.

Impact Fee:

- An impact fee should apply; details to be determined during ordinance drafting.

After no further discussion regarding ADUs the Commission moved to adjourn.

Adjournment:

With no further business, the meeting adjourned at 8:56 pm.

Heather Nunn - Secretary



BOROUGH OF PERKASIE

620 W. Chestnut St
P.O. Box 96
Perkasie, PA 18944

(215)257-5065
Fax (215)257-6875

SUBDIVISION/LAND DEVELOPMENT APPLICATION

Date of Application: 11/7/25 Date of Plan or Revision: 11/7/25

APPLICATION FOR:

- ☐ Subdivision ☐ Sketch Plan ☐ Lot Line Change
Formal or Informal (Circle One)
- ☒ Land Development ☐ Preliminary Plan ☐ Minor Subdivision
- ☒ Final Plan

NAME of Subdivision or Land Development: Ridge Road Booster Pump
To be the name for the Duration of the Project

Location: Ridge Avenue and Ridge Road, Perkasie, PA, 18944

Tax Parcel No(s): 33-003-011

Total Acreage Gross: 2.08 acres Net Buildable Site Area: 1.48 acres

ZONING REQUIREMENTS:

Zoning District R-2 Minimum Lot Size 7000ft² Maximum Density 1.56

Yard Setbacks: Front 53.5 Side 52.3 Rear 280.2 Number of Lots or Dwelling Units: 0

Water Supply: ☐ Private ☒ Public

Sewer Service: ☐ On-Lot ☐ Public

EQUITABLE OWNER of Record of Land: Nicholas Fretz

Address: 150 Ridge Road, Suite 1 Phone: 215-257-3654
Sellersville, PA, 18960

APPLICANT: Nicholas Fretz

Email: nick.fretz@perkasioauthority.org Phone: 215-257-3654

Address: 150 Ridge Road, Suite 1, Sellersville, PA, 18960

REGISTERED ENGINEER OR SURVEYOR: Sean Torpey

Email: Starpey@pennoni.com Phone: 215-257-5711

Address: 150 Ridge Road, Suite 2, Sellersville, PA, 18960

This is to certify that I have read the Perkasio Borough Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of the ordinance to the best of my knowledge.

Nicholas J. Zg
Signature of Property Owner

[Signature]
Signature of Registered Engineer or Surveyor



BOROUGH OF PERKASIE

620 W. Chestnut St
P.O. Box 96
Perkasie, PA 18944

(215)257-5065
Fax (215)257-6875

Subdivision & Land Development Plan Submission Checklist

Date of Application: 11/7/25

Subdivision/Land Development Name: Ridge Road Booster Pump

Address of Property: Ridge Avenue and Ridge Road, Perkasie, PA, 18944

Owner(s) Name: Nicholas Fretz

Applicants Name: Nicholas Fretz

Tax Map Parcel Number: 33-003-011

Plan Sets – Folded to 8 ½ x 11: (11 Total)

X Planning Commission – 8 Copies X Boro File – 2 Copies

X Borough Engineer – 1 Copy

The applicant must show **proof of submission** to the outside agencies listed below, as applicable, (stamped copy or cover letters and copy of application form). The following plan sets are subject to the requirements of the outside agency and **must be submitted to the outside agency by the applicant**.

N/A Bucks County Planning Commission (1 Copy)

X Bucks County Conservation District (1 Copy)

N/A Supplying Water Authority – (1 Copy)

N/A Bucks County Department of Health (1 Copy)

N/A Penn DOT (Highway Permit)

N/A Army Corps of Engineers (Wetlands)

APPLICATION FORMS & FEES ARE TO BE SUBMITTED TO THE BOROUGH. All applications must include these items or the application will be considered administratively incomplete and returned to the applicant.

BOROUGH OF PERKASIE

PLAN CHECKLIST

(To Be Completed by Applicant)

GENERAL SUBMISSION ITEMS - Does the submission include:

PLAN REQUIREMENTS - Do the Plans have:

Yes* No Sheet No.

* Note (Insert NA if not applicable)

- | | | | | |
|-------------|-------------|-------------|----|---|
| <u>X</u> | <u> </u> | <u>a11</u> | 1. | Plan drawings at a size of 24" x 36" |
| <u> </u> | <u>X</u> | <u> </u> | 2. | A scale of 1" = 50' or 1 = 100'? |
| <u>X</u> | <u> </u> | <u>2</u> | 3. | Dimensions set in feet and decimal part thereof and bearings in degrees, minutes and seconds? |
| <u>X</u> | <u> </u> | <u>a11</u> | 4. | Sheets numbered and show relationship to the total number of sheets? |
| <u>X</u> | <u> </u> | <u>a11</u> | 5. | An adequate legend indicating clearly which features are existing and which are proposed? |

GENERAL INFORMATION - Do the Plans have:

Yes* No Sheet No.

- | | | | | |
|------------|-------------|-------------|-----|---|
| <u>X</u> | <u> </u> | <u>a11</u> | 6. | Name and address of Owner? |
| <u>X</u> | <u> </u> | <u>a11</u> | 7. | Name and location of subdivision or land development? |
| <u>X</u> | <u> </u> | <u>a11</u> | 8. | Graphic and/or written scales? |
| <u>X</u> | <u> </u> | <u>a11</u> | 9. | Date of plan and all subsequent revision dates? |
| <u>X</u> | <u> </u> | <u>a11</u> | 10. | Name and address, signature and seal of the licensed engineer or surveyor responsible for the Plan? |
| <u>X</u> | <u> </u> | <u>2</u> | 11. | Location map at a minimum scale of 1" = 800'? |
| <u>X</u> | <u> </u> | <u>a11</u> | 12. | North arrow? |
| <u>X</u> | <u> </u> | <u>2-3</u> | 13. | Site boundaries survey with tie-ins to all adjacent streets? |
| <u>X</u> | <u> </u> | <u>2-3</u> | 14. | Location and type of existing monuments? |
| <u>X</u> | <u> </u> | <u>2-3</u> | 15. | Forested areas? |
| <u>N/A</u> | <u> </u> | <u> </u> | 16. | Watercourses, lakes and wetlands (with names, if any)? |

Plan Checklist

Do the plans include the location of the following existing features on the site being subdivided or developed and within 400 feet of the site:

<u>Yes*</u>	<u>No</u>	<u>Sheet No.</u>	
<u>X</u>	___	<u>2-3</u>	17. Streets and rights-of-way (including name and right-of-way widths)?
<u>X</u>	___	<u>2-3</u>	18. Existing lot layout on the site and on immediately adjacent tracts?
<u>X</u>	___	<u>2-3</u>	19. Property lines, building locations, driveway locations, and names of adjacent property owners?
<u>X</u>	___	<u>3</u>	20. Sewer lines, storm drains and easements, other utilities?
<u>X</u>	___	<u>1-4, 8</u>	21. Pennsylvania One-Call Serial No. and note.

PROPOSED FEATURES - Do the Plans show:

<u>X</u>	___	<u>2</u>	22. Layout of streets with center lines, cartways and right-of-ways, and proposed names?
<u>X</u>	___	<u>2</u>	23. Layout of lots and dimensions?
<u>X</u>	___	<u>2</u>	24. Building setback lines from all lot lines?
<u>X</u>	___	<u>2</u>	25. The arrangement and use of buildings and parking areas with all necessary dimensions and number of parking spaces?
<u>X</u>	___	<u>2-3</u>	26. Rights-of-way and easements for all drainage, utilities, (electric, gas, telephone, and CATV) or other purpose which might affect development?
<u>N/A</u>	___	___	27. Open space areas, proposed use and maintenance?
<u>N/A</u>	___	___	28. Proposed monuments and individual lot pins.
<u>X</u>	___	<u>2</u>	29. Applicable zoning requirements and the location of zoning district boundary lines affecting the subdivision.
<u>N/A</u>	___	___	30. A reference to any land to be dedicated for parks, recreation areas, widening of streets or other public uses.
<u>N/A</u>	___	___	31. For multi-family developments, the total area, total dwelling units, number of buildings, proposed total parking spaces, building coverage and the bedroom ratio shall be on the plan.

Plan Checklist

<u>Yes*</u>	<u>No</u>	<u>Sheet No.</u>	
<u>X</u>	<u> </u>	<u>2</u>	32. An indication of any lots in which other than a residential use is intended.
<u>N/A</u>	<u> </u>	<u> </u>	33. For subdivisions, the total area, number of lots, average and minimum lot size shall be noted on the plan.
<u>X</u>	<u> </u>	<u>3-4</u>	34. The location and size of storm drains, stormwater management facilities, sanitary sewers, culverts, watercourses and all appurtenances thereof, on-site sewage disposal facilities, gas mains, electric facilities, water mains, fire hydrants, street lights, planting, special structures and other underground conduits or structures.
<u>N/A</u>	<u> </u>	<u> </u>	35. Typical cross sections and centerline profiles for each proposed street. These plans may be submitted as separate sheets. Where the plan covers only a part of the owner's entire holding, a sketch shall be submitted of the prospective street layout for the remainder.
<u>X</u>	<u> </u>	<u>2-3</u>	36. A plan for planting is required for open space subdivision; this plan shall show the location of all existing trees greater than three (3) inches in caliper. All new plantings shall indicate species and size.
<u>X</u>	<u> </u>	<u>2</u>	37. The location of all trees to be saved.
<u>X</u>	<u> </u>	<u>2</u>	38. The tree protection zone.
<u>N/A</u>	<u> </u>	<u> </u>	39. The location of proposed retaining walls.
<u>X</u>	<u> </u>	<u>2</u>	40. A table showing open space ratio, density and impervious surface ratio.
<u>N/A</u>	<u> </u>	<u> </u>	41. Estimated average and peak volumes of water needed to serve the proposed subdivision or land development and an indication of the available water volume for fire flow and the water volume required to satisfy the Insurance Services Office (ISO) standards for fire protection.
<u>X</u>	<u> </u>	<u>2</u>	42. Owners Statement of Acknowledgment

Plan Check 1/8

<u>Yes*</u>	<u>No</u>	<u>Sheet No.</u>	
<u>X</u>	<u> </u>	<u>2</u>	43. The signature block for the Chairman and Secretary of the Borough Planning Commission?
<u> </u>	<u>X</u>	<u> </u>	44. The signature block for Executive Director of the Bucks County Planning Commission.
<u>X</u>	<u> </u>	<u>2</u>	45. The signature block for the Borough Engineer.
<u>X</u>	<u> </u>	<u>2</u>	46. The signature block for the President and Secretary of the Borough Council.

Prepared By:

Accepted by:

Date:

Date:

Signature: Nicholas J. Zito
Applicant or representative

Signature: _____
Borough Official

m:\wp51\perkasio\subcheck.ls2



BOROUGH OF PERKASIE

620 W. Chestnut St
P.O. Box 96
Perkasie, PA 18944

(215)257-5065
Fax (215)257-6875

SUBDIVISION / LAND DEVELOPMENT 90-DAY REVIEW WAIVER

Date: 11/7/25

Borough Manager
Perkasie Borough
620 W. Chestnut St.
P.O. Box 96
Perkasie, PA 18944

Re: Subdivision/Land Development Plan of Ridge Road Booster Pump

On November 7th, 2025, I/We submitted for official filing, the above referenced plan of subdivision/land development.

Please be advised that, notwithstanding, any contrary provision of the Pennsylvania Municipalities Planning Code or the Perkasio Borough Code, this letter will serve as notice to Perkasio Borough that the requirement that action be taken on this subdivision proposal within ninety (90) days is hereby waived, without limitation as to time.

This Waiver can be revoked upon thirty (30) days written notice to Perkasio Borough.

Very truly yours,

Nicholas J. Zif



November 7, 2025

PEREA25004

Perkasie Borough
Attn: Ms. Andrea Coaxum
620 West Chestnut Street
P.O. Box 96
Perkasie, PA 18944

**RE: Ridge Road Booster Station (PRA25-03)
TMP 33-003-011**

Dear Ms. Coaxum:

The Perkasie Regional Authority (PRA) currently operates a 750,000-gallon water storage tank located on TMP 33-003-011. The use is an existing F(2) Public Utility use. The use is permitted as Use by Right. We have made application to Perkasie Borough to expand the existing use. Additionally, we are asking for a Waiver of Land Development. The proposed development will consist of a new 20' x 24' building to house a booster pump, which will connect the two pressure zones that make up the PRA potable water system. Below, please find a list of our requested waivers, as well as a list of previously approved waivers and variances for the site:

WAIVERS REQUESTED:

1. 164-8.B - PRELIMINARY/FINAL APPROVAL.

WAIVERS GRANTED BY THE PERKASIE BOROUGH COUNCIL ON SEPTEMBER 22, 2022:

1. 164-8.B - PRELIMINARY/FINAL APPROVAL.
2. 164-20.A - TO NOT WIDEN RIDGE ROAD OR RIDGE AVENUE.
3. 164-20.B.(3) - TO WIDEN STREETS WHERE THE MINIMUM WIDTH DOES NOT MEET WITH THE SPECIFIC REQUIREMENTS FOR THE INDIVIDUAL STREET.
4. 164-24 - TO ALLOW AN EXISTING DRIVEWAY TO BE LESS THAN 24 FEET WIDE AND HAVING A LONGITUDINAL SLOPE GREATER THAN 5%.
5. 164-51.A - TO NOT PROVIDE SIDEWALKS.
6. 164-52.B - TO NOT INSTALL CURBS ALONG RIDGE ROAD AND RIDGE AVENUE.
7. 164-68.C.(2) & 164-70.C.(2) - TO PROVIDE AN AERIAL PHOTOGRAPH IN LIEU OF THE INFORMATION REQUIRED UNDER 164-68.C.(2) AND 164-70.C.(2).
8. 164-68.D.(17) & 164-68.D.(18) - TO NOT SHOW INDIVIDUAL TREE LOCATIONS AND DRIP LINES.
9. 164-70.A.(5) - TO PREPARE PLANS ON 24" X 36" SHEETS.

VARIANCES GRANTED BY THE PERKASIE BOROUGH ZONING HEARING BOARD ON MAY 24, 2022:

1. 186-18.F.(2).(a) - ALLOW 10-FEET-WIDE PROPOSED STONE SERVICE RING IN REQUIRED BUFFER.
2. 186.54.D.(2) - TO NOT PROVIDE TWO (2) STAGGERED ROWS OF EVERGREEN ALONG APPROXIMATELY 135 FEET OF RIDGE AREA AS SHOWN ON THIS PLAN.

We believe this application qualifies for a Waiver of Land Development because it is an existing use and the collective improvements since 2005 will result in a net decrease in impervious. These improvements will ensure that PRA can continue to provide safe and reliable drinking water to their customers in the event of an emergency.

If you have any questions, do not hesitate to contact me.

Sincerely,
PENNONI ASSOCIATES INC.

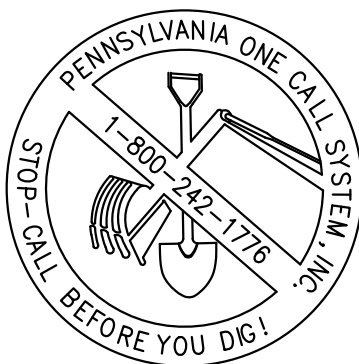


Sean R. Torpey, PE
Authority Engineer

SRT:jar

Cc: Nick Fretz, PRA
Jakob Reilly, EIT
John Rundy, PE

U:\Account\PEREA\PEREA25004 - Ridge Rd Booster Station (PRA)25-03\CS0001\CS0001.PENNONI Associates Inc. 11/07/2025 2:40 PM BY: Matthew Krueger PLOTTED: 11/07/2025 2:40 PM BY: Matthew Krueger PLOTTED: 11/07/2025 2:40 PM BY: Matthew Krueger

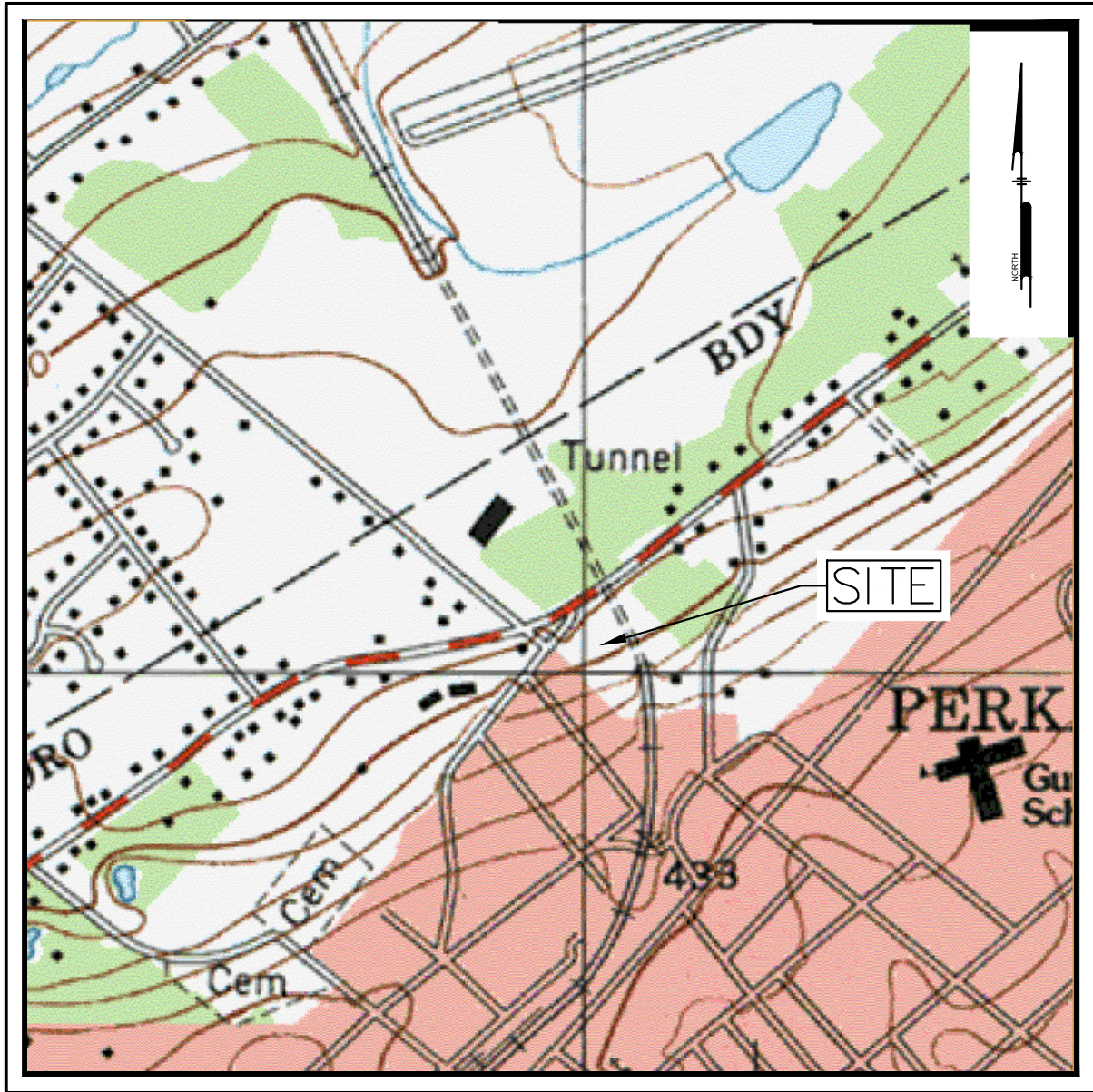


CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20252885761

RIDGE ROAD BOOSTER PUMP (PRA 25-03)

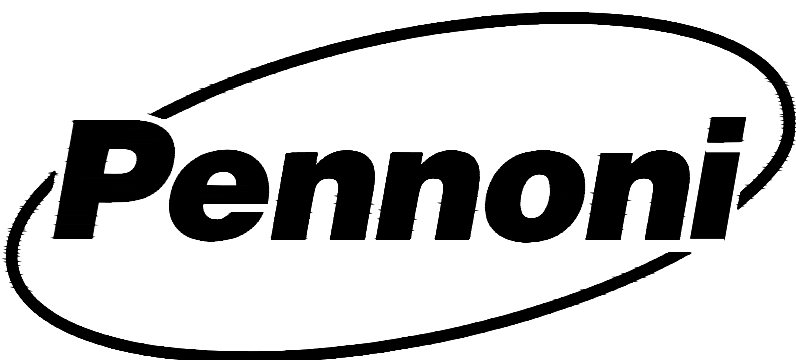
PERKASIE BOROUGH, BUCKS COUNTY, PA

PREPARED FOR:
PERKASIE REGIONAL AUTHORITY
150 RIDGE ROAD
SELLERSVILLE, PA 18960



USGS MAP
Scale: 1" = 800'

PREPARED BY:
PENNONI ASSOCIATES INC.



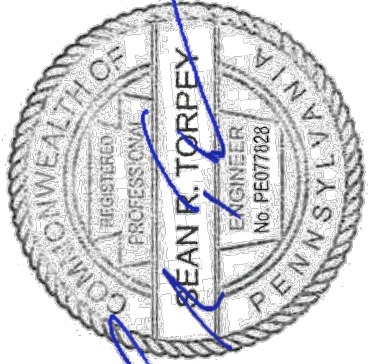
150 Ridge Road, Suite 2
Sellersville, PA 18960
T 215-257-5711
F 215-257-5766

SHEET LIST TABLE				
SHEET	PAGE	SHEET TITLE	ISSUED DATE	REVISED DATE
CS0001	1	COVER SHEET	11/7/2025	
CS0101	2	RECORD PLAN	11/7/2025	
CS0201	3	EXISTING FEATURES PLAN	11/7/2025	
CS1001	4	PROPOSED IMPROVEMENT PLANS	11/7/2025	
CS6001	5	PROPOSED BOOSTER PUMP LAYOUT PLAN	11/7/2025	
CS6002	6	CONSTRUCTION DETAILS	11/7/2025	
CS6003	7	CONSTRUCTION DETAILS	11/7/2025	
CS8001	8	EROSION & SEDIMENT CONTROL SITE PLAN	11/7/2025	
CS8501	9	EROSION & SEDIMENT CONTROL NOTES	11/7/2025	
CS8502	10	EROSION & SEDIMENT CONTROL DETAILS	11/7/2025	
CS9501	11	AERIAL PHOTO	11/7/2025	

RIDGE ROAD BOOSTER PUMP
RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944
COVER SHEET

PERKASIE REGIONAL AUTHORITY
150 RIDGE ROAD
SELLERSVILLE, PA 18960

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK



Pennoni
PENNONI ASSOCIATES INC.
150 Ridge Road, Suite 2
Sellersville, PA 18960
T 215-257-5711 F 215-257-5766

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATE AND OWNER SHALL
INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES
FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES
ARISING OUT OF OR RESULTING THEREFROM.

PROJECT **PEREA25004**
DATE 11/07/2025
DRAWING SCALE 1" = 800'
DRAWN BY TLC
APPROVED BY SRT

CS0001

SHEET 1 OF 11

NOT FOR CONSTRUCTION

RIGHT-OF-WAY AREA
OF RIDGE AVENUE
OFFERED FOR
DEDICATION TO THE
GOVERNMENTAL
AGENCY HAVING
JURISDICTION

PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20252883761

NOTES:

- TMP: 33-006-019
N/L NORTH PENN RAILROAD COMPANY
ZONED : R-1B (SINGLE FAMILY RESIDENTIAL)
USE: UTILITY - RAILROAD

WAIVERS APPLICATIONS TO PERKASIE BOROUGH COUNCIL:
1. 164-8.B – PRELIMINARY/FINAL APPROVAL.

- VARIANCE GRANTED BY THE PERKASIE BOROUGH ZONING HEARING BOARD ON MAY 24, 2022:

1. 186-18.F.(2).(a) - ALLOW 10 FEET WIDE PROPOSED STONE SERVICE RING IN REQUIRED BUFFER.
2. 186.54.D.(2) - TO NOT PROVIDE TWO (2) STAGGERED ROWS OF EVERGREEN ALONG APPROXIMATELY 135 FEET OF RIDGE AREA AS SHOWN ON THIS PLAN.

I, (WE) _____ HAVE LAID OUT UPON (OUR) LAND
SITUATED IN PERKASIE BOROUGH, BUCKS COUNTY PENNSYLVANIA, CERTAIN IMPROVEMENTS
ACCORDING TO THIS PLAN WHICH IS INTENDED TO BE RECORDED.

WITNESS MY (OUR) HAND SEAL ON THE ____ DAY OF _____ 20__.

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUCKS:

ON THE _____ DAY OF _____ 20____, BEFORE ME, THE SUBSCRIBER,
A NOTARY PUBLIC FOR THE COMMONWEALTH, PERSONALLY APPEARED _____
_____ WHO ACKNOWLEDGED THIS PLAN TO BE THE
OFFICIAL PLAN OF PROPERTY SHOWN THEREON, LOCATED IN THE BOROUGH OF
PERKASIE, BUCKS COUNTY, PENNSYLVANIA AND DESIRED SAME TO BE RECORDED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RECOMMENDED FOR APPROVAL BY THE PERKASIE BOROUGH PLANNING COMMISSION
ON THE ____ DAY OF _____ 20__.

CHAIRMAN

SECRETARY

REVIEWED BY THE PERKASIE BOROUGH ENGINEER ON THE ____ DAY
OF _____ 20____, TO ENSURE THAT THE PLAN MEETS THE
INTENT OF THE LAND DEVELOPMENT.

BOROUGH ENGINEER

APPROVED BY THE PERKASIE BOROUGH COUNCIL ON THE _____ DAY _____
OF _____ 20__.

_____ PRESIDENT	_____ SECRETARY
--------------------	--------------------























BCPC No. _____

RECORDED IN THE OFFICE THE RECORDER OF DEEDS AT DOYLESTOWN,
PENNSYLVANIA IN THE PLAN BOOK _____ PAGE _____ ON THE
_____ DAY OF _____ 20____.

BY _____

LEGAL RIGHT OF WAY WIDTHS OF RIDGE AVENUE AND NORTH RIDGE ROAD BASED UPON A PLAN ENTITLED "PROPERTIES SURVEYED FOR SCOTT W. GULICK AND GARY T. JONES" PREPARED BY GEORGE REID NEVELLS, RECORDED IN PLAN BOOK 134 AT PAGE 13

LEGEND

-  EXISTING PROPERTY LINE
 EXISTING ADJOINER PROPERTY LINE
 EXISTING RIGHT-OF-WAY LINE
 EXISTING BUILDING SETBACK LINE
 EXISTING BUILDING
 EXISTING CURB
 EXISTING EDGE OF GRAVEL
 EXISTING CENTERLINE OF ROAD
 EXISTING FENCE
 EXISTING SIDEWALK
 EXISTING MAJOR CONTOUR
 EXISTING MINOR CONTOUR
 EXISTING SPOT ELEVATION
 EXISTING SIGN
 EXISTING UTILITY POLE
 EXISTING FIRE HYDRANT
 EXISTING REDUCER
 EXISTING WATER VALVE
 EXISTING WATER CURBSTOP
 EXISTING WATER LINE
 EXISTING SEWER
 EXISTING OVERHEAD UTILITIES

SITE DATA:

TAX MAP PARCEL: 33-003-011

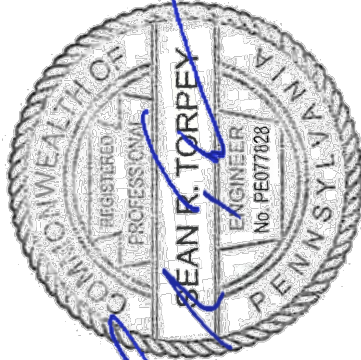
DEED OF RECORD: DEED BOOK 285, PAGE 444

OWNER/APPLICANT: PERKASIE REGIONAL AUTHORITY
150 RIDGE ROAD
PERKASIE, PA 18960

SITE ADDRESS: RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

Pennoni

PENNONI ASSOCIATES INC.
150 Ridge Road, Suite 2
Sellersville, PA 18960
T 215-257-5711 F 215-257-5766



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
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RIDGE ROAD BOOSTER PUMP

AVENUE AND RIDGE ROAD

RECORD PLAN

PERKASIE REGIONAL AUTHORITY

SELLERSVILLE, PA 18960

[illegible]

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PROJECT PEREA25004

DATE 11/07/2025

DRAWING SCALE 1" = 20'

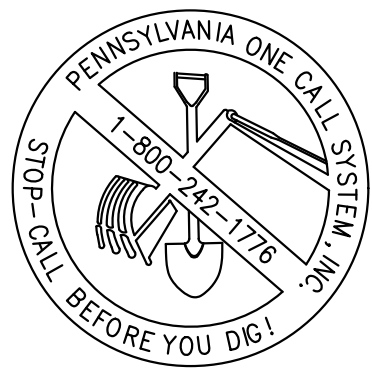
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CS0101

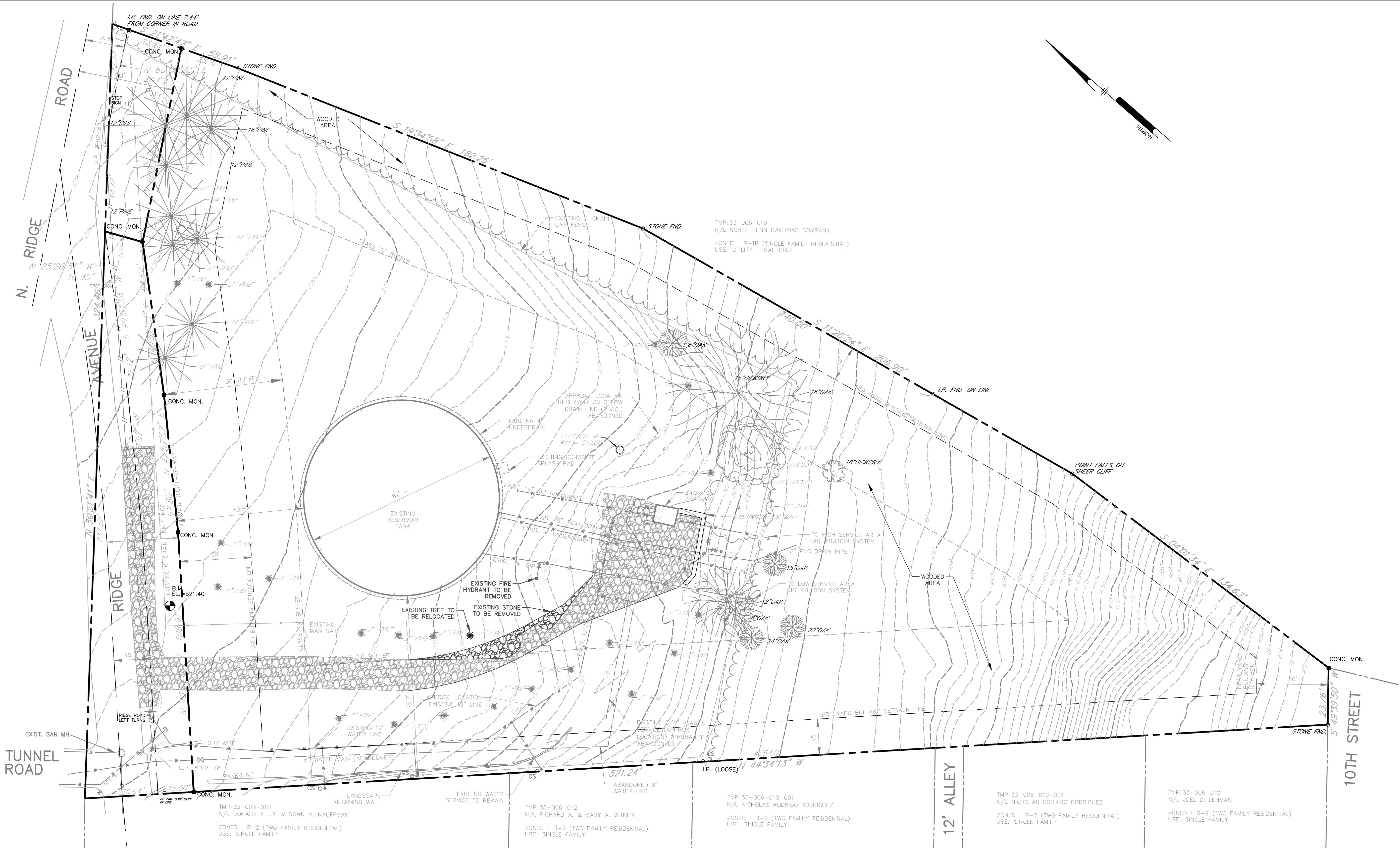
SHEET 2 OF 11

NOT FOR CONSTRUCTION

U:\Account\PEREA\PEREA25004 - Ridge Rd Booster Station - PPA25004\CS0201\CS0201\PEREA25004 - Reservoir Pumping.dwg
PLOTTER: 11/07/2025 9:40 AM BY: Matthew Krueger PLOTSTYLE: Pennoni MCD.ctb

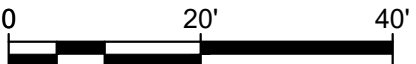


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BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20252883761



- NOTES:**
- EXISTING FEATURES AND EXISTING SITE IMPROVEMENTS SHOWN ON THIS PLAN BASED ON A FIELD SURVEY PERFORMED BY ANDERSEN ENGINEERING ASSOCIATES, INC. ON MAY 2, 1994 AND A PLAN ENTITLED "RESERVOIR TANK AS-BUILT" PREPARED FOR PERKASIE REGIONAL AUTHORITY BY ANDERSEN ENGINEERING ASSOCIATES, INC., DATED JULY 10, 2024.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS OF A FULL AND COMPLETE TITLE SEARCH.

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING ADJOINER PROPERTY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING BUILDING SETBACK LINE
 - EXISTING BUILDING
 - EXISTING CURB
 - EXISTING EDGE OF GRAVEL
 - EXISTING CENTERLINE OF ROAD
 - EXISTING FENCE
 - EXISTING SIDEWALK
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING FIRE HYDRANT
 - EXISTING REDUCER
 - EXISTING WATER VALVE
 - EXISTING WATER CURBSTOP
 - EXISTING WATER LINE
 - EXISTING SEWER
 - EXISTING OVERHEAD UTILITIES



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Pennoni
PENNONI ASSOCIATES INC.
150 Ridge Road, Suite 2
Sellersville, PA 18960
T 215-257-5711 F 215-257-5766

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DISCREPANCIES BEFORE PROCEEDING WITH WORK

SEAN R. TORPEX
REGISTERED PROFESSIONAL ENGINEER
No. 0017018
PA. REG. ENG. EXPIRATION 12/31/2026

RIDGE ROAD BOOSTER PUMP
RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

EXISTING FEATURES PLAN

PERKASIE REGIONAL AUTHORITY
150 RIDGE ROAD
SELLERSVILLE, PA 18960

NO.	DATE	REVISIONS	BY

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PROJECT	PEREA25004
DATE	11/07/2025
DRAWING SCALE	1" = 20'
DRAWN BY	TLC
APPROVED BY	SRT



REFER TO STRUCTURAL AND ELECTRICAL DRAWINGS FOR
ADDITIONAL INFORMATION.

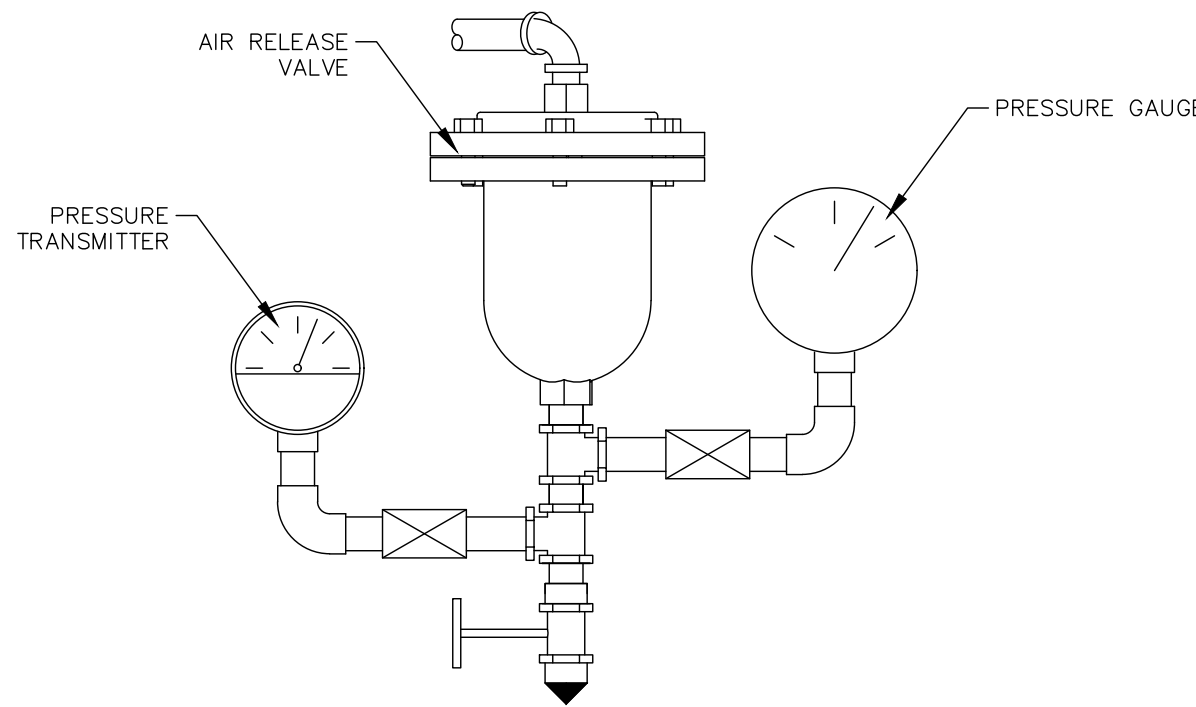
9. CONTRACTOR SHALL PERFORM ALL REQUIRED GRADING INCLUDING INSTALLATION OF STONE DRIVE AND REMOVAL OF SOIL EROSION CONTROL MEASURES.



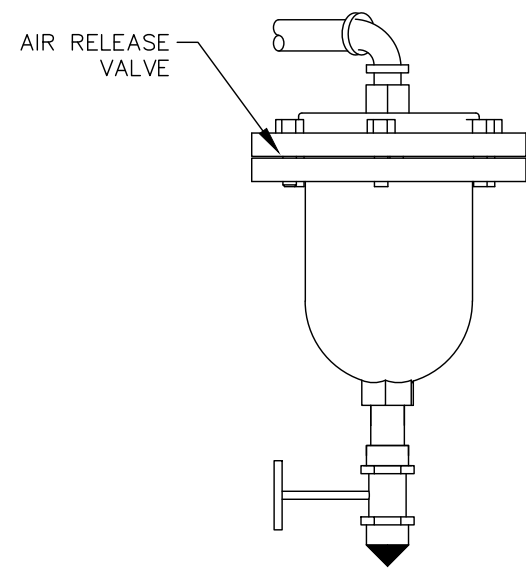
U:\Account\PEREA\PEREA25004 - Ridge Rd Booster Station.dwg P:\25-00\CS6002\CS6002\PEREA25004 - Ridge Rd Booster Station.dwg PLOTTED: 1/16/2025 9:40 AM BY: Matthew Krueger PLOTSTYLE: Pensoft MCS.ctb

- NOTES:
1. ALL UNDERGROUND/UNDER SLAB POTABLE WATER PIPE IS TO BE MECHANICAL JOINT CLASS 52 DUCTILE IRON PIPE WITH EBAA IRON MEGA LUG RESTRAINED JOINTS.
 2. ALL UNDERGROUND/ UNDER SLAB POTABLE WATER PIPE FITTINGS, VALVES AND END PLUGS ARE TO BE MECHANICAL JOINT WITH EBAA IRON MEGA LUG RESTRAINED JOINTS.
 3. UNLESS, OTHERWISE NOTED, ALL UNDERGROUND/UNDER SLAB TEES, END PLUGS AND BENDS ARE TO HAVE THRUST BLOCKS.
 4. METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS' REQUIREMENTS AND THE CONTRACT DOCUMENTS.
 5. RAISE ALL EXISTING AND PROPOSED VALVE BOXES TO PROPOSED FINISH GRADE.

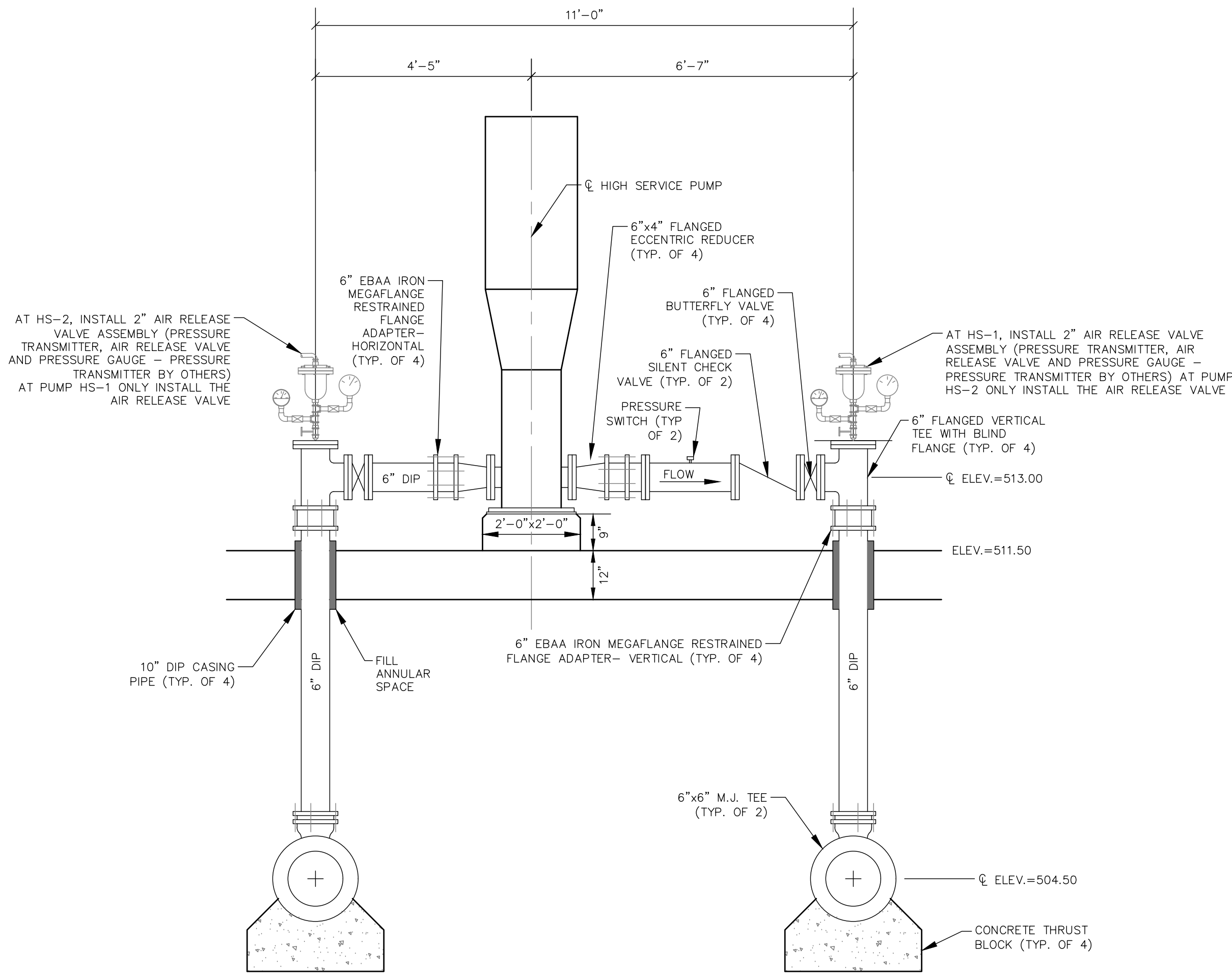
REFER TO STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.



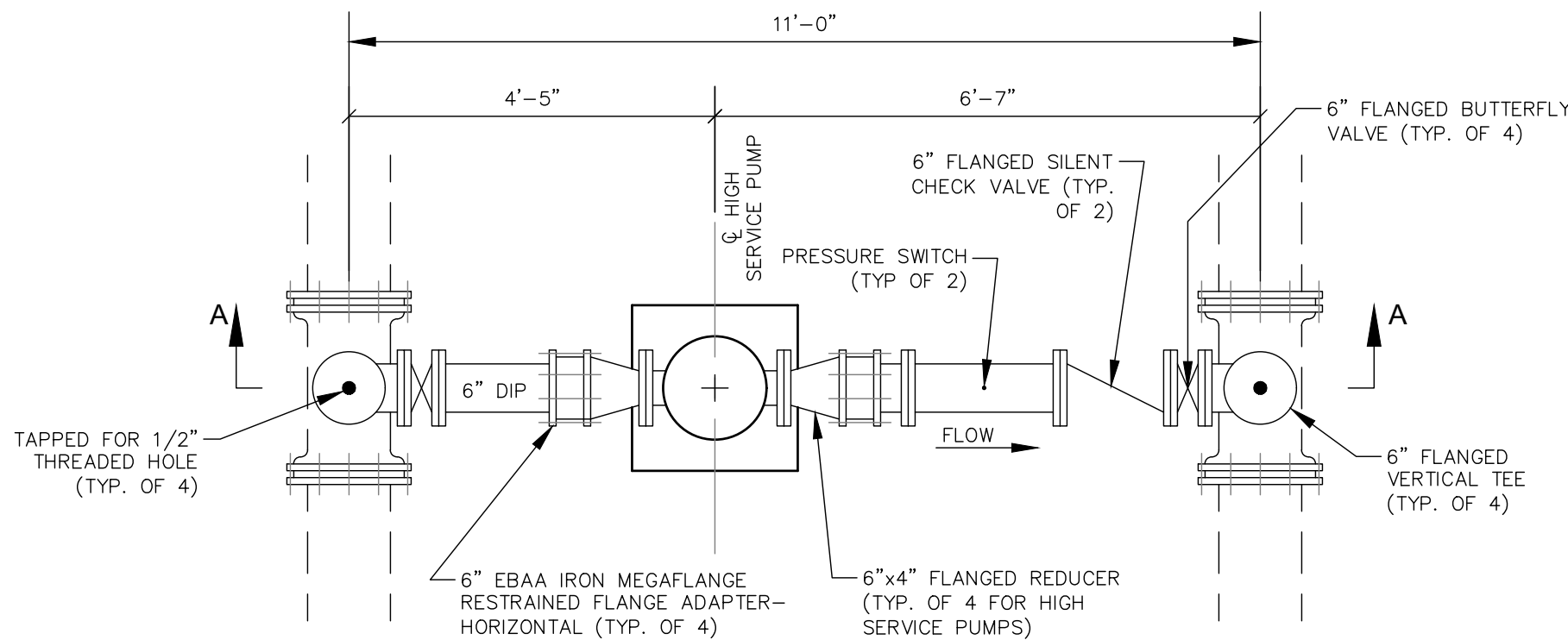
2" AIR RELEASE VALVE ASSEMBLY
NOT TO SCALE



2" AIR RELEASE VALVE
NOT TO SCALE



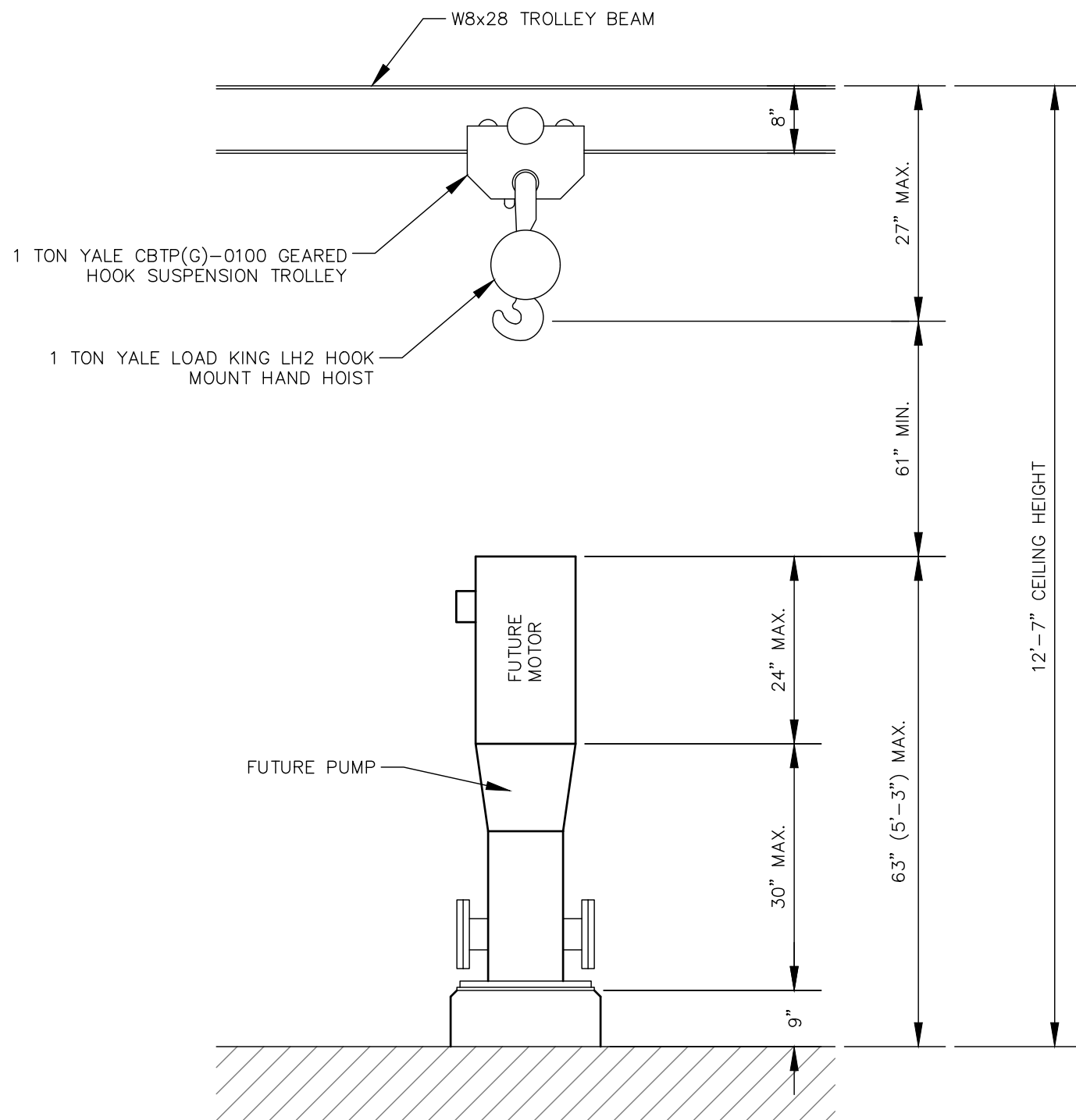
SECTION A-A
NOT TO SCALE



HIGH SERVICE PUMP PLAN VIEW
NOT TO SCALE

NOTE REGARDING PRESSURE SWITCH:
MECHANICAL CONTRACTOR TO TAP THE MAIN, INSTALL 1/2" PIPING, AND INSTALL AN ISOLATION GATE VALVE. ELECTRIC CONTRACTOR TO INSTALL PRESSURE SWITCH.

NOTE:
ALL M.J. FITTINGS AND M.J. VALVES MUST HAVE MEGA-LUG RESTRAINED JOINTS



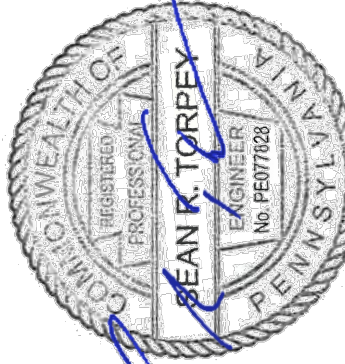
PUMP HOIST AND HOIST TROLLY BEAM DETAIL
NOT TO SCALE

NOTE:
METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S REQUIREMENTS AND THE CONTRACT DOCUMENTS.



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RIDGE ROAD BOOSTER PUMP

RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

CONSTRUCTION DETAILS

PERKASIE REGIONAL AUTHORITY

150 RIDGE ROAD
SELLERSVILLE, PA 18960

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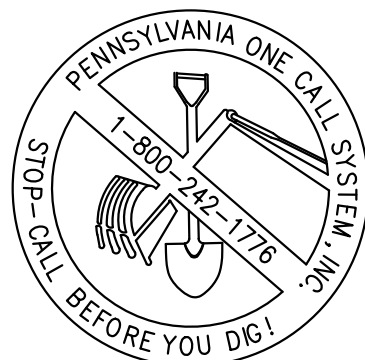
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DATE	11/07/2025
DRAWING SCALE	NOT TO SCALE
DRAWN BY	TLC
APPROVED BY	SRT

CS6002

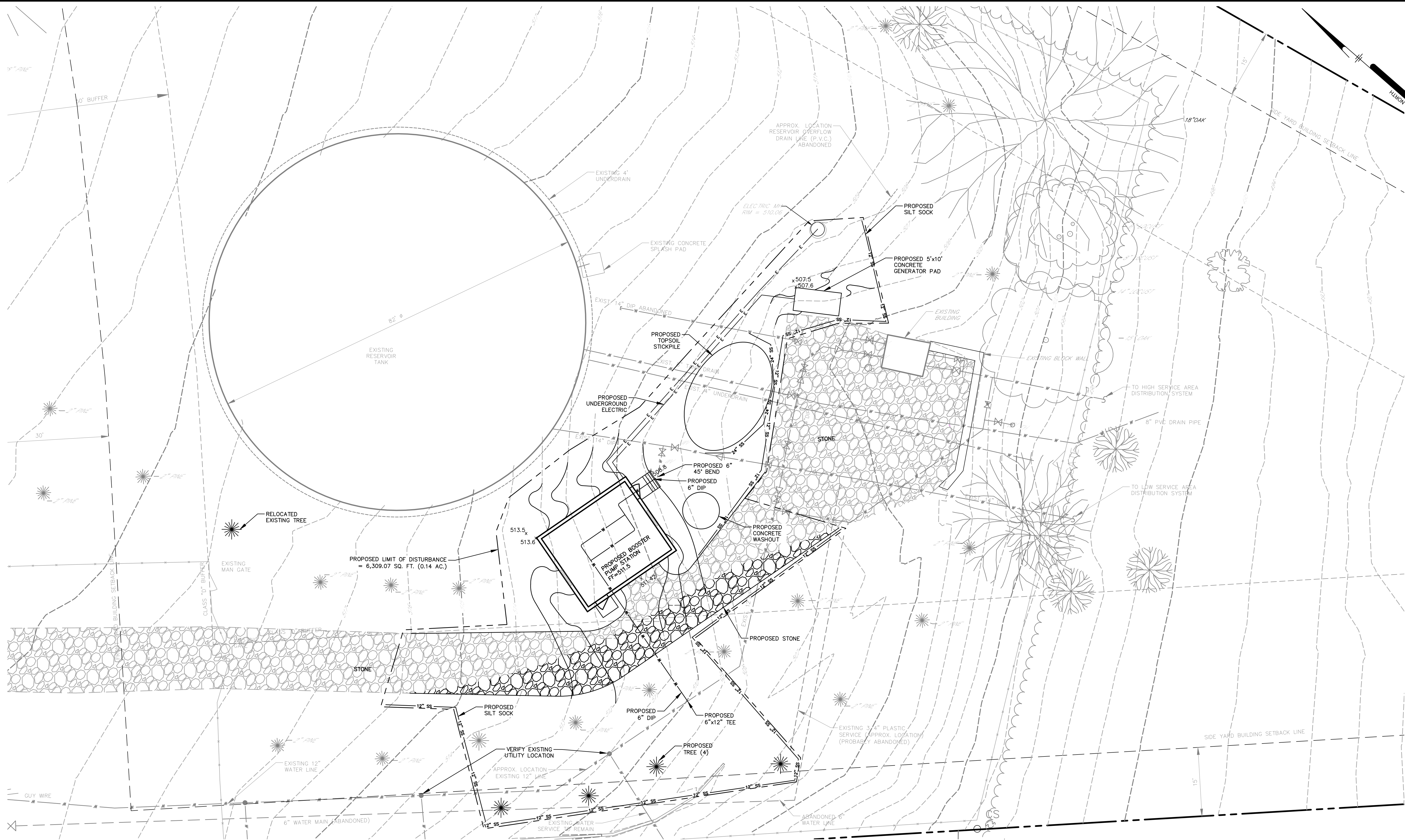
SHEET 6 OF 11

NOT FOR CONSTRUCTION

U:\Account\PEREA\PEREA25004 - Ridge Rd Booster Station.dwg
PLOT: 1/16/2025 9:40 AM BY: Matthew Krueger
PLOTSTYLE: Pennoni MCD.ctb

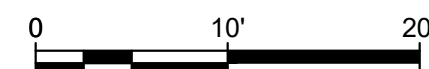


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SERIAL NUMBER(S): 20252883761



LEGEND

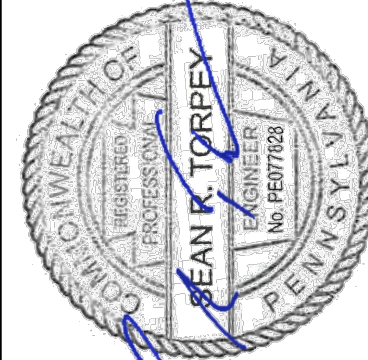
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	EXISTING ADJOINER PROPERTY LINE		PROPOSED DOOR
	EXISTING RIGHT-OF-WAY LINE		PROPOSED CONCRETE
	EXISTING BUILDING SETBACK LINE		PROPOSED STONE
	EXISTING BUILDING		PROPOSED WATER LINE
	EXISTING CURB		PROPOSED MAJOR CONTOUR LINE
	EXISTING EDGE OF GRAVEL		PROPOSED MINOR CONTOUR LINE
	EXISTING CENTERLINE OF ROAD		PROPOSED SILT SOCK
	EXISTING FENCE		PROPOSED LIMIT OF DISTURBANCE
	EXISTING SIDEWALK		
	EXISTING MAJOR CONTOUR		
	EXISTING MINOR CONTOUR		
	EXISTING SPOT ELEVATION		
	EXISTING SIGN		
	EXISTING UTILITY POLE		
	EXISTING FIRE HYDRANT		
	EXISTING REDUCER		
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	EXISTING WATER LINE		
	EXISTING SEWER		
	EXISTING OVERHEAD UTILITIES		



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RIDGE ROAD BOOSTER PUMP

RIDGE AVENUE AND RIDGE ROAD
PERKASIE, PA 18944

EROSION AND SEDIMENT CONTROL PLANS

PERKASIE REGIONAL AUTHORITY
150 RIDGE ROAD
SELLERSVILLE, PA 18960

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PROJECT	PEREA25004
DATE	11/07/2025
DRAWING SCALE	1" = 10'
DRAWN BY	TLC
APPROVED BY	SRT

CS8001

SHEET 8 OF 11

SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE "WEB SOIL SURVEY"



U:\Account\PEREA\PEREA25004 - Ridge Rd Booster Station.dwg PLOTED: 6/24/2025 4:40 PM BY: Matthew Knepp PLOT STYLE: Pennon VCS.d

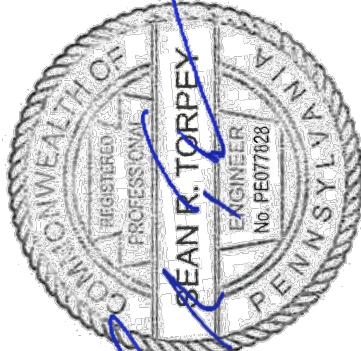


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RIDGE ROAD BOOSTER PUMP

RIDGE AVENUE AND RIDGE ROAD

PERKASIE, PA 18944

AERIAL PHOTO

PERKASIE REGIONAL AUTHORITY

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PROJECT	PEREA25004
DATE	11/07/2025
DRAWING SCALE	1" = 80'
DRAWN BY	TLC
APPROVED BY	SRT

CS9501

SHEET 11 OF 11



December 3, 2025

File No. 25-01077

Cassandra L. Grillo, CZO, BCO
Zoning Officer and Code Enforcement Administrator
Borough of Perkasio
620 W. Chestnut Street
P.O. Box 96
Perkasie, PA 18944

Reference: Perkasio Regional Authority – Ridge Road Booster Pump
N. Ridge Road & Ridge Avenue
Waiver of Land Development Plans – Review #1

Dear Cassandra:

Pursuant to your request, Gilmore & Associates, Inc. (G&A) has reviewed the Waiver of Land Development Plans for the above-referenced project. We offer the following comments for consideration by the Borough:

I. Submission

- A. Ridge Road Booster Pump plans prepared for Perkasio Reginal Authority, as prepared by Pennoni Associates, Inc., consisting of eleven (11) sheets, dated November 7, 2025.
- B. Waiver Request Letter for Ridge Road Booster Station (PRA25-03), as prepared by Pennoni Associates, Inc., dated November 7, 2025.
- C. Subdivision/ Land Development Application and Plan Submission Checklists dated November 7, 2025.
- D. Adequate letter for Ridge Road Booster Pump from Bucks County Conservation District, dated November 25, 2025.

II. General Information

The subject property known as tax map parcel 33-003-011 is located along the south side of Ridge Avenue at the intersection with N. Ridge Road (S.R. 0563) in Perkasio Borough, Bucks County, PA. The property contains a total of 91,529.11 square feet (2.10 acres). The Applicant and Owner of Record for the site is the Perkasio Reginal Authority.

The site currently contains a partially inground concrete water reservoir tank and associated utilities along with a stone access drive extending from Ridge Avenue, landscape retaining walls, landscaping, fencing, and wooded areas. Following the removal of a portion of the stone driveway and a fire hydrant along with the relocation of a tree, the Applicant proposes to construct a 458 square foot booster pump station building between the existing reservoir tank and the stone driveway along with a 233 square foot stone driveway expansion, landscaping and a 50 square foot generator pad. The site is zoned Two Family Residential (R-2) Zoning District and the use is "Public Utility" (F2), which is a use permitted by right in the R-2 Zoning District. According to FEMA map 42017C0143J, dated March 16, 2015, the site is not located within a 100-year floodplain.

III. Reference Documents

ZHB Appeal No. 2022-06 – The Applicant previously received zoning relief from the Perkasie Borough Zoning Hearing Board (ZHB) on Appeal No. 2022-06 on May 23, 2022 for the PRA Reservoir Replacement project. The ZHB granted variances from the following Sections: 1) §186-18.F.(2)(a) to extend a portion of the stone ring around the proposed water reservoir to be located in the buffer area, and 2) §186-54.D.(2) to decrease the amount of certain vegetation within the buffer yard. The reservoir replacement project was constructed in accordance with the decision rendered on Appeal No. 2022-06.

IV. Review Comments

A. Zoning Ordinance (Chapter 186)

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Zoning Ordinance:

1. §186-20.C.(5) – The maximum accessory building height shall be 15 feet. The proposed Booster Pump Station is considered an accessory building to the reservoir tank. This requirement should be added to the 'Zoning Data' table and the height of the Booster Pump Station building should be noted on the plan to verify compliance with this requirement.
2. §186-28.B. – At each point where a private accessway intersects a public street or road, a clear-sight triangle of 10 feet, measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade. The clear sight triangles should be shown at the driveway intersection with Ridge Avenue to demonstrate adequate visibility.
3. §186-52.C. – Any outdoor lighting such as pole-mounted, building, sign, canopy, or sidewalk illumination, and driveway lights, shall be shown on the lighting plan in sufficient detail to allow determination of the effects to adjacent properties, traffic safety, and overhead sky glow. Any lighting for the Booster Pump Station should be added to the plan and a lighting plan provided as necessary.
4. §186-54.E.(4)(c) – All plant material should be guaranteed for 18 months from the day of final approval of the landscape installation by the Borough in accordance with the provisions of the Borough's Developer's Agreements, escrow agreements, and maintenance agreements. A note should be added to the Record Plan stating the guarantee noted above.
5. §186-57 – The existing area and proposed disturbance of environmental resources listed in this section should be tabulated on the plans. Any resource which does not exist should be listed with an area of 0 square feet.

B. Subdivision and Land Development Ordinance (Chapter 164)

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Subdivision and Land Development Ordinance (SALDO):

1. §164-8.B. – Land Development projects require a separate stage of approval for the submission of preliminary plans and final plans for all major subdivisions and land development. The Applicant is requesting a Waiver a Land Development, which would waive certain requirements within SALDO including a separate stage of approval. We have no objection to this waiver request due to the scope of the project conditioned upon the Applicant providing the deposit and fee for both preliminary and final submission as required in §164-11.C.(1).

Also, the Applicant is requesting as part of the Waiver of Land Development the reaffirmation of the following waivers that were previously granted by Borough Council on September 22, 2022 as part of the PRA Reservoir Replacement Project:

- a. §164-20.B.(3) – Requires widening of existing streets where the minimum width does not meet the specific requirements for the individual street as required by Borough Council in specific cases. Ridge Avenue is a primary street which requires a minimum cartway width of 34 feet and N. Ridge Road is an arterial road which requires a minimum cartway width of 48 feet. A waiver was granted from widening these roads due to the limited frontage on these roadways resulting in a varying road width.
 - b. §164-24. – Requires a two-way driveway for a nonresidential use to have a minimum width of 24 feet and a maximum slope of 5%. A waiver was granted to use the existing driveway which has provided access to the property for over 50 years. However, we note that the proposed Booster Pump Station building requires modifications to the existing driveway. Since the driveway is not used by the public, we have no objection to the modifications of the existing driveway slope.
 - c. §164-51.A. – Requires sidewalks be constructed on one side of all frontage streets, unless in the opinion of the Borough Council with the advice of the Planning Commission they are unnecessary for the public safety and convenience. A waiver was granted from providing sidewalk along the frontage of both N. Ridge Road and Ridge Avenue since no sidewalks exist in the immediate area of the development.
 - d. §164-52.B. – Requires curbs be constructed along existing streets which a land development abuts. A waiver was granted from providing curbs along the frontage of both N. Ridge Road and Ridge Avenue since no curbs exist in the immediate area of the development.
 - e. §164-68.C.(2) & 70.C.(2) – Requires existing features within 400 feet of any part of the land to be subdivided or developed to be shown on the plans. A waiver was granted to provide an aerial photograph in lieu of the required information conditioned upon the Applicant providing any additional information for the surrounding area as deemed necessary by our office.
 - f. §164-68.D.(17) – Requires the location of all trees to be saved, including their trunk and dripline locations be shown on the plans. A waiver was granted to only show the dripline of the wooded areas.
 - g. §164-70.A.(5) – Requires that Final Plans be on sheets either 18 inches by 22 inches or 36 inches by 44 inches, and all lettering be so drawn as to be legible if the plan should be reduced to half size. A waiver was granted to provide the plans on 24 by 36-inch sheets.
2. §164-20.A – The waiver request letter indicates that a waiver was previously granted from this section of the ordinance from providing the required ultimate right-of-way. However, a waiver was not granted from this requirement and the legal and ultimate rights-of-way were offered for dedication to the Governmental Agency having jurisdiction. We note that the legal right-of-way is under the jurisdiction of PennDOT and the ultimate right-of-way is under the jurisdiction of Perkasie Borough. The Applicant should determine if these dedications were accepted and revise the plan accordingly.
 3. §164-31. – The following issues related to grading should be addressed:
 - a. Spot elevations should be provided at the corners of the proposed Booster Pump Station building.
 - b. The proposed 509 contour is only 2 feet from the existing 508 contour on the southeastern side of the proposed building. The grading should be revised to provide a maximum slope of 3:1 in all grass areas.
 - c. Based on the proposed 507.6 spot elevation at the corner of the generator pad, the southern corner of the pad will be approximately 2 feet higher than the existing grade. Spot elevations should be provided at the corners of the pad and the grading should be revised accordingly.
 - d. The proposed contours should be labeled on the Proposed Improvement Plan.
 4. §164-41.1.B – Prior to construction, the tree protection zone shall be delineated with a forty-eight-inch-high wooden snowfence mounted on steel posts, located eight feet on center, placed along the boundary of the tree protection zone. All trees within the limits of disturbance and any trees directly adjacent to the limits of disturbance should be protected with tree protection fence. The tree protection fence should be shown on the plans.

5. §164-50.A – The Record Plan appears to show proposed monuments along the ultimate right-of-way and at one corner. These monuments were proposed on the previous PRA Reservoir Replacement Project. The Applicant should verify whether these monuments were installed previously, and if so, then the Record Plan should be revised accordingly.
 6. §164-54.B. – Review and approval by the Perkasie Fire Chief should be obtained by the Applicant in order to ensure that adequate emergency access is provided. A copy of the approval letter should be submitted to the Borough and our Office. Also, we note that the existing fire hydrant within the site is to be removed but not replaced. The Applicant should specify the reason for not installing a new fire hydrant.
 7. §164-68.D.(18) – The waiver request letter indicates that a waiver was previously granted from this section of the ordinance. However, a waiver was not granted from this section of the ordinance since the requirements of this section were provided on the plans.
 8. §164-71. – The following issues related to the plan notations and recording signature lines should be addressed:
 - a. The BCPC No. block on the Record Plan should include the statement “BCPC has reviewed the plan in accordance with PaMPC requirements” and note the date of the review.
 - b. The notes on the Record Plan should reference the Reservoir Replacement Plans dated January 27, 2022, last revised April 6, 2023.
 - c. Note 11 on the Record Plan related to the dedication of right-of-way should be updated as necessary based on the previous acceptance of the right-of-way.
 - d. The rear yard setback distance of 280.2 feet should be dimensioned on the plan.
 - e. The double asterisk for the proposed lot coverage in the ‘Zoning Data’ table should be clarified.
- C. Amended Stormwater Management Ordinance (Chapter 158) – East Branch Perkiomen Creek Watershed (District ‘B’)

We have identified the following issues in regards to the requirements and provisions of the current Perkasie Borough Amended Stormwater Management Ordinance (SMO):

1. §158-5.B.(9)(a) – Construction or reconstruction of buildings or additions to existing buildings or other impervious surface (regulated activities) is exempt when an area of impervious surface is removed from the site so that upon completion of the regulated activity, the total increase of impervious surface area is 1,000 square feet or less. The plans indicate that the previous removal of the existing reservoir and associated impervious will offset the increase in impervious from the previously installed reservoir tank and proposed Booster Pump Station, resulting in a net decrease in impervious surface. Therefore, the project is exempt from the requirements of stormwater management.
2. §158-56.A – The following issues related to erosion and sedimentation control should be addressed:
 - a. A portion of the 12” silt sock crosses the stone parking area and should be relocated outside of the stone area.
 - b. The silt sock along the stone driveway runs perpendicular to the contours and may result in sediment laden runoff flowing towards the downslope property. The silt sock at this location should run parallel to the contours for the extent of disturbance before turning perpendicular at the limits of disturbance.
 - c. The size of the silt sock line types should be specified in the legend.
 - d. The sequence of construction notes the installation of a rock construction entrance. However, the entrance is not shown on the plan and it appears the stone driveway is intended to be used as the construction entrance. The sequence should be revised to specify the use of the existing driveway as the construction entrance with the condition that a full rock construction entrance be installed if any sediment is tracked onto Ridge Avenue.

- e. The sequence of construction specifies establishing a staging area. The staging area should be identified on the plan or the sequence should be revised.
- f. The sequence of construction specifies the installation of construction fence around the entire limits of disturbance. This may limit the contractor's ability to maneuver through the site. This sequence item should be reviewed and revised accordingly.
- g. All references to "Township" in the sequence of construction and E&S notes should be revised to "Borough".

D. General Comments

- 1. The Applicant is responsible for any other required approvals, permits, etc. (i.e., Perkasie Fire Chief, etc.). Copies of these permits and approvals should be submitted to the Borough and our office.

We recommend the plans be revised to address the above comments to the satisfaction of the Borough. In order to help expedite the review process of the resubmission of the plans, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. If you have any questions regarding the above, please contact this office.

Sincerely,



Douglas C. Rossino, P.E.
Gilmore & Associates, Inc.
Borough Engineers

DCR/tw

cc: Andrea L. Coaxum, Borough Manager
Megan McShane, Executive Assistant
Jeffrey P. Garton, Esq., Borough Solicitor
Judith Stern Goldstein, R.L.A., ASLA, Gilmore & Associates, Inc.
Jeffrey Tulone, Public Works Director
Nicholas Fretz, Manager, Perkasie Regional Authority, Owner/ Applicant
Perkasie Fire Company Number 1 (Station 26)
Sean R. Torpey, P.E., Pennoni Associates, Inc.
Erik Garton, P.E., E.V.P., Gilmore & Associates, Inc.



BOROUGH OF PERKASIE

620 W. Chestnut Street
PO Box 96
Perkasie, Pa. 18944-0096

(215) 257-5065
Fax (215) 257-6875

TO: Perkasie Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO – Zoning Officer & Code Enforcement Administrator

DATE: December 3, 2025

RE: Opening Discussion – Key Considerations for Accessory Dwelling Unit (ADU) Regulations

Introduction

After reviewing the notes from our last Planning Commission meeting, several major points were raised regarding the regulation of Accessory Dwelling Units (ADUs). Before staff can begin drafting a formal ordinance, there are key items that require additional discussion, clarification, and direction from the Commission. The purpose of this memo is to outline those items and guide tonight's conversation.

1. Definition of Accessory Dwelling Unit (ADU)

A clear, defensible definition of an ADU is essential and will form the foundation of any adopted regulations. Attached are sample ADU definitions from several Pennsylvania boroughs.

Key takeaway from municipal comparisons:

Most municipalities limit ADUs to lots where the principal use is a single-family detached dwelling or single-family attached dwelling (twin). They generally do not permit ADUs accessory to multifamily dwellings, townhomes, rowhomes, or duplexes.

Additionally, nearly all definitions emphasize that the ADU is subordinate, incidental, and accessory to the primary residential use.

Attached for reference:

- Samples of Definitions

Discussion Question:

- *How should Perkasie Borough define "Accessory Dwelling Unit"?*

2. Understanding Use by Right, Special Exception, and Conditional Use

A reference memo on "Understanding Use by Right, Special Exception, and Conditional Use" has been included for review. During the prior Planning Commission meeting, the Commission recommended that ADUs be considered a Use by Right in applicable districts, provided that appropriate performance standards and regulatory safeguards are included to mitigate potential

impacts. During that discussion there was a misunderstanding on what a Special Exception is and the process of the approval.

- **Attached for reference:**

Understanding Use by Right, Use by Special Exception and Conditional Use

Discussion Question:

- *Does the Commission wish to reaffirm that ADUs should be permitted as a Use by Right, with specific standards (parking, occupancy, owner-occupancy, size, design compatibility, etc.) should accompany that approval method or by Special Exception which will allow each application be reviewed case by case?*

3. Understanding Zoning Districts and Allowed Residential Uses

At the previous meeting, there was initial support for permitting ADUs in all residential zoning districts. However, several non-residential districts—including C-2 Commercial and I-2 Light Industrial—also permit single-family homes as an allowed or pre-existing use.

Attached for reference:

- Summary sheets describing each zoning district

Discussion Question:

Should ADUs be allowed based on the use of the property (i.e., presence of a single-family dwelling), rather than solely on the zoning district classification?

4. Review of Zoning Map and Prior Planning Recommendations

To support tonight's discussion, the following documents are attached:

- The full Borough Zoning Map
- Samples of lots in different districts
- Gilmore & Associates Planning Memo

These materials outline prior recommendations regarding occupancy limits, parking standards, size restrictions, owner-occupancy requirements, and other regulatory considerations relevant to ADU implementation.

Samples Definitions of other municipalities.

Haycock Township: (4) H4. ACCESSORY DWELLING UNIT. A separate dwelling unit subordinate in size to the principal single-family detached dwelling unit. The accessory dwelling unit may be contained in the principal residence or in an accessory building which is permanently affixed to the ground. (use permitted by right in specifically districts)

Chalfont Borough: H4) Accessory Building Dwelling Unit. A separate, subordinate dwelling in a detached building on the same lot as a single-family detached dwelling.

North Wales Borough: Use A-1: Accessory dwelling unit. An accessory dwelling unit (ADU) is a dwelling unit that is accessory to a single-family dwelling that is located on the same lot. Use A-1: Accessory dwelling unit is only permitted upon special exception approval by the Zoning Hearing Board and when the following requirements are met

Lansdale Borough: ACCESSORY DWELLING UNIT: A suite attached to or contained within the principal dwelling unit on a lot that houses certain family members of the occupant(s) of the principal dwelling unit, and may contain separate cooking facilities.

Phoenixville Borough

ACCESSORY DWELLING UNIT (ADU) An accessory dwelling proposed within an existing principal single-family dwelling, attached to an existing principal single-family dwelling by way of addition, or wholly and exclusively within an accessory building on the same lot as a principal single-family dwelling.

West Chester Borough

ACCESSORY DWELLING UNIT or ADU

A residential dwelling unit located on the same lot as a single-family detached dwelling, single-family semidetached dwelling and single-family attached dwelling unit which provides complete independent living facilities for a maximum of two persons. It may take various forms: a detached dwelling unit; a dwelling unit that is part of an accessory structure, such as a detached garage; or a dwelling unit that is part of an expanded or remodeled principal dwelling unit. The adaptive reuse of a historic carriage house for an accessory dwelling unit shall not be considered an ADU.

Sample Definition for Perkasie Borough:

ACCESSORY DWELLING UNIT (ADU):

A subordinate, self-contained residential dwelling unit that is accessory to, and located on the same lot as, a principal single-family detached dwelling. An ADU provides independent living facilities for one (1) family and includes permanent provisions for sleeping, cooking, sanitation, and living areas. An ADU may be located within the principal dwelling (such as a converted basement, attic, or attached addition) or within a detached accessory structure (such as a garage or carriage house), provided it remains clearly subordinate to the principal dwelling and complies with all applicable zoning requirements. An ADU shall not be subdivided or sold separately from the principal dwelling and shall be under the same ownership as the principal dwelling.



BOROUGH OF PERKASIE

620 W. Chestnut Street
PO Box 96
Perkasie, Pa. 18944-0096

(215) 257-5065
Fax (215) 257-6875

TO: Perkasie Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO – Zoning Officer & Code Enforcement Administrator

DATE: December 4, 2025

RE: Understanding Use by Right, Special Exception, and Conditional Use

Purpose of This Memo

This memo explains the three zoning approval methods used in Perkasie Borough—Use by Right, Special Exception, and Conditional Use. Understanding these methods helps the Planning Commission decide how different land uses should be reviewed and what level of oversight or public input is appropriate. The memo outlines what each method means and the key differences between them.

Use by Right

What It Means

A **Use by Right** is automatically permitted within a zoning district if the applicant meets all relevant ordinance requirements. The Zoning Officer may approve the use administratively.

Process for Approval:

1. Application submission to the Zoning Officer.
2. Zoning Officer reviews application and verifies the proposal meets zoning ordinance requirements.
3. If all applications meet all standards of the Zoning Ordinance, the Zoning Officer must issue Zoning permit.

Characteristics

- Administrative approval
- No public hearing
- No neighborhood notice
- No ability to impose site-specific conditions

Summary:

Use by Right provides efficiency but limits the Borough's ability to review or condition a use based on site-specific characteristics.

Use by Special Exception

What It Means

A special exception in zoning is a permitted land use that requires approval from a zoning hearing board, subject to specific criteria and public hearings.

Definition and Purpose

A special exception is a zoning mechanism that allows certain land uses that are permitted in a zoning district but requires extra review and meet specific conditions. This process ensures that the proposed use aligns with the community's zoning regulations and does not adversely affect the surrounding area. Special exceptions are often used for land uses that may have a significant impact on the community or neighborhood.

Process for Obtaining a Special Exception

1: Application Submission: The property owner or developer must apply to the local zoning hearing board, detailing the proposed use. The applicant must prove they meet all specific criteria in the ordinance.

2: Public Hearing: A public hearing is held where the applicant presents evidence supporting the request. This allows community members to voice their opinions or concerns regarding the proposed use.

3: Decision by the Zoning Hearing Board: The board evaluates the application based on specific standards outlined in the zoning ordinance. If the applicant demonstrates compliance with these standards, the board may grant the special exception.

Summary:

- Public hearing required
- Neighbor notice and participation
- Applicant must prove compliance with standards
- ZHB can impose reasonable, site-specific conditions
- Case-by-case evaluation of impacts and property characteristics

Conditional Use

What It Means

A Conditional Use is a permitted use that requires review and approval by Borough Council, following a public hearing. The Planning Commission provides advisory recommendations, and Council may impose reasonable conditions to ensure the use is appropriate both for the site and for the broader community.

Characteristics

- Public hearing before Borough Council
- Planning Commission review and recommendation
- Council may impose conditions
- Evaluates both site-specific and community-wide effects
- Used for uses of broader policy significance or potential impact

Summary:

Conditional Use is the most detailed and policy-driven approval method, appropriate for uses requiring heightened oversight.

Conclusion

Each approval mechanism serves a specific purpose:

- **Use by Right** provides administrative efficiency but minimal oversight.
- **Special Exception** balances flexibility, public involvement, and protection of neighborhood character through ZHB review.
- **Conditional Use** offers the highest level of legislative oversight and allows the Borough to align land-use decisions with long-term policy objectives.

A clear understanding of these three pathways will help guide zoning discussion for ADUs and other future ordinance changes and ensure that land-use decisions support the Borough's planning goals and community expectations.

Municipality	Approval Method	Occupancy Requirements	Type of Unit Permitted	Rental Allowed?
Haycock Township	Not explicitly stated; treated as permitted accessory use when standards are met	None stated	Internal or detached ADU; max 30% of principal residence or 800 sq ft if detached	Unclear / Not addressed
Chalfont Borough	Mirrors approval of principal use (if principal is special exception → ADU is special exception)	Annual affidavit verifying identity and relationship of occupants	Detached only; minimum 700 sq ft	No
North Wales Borough	Special Exception Only	Owner must occupy either the ADU or the principal dwelling; In R-1 District → ADU restricted to immediate family; Max 3 persons in the ADU	Attached or detached; max 40% of living area or 1,200 sq ft	No
Warminster Township	By Right	Relatives only	Attached or existing accessory structure; new structures only if lot is 1.5× minimum requirement	NO
Lower Southampton Township	By Right	Relatives only; affidavit verifying relationship; annual inspection	Attached only; max 600 sq ft	No
Lansdale Borough	By Right	Limited to specific family members; max 2 occupants; owner must occupy principal dwelling	Attached only; separate entrance not facing street	NO

West Chester Borough	By Right	One unit must be owner-occupied; max 2 people in ADU	Attached or detached	YES
Phoenixville Borough	Special Exception	One of the two units must be owner-occupied in perpetuity; ADU limited to 1 bedroom	Internal, attached, or detached; size limits vary	Unclear / Not addressed

TO: Perkasio Borough Planning Commission

FROM: Cassandra L. Grillo, CZO, BCO – Zoning Officer & Code Enforcement Administrator

DATE: December 5, 2025

RE: Overview and Description of All Zoning Districts in Perkasio Borough

Purpose of This Memo

The purpose of this memo is to provide a clear and comprehensive overview of all zoning districts within Perkasio Borough as established in Chapter 186 of the Borough Zoning Ordinance. A detailed understanding of each district's purpose and intent is essential for evaluating land-use consistency, reviewing zoning applications, and identifying how future planning initiatives should align with the Borough's long-term development goals.

ZONING DISTRICT DESCRIPTIONS

R-1A – Low-Density Residential District

Purpose & Intent:

The R-1A District is intended to preserve the Borough's existing low-density residential character, including areas with larger lots, mature landscapes, and significant open space. Development standards prioritize the protection of natural resources, minimization of impervious surfaces, and maintenance of single-family detached neighborhoods.

Key Characteristics:

- Single-family detached dwellings on larger lots
- Cluster development permitted as an alternative pattern
- Strong environmental protection and open space preservation
- Excludes uses incompatible with low-density residential living

R-1B – Low-Density Residential District

Purpose & Intent:

The R-1B District supports low-density single-family neighborhoods, allowing slightly smaller lot sizes than the R-1A District while maintaining open space and environmental resource protection. The district reinforces established single-family development patterns.

Key Characteristics:

- Single-family detached homes
- Slightly increased density compared to R-1A
- Environmental and natural resource protections
- Maintains traditional single-family neighborhood character

R-2 – Medium-Density Two-Family Residential District

Purpose & Intent:

The R-2 District accommodates medium-density residential uses and serves as a transition between lower-density and higher-density districts. It provides opportunities for both single-family and two-family dwellings that meet varied housing needs.

Key Characteristics:

- Single-family detached and Two-family dwellings (twins/duplex)
- Moderate lot sizes
- Transitional residential zone
- Provides expanded housing opportunities

R-3 – Multifamily Residential District

Purpose & Intent:

The R-3 District supports higher-density residential development, including townhomes, rowhomes, and multifamily structures. This district is intended to diversify the Borough's housing options within suitable areas.

Key Characteristics:

- Higher-density attached residential uses
- Smaller individual lots
- Accommodates multifamily structures
- Supports compact and walkable residential design

A – Apartment District

Purpose & Intent:

The A District provides for medium- to high-density apartment buildings and multifamily developments. It is intended to offer alternative residential living options in areas served by appropriate public infrastructure.

Key Characteristics:

- Multi-story apartment buildings
- High-density residential uses
- Proximity to commercial services and transportation
- Efficient utilization of land and utilities

C-1 – Business Professional District

Purpose & Intent:

The C-1 District is designed for professional office uses and low-intensity commercial activities that are compatible with adjacent residential neighborhoods. It acts as a transition between residential and more intense commercial districts.

Key Characteristics:

- Offices, clinics, and small professional services
- Lower-traffic commercial uses
- Emphasis on design aesthetics and pedestrian access
- Neighborhood compatibility focus

C-2 – General Commercial District

Purpose & Intent:

The C-2 District accommodates a wide range of commercial, retail, and service establishments that serve the Borough and surrounding region. It is oriented toward higher-intensity commercial activity along major roadways.

Key Characteristics:

- Retail stores, restaurants, and drive-throughs
- Larger commercial buildings
- High customer traffic
- Supports regional economic activity
-

I-1 – Planned Industrial District

Purpose & Intent:

The I-1 District encourages the development of modern, well-planned industrial parks under coordinated design standards. It accommodates technology firms, research facilities, and light manufacturing in an organized industrial setting.

Key Characteristics:

- Planned industrial and research facilities
- Emphasis on site design and buffering
- Clean industrial operations
- Limits heavier industrial uses

I-2 – Light Industrial District

Purpose & Intent:

The I-2 District allows light manufacturing, warehousing, distribution, and similar industrial uses. It provides flexibility for a variety of industrial operations while maintaining compatibility with surrounding areas through appropriate controls.

Key Characteristics:

- Light manufacturing and assembly
- Warehousing and distribution
- Contractor and service-related industrial uses
- Buffering requirements to minimize impacts

I-3 – Airport Industrial District

Purpose & Intent:

The I-3 District supports airport-related industrial and commercial uses associated with the Pennridge Airport. Uses within this district must be compatible with aviation operations and associated safety considerations.

Key Characteristics:

- Aviation-supporting commercial and industrial activities
- Large parcels suitable for outdoor storage or operations
- Noise and aviation safety considerations
- Airport-linked economic development

Town Center Overlay District (TC)

Purpose & Intent:

The Town Center Overlay promotes pedestrian-oriented, mixed-use development within Downtown Perkasio. It supports reinvestment, historic preservation, and the creation of a vibrant, walkable town core through flexible, form-based design standards.

Key Characteristics:

- Mixed-use development
- Infill redevelopment and adaptive reuse
- Historic preservation emphasis
- Streetscape and pedestrian design standards

Residential Infill Overlay District (RIOD)

Purpose & Intent:

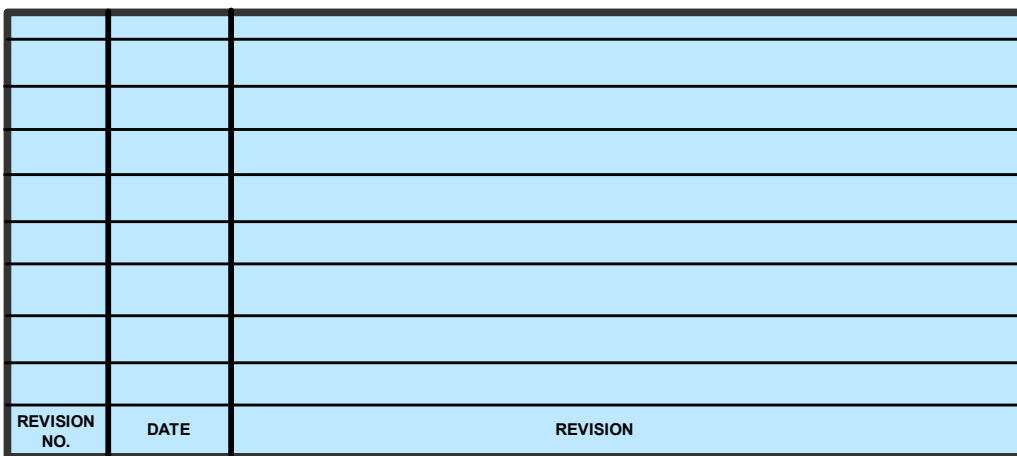
The RIOD Overlay provides flexible development standards for smaller or irregular lots in older sections of the Borough. The goal is to encourage reinvestment and neighborhood stabilization while ensuring new development aligns with existing residential character.

Key Characteristics:

- Flexible lot size and setback requirements
- Supports redevelopment and infill housing
- Ensures compatibility with surrounding homes
- Reinforces long-standing neighborhood patterns

Conclusion

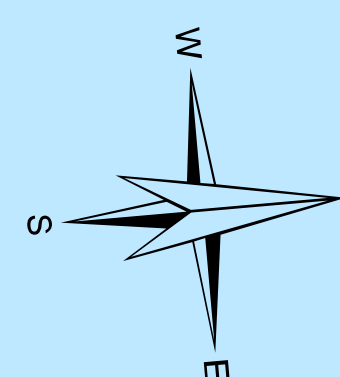
This memo is intended to serve as a reference document to support the Planning Commission's ongoing work in evaluating land-use regulations, reviewing zoning proposals, and aligning zoning practices with the Borough's comprehensive planning goals.

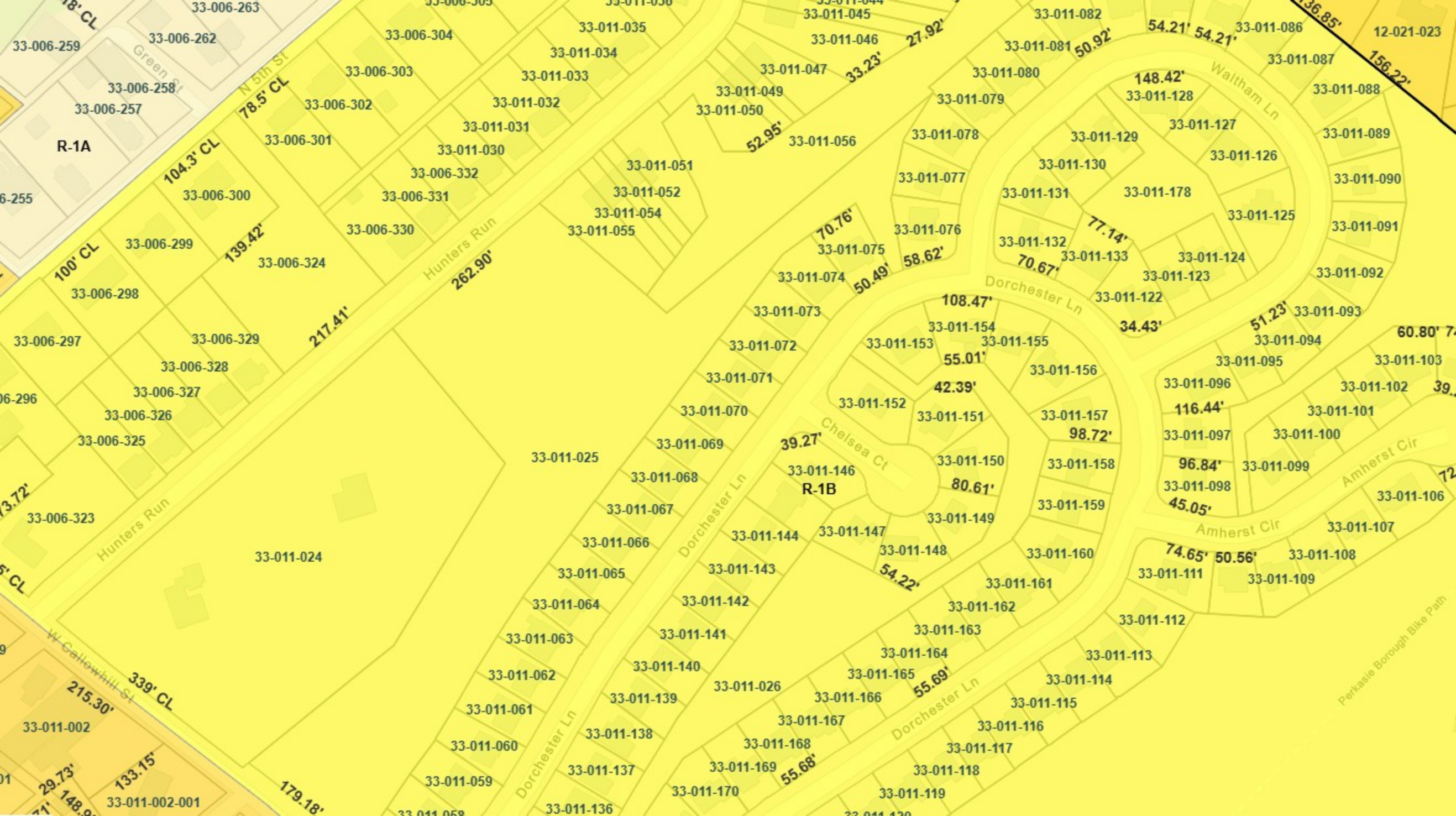


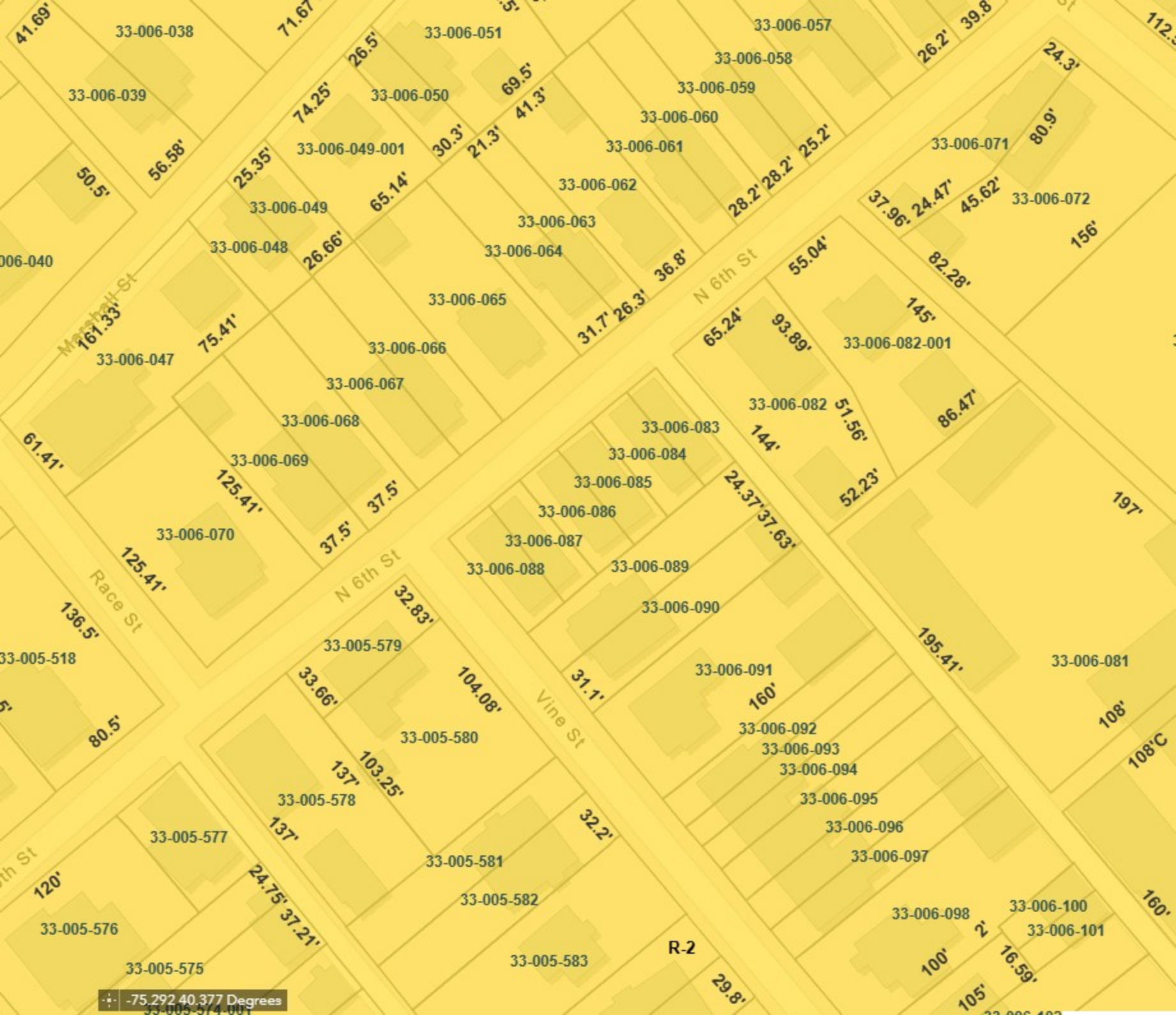
CREATED : AUGUST 24, 2021

0 200 400 800 1,200 1,600 Feet

1 inch = 400 feet









- ☐ 3850 Sierra Circle, Suite 100 | **Center Valley**, PA 18034 | P: 610.366.8064 | F: 610.366.0433
- ☐ 12 Terry Drive, Suite 205 | **Newtown**, PA 18940 | P: 215.369.3955 | F: 610.968.1829
- ☒ 65 E. Butler Avenue, Suite 100 | **New Britain**, PA 18901 | P: 215.345.4330 | F: 215.948.9943
- ☐ 401 Plymouth Road, Suite 150 | **Plymouth Meeting**, PA 19462 | P: 610.489.4949 | F: 610.489.8447
- ☐ One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425 | **Philadelphia**, PA 19103 | P: 215.687.4246 | F: 215.564.1780

MEMORANDUM

Date: October 24, 2025

To: Andrea Coaxum, Perkasio Borough Manager

From: Adrienne Blank, R.L.A.

cc: Cassandra Grillo, Zoning Officer and Code Enforcement Administrator
Jeffrey P. Garton, Esq., Borough Solicitor
Megan McShane, Perkasio Borough
Doug Rossino, P.E., Borough Engineer
Linda Reid, Assistant Borough Manager

Reference: October 22, 2025, Planning Commission Meeting Summary
G&A Project No. 9991013

I. Old Business

A. Accessory Dwelling Unit (ADU) Use Discussion

The Planning Commission reviewed the Accessory Dwelling Unit use packet and information, discussed the regulations and came to the following consensus:

- ADU permitted as a bi-right use in all residential zoning districts (R1A, R-1B, R-2, and R-3).
- A consensus to allow all sample ADU types be included, (including “detached”).
- One (1) ADU shall contain no more than one bedroom.
- ADU's to be regulated by lot size regulations, setbacks, impervious/building coverage regulations based on zoning district where located.
- Not to exceed 35% of existing principal dwelling habitable floor area and not to exceed 800 SF.
- Detached ADU's are to be a minimum of 15 ft. from the primary structure.
- ADU's height restriction: no higher than the existing roof line of the primary structure but not to exceed 24 feet high.
- Long-term rentals are acceptable. Short-term rentals such as (Air B&B) are not permitted.
- Include Deed restriction requirement to specify owner occupied covenant.
- Required parking: one (1) off-street parking space per bedroom.
- Impact fee to apply.

The Planning Commission suggested G&A prepare a draft Accessory Dwelling Unit Ordinance based on the above discussed items.

Perkasie Borough Economic Development Plan Update

Planning Commission Meeting

December 10, 2025

Question to solicit feedback

1. Strategies and goals: “Maintaining Authenticity” is the overall theme, with healthy living/ recreation, enhancing the arts and cultural activities, business advocacy-activating current vacant business sectors and Town Center development as key strategies.
 - Which growth or new businesses do you want to see in the Borough?
2. Main Street Matters Designation Program Opportunities
 - With the overall theme of “Maintaining Authenticity”, Perkasie is primed for the Main Street Matters Program Designation as a logical next step to economic development. Is a Main Street Matters Designation something the Borough is interested in pursuing?

Next steps: Public meeting scheduled for March 11th, 2026 (6 pm)

Main Street Matters Program Designations

PROGRAM GUIDELINES
July 2025



Pennsylvania
Department of Community
& Economic Development



Commonwealth of Pennsylvania
Josh Shapiro, Governor

PA Department of Community & Economic Development
dced.pa.gov



Table of Contents

Section I – General Program Information	1
Section II – Eligible Applicants	1
Section III – Designations Defined	2
A. Main Street Designation	2
B. Elm Street Designation	2
Section IV – Application Procedures	3
Section V – Designation Requirements	3
A. Training, Monitoring, and Reporting	3
Section VI – Operations Funding Support and Program Administration	4
A. Operations Funding Support	4
B. Eligible Use of Funds	4
C. Contracting Operations Funding Support with DCED	4
D. Requests for Payment	4
E. Other Payment Considerations	5
Section VII – Other Program Requirements	5
A. Nondiscrimination	5
B. Project Records	5
C. Conflict of Interest Provision	5
Section VIII – Program Flow Chart	6
Section IX – Contact Information	7
Appendix I – The Elm Street Approach	8
Appendix II – DCED Regional Offices	9
Appendix III – Designation Application Requirements	10

Section I – General Program Information

The Department of Community and Economic Development (DCED) offers communities the opportunity to designate areas of a municipality or region for targeted investment and development for a period of five years. Designation includes the identification of specific needs for investment and/or development and the design and/or implementation of a strategy to address those needs. Applicants may request designation as any one of the following:

- **Main Street** – focus on downtowns and commercial districts
- **Elm Street** – focus on residential areas and neighborhoods adjacent to the community’s downtown or commercial district

The benefits to designation may include:

- Funding for operational support, including the salary and benefits of the area manager.
- Priority consideration for a variety of DCED programs,
- Technical assistance and training for the designated area manager, local board, and committee members through DCED and other subject matter experts, and assistance in accomplishing designation goals and strategies,
- Networking opportunities with other designated program areas, and
- Eligibility for consideration under the Neighborhood Assistance Program (NAP) and Neighborhood Assistance Program Enterprise Zone Tax Credit (NAP/EZP).

Section II – Eligible Applicants

The following entities are eligible to submit requests for designation under the Main Street Matters Program:

- Units of local government to include counties, cities, boroughs, townships, towns, and home rule municipalities,
- Redevelopment and/or housing authorities,
- Nonprofit organizations to include economic development organizations, housing corporations, etc.,
- Community development corporations, and
- Business improvement districts, neighborhood improvement districts, downtown improvement districts, and similar organizations incorporated as authorities.

Nonprofit organizations, business improvement districts, and other similar entities are required to provide documentation of at least two years of satisfactory operational experience relevant to the requested designation program and/or activities. Additionally, these entities must submit copies of the two most recent agency audits demonstrating no findings.

Section III – Designations Defined

A. Main Street Designation

The Main Street designation follows the principles of the National Main Street Center, a subsidiary of the [National Trust for Historic Preservation's Main Street Approach](#), including preservation-based economic development with a strong emphasis on public engagement and Organizational Sustainability, demonstrated by identifying and documenting a sustainable funding plan to employ the full-time professional manager for at least five years. Examples of designation goals and strategies are as follows:

- Preserve and strengthen existing retail, local government, and business centers of communities.
- Improve the quality of life in a community by making the traditional downtown area a more attractive place to live and work.
- Act as a catalyst for small business development thereby increasing employment and tax revenues in downtown locations.
- Assist local governments and small businesses in the development of relevant, state-of-the-art technology to provide cost-effective solutions for business and community development opportunities.
- Develop and maintain continuous contact with Main Street businesses regarding opportunities and solutions for impediments to business growth.
- Utilize a well-thought-out planning process, ensuring brick and mortar projects funded with public funds are making a meaningful difference in the downtown economy.
- Ensure the importance of reinvestment in traditional downtowns is considered in the overall economic development strategy at all levels of the private and public sectors.

B. Elm Street Designation

The Elm Street designation encourages communities to integrate Main Street or downtown revitalization program with a neighborhood renewal strategy, that incorporates public engagement, for a residential area adjacent to the commercial district. Using the principles of the Elm Street Five Point Approach (Appendix I) residential neighborhoods in proximity to the central business district receive resources and development with the aim of further enhancing the downtown area and improving the viability of older neighborhoods. The designated area must be in a residential neighborhood in existence since at least 1961, within ½ mile of a commercial district, displaying signs of deterioration, and be in need of revitalization. Organizational Sustainability must be demonstrated by identifying and documenting a sustainable funding plan to employ the full-time professional manager for at least five years. Examples of designation goals and strategies are as follows:

- Revitalize neighborhoods in proximity to the existing downtown by improving the exterior appearance of the buildings and streetscapes.
- Formalize a connection between established residential neighborhood areas with downtown revitalization activities.
- Prevent neighborhood decline by developing a plan that includes the establishment of a sustainable community organization that will implement a Five-Year Strategy based on the Elm Street Five Point Approach.
- Assist municipalities in implementing a revitalization strategy for established residential neighborhoods either in the vicinity of a Main Street program or project or in proximity to an existing commercial district.

Section IV – Application Procedures

- A. Applicants for designation must first contact the appropriate DCED Regional Office (Appendix II) to discuss designation consideration and requirements. The Regional Office may request additional information from the applicant to determine if the application will meet program requirements and qualifies to implement a designation program.
- B. With notice to move forward from the Regional Office, the applicant should email the program resource account at dced-msm@pa.gov for completed designation application submission instructions.
- C. Applications will be reviewed by DCED and Pennsylvania Downtown Center (PDC) staff. Applicant should be prepared to answer questions and modify information as requested in a timely manner.
- D. DCED will make final decisions and provide formal notification of application approval/denial. Approvals will include confirmation of the specified designation area and effective dates and will include instructions for accessing Operations Funding.

Section V – Designation Requirements

A. Training, Monitoring, and Reporting

1. Managers of designated areas are required to attend various training and technical assistance sessions offered by DCED or PDC at DCED's request. All, or the majority, of these trainings will require in-person attendance. The following will be required, at a minimum:
 - Three Managers Meetings per year and
 - Five Academy Sessions to address Organization, Physical Improvement/Design, Community Marketing, Asset Enhancement, and Safe-Clean-Green within the first two years of designation.
 - Monitoring assessments of designated programs will be conducted following years 1, 3, and 5 of designation.
 - NOTE: Assessments, to be completed in-person, will require participation of the program manager as well as board and committee members.
 - Reporting of investment statistics and revitalization efforts within the designated area must be completed annually, at a minimum, using the online reporting system through PDC.
2. Main Street or Elm Street Manager or coordinator positions must include fringe benefits and health insurance options.

Section VI – Operations Funding Support and Program Administration

A. Operations Funding Support

Upon Main Street or Elm Street Designation approval, the implementing entity will be invited to immediately apply for an operations grant to support Main Street or Elm Street operations. Up to \$225,000 may be available to communities within their first designation under Main Street Matters based on the following scale:

- Year 1: Up to \$75,000
- Year 2: Up to \$75,000
- Year 3: Up to \$50,000
- Year 4: Up to \$25,000
- Year 5: \$0

B. Eligible Use of Funds

1. Direct salary and benefits of a professional Main Street or Elm Street manager or coordinator responsible for the administration of the approved designation strategy and direct support staff.
2. Travel and training costs required by designation.
3. Rent or mortgage.
4. Utilities including, but not limited to, electric, water, internet, and phone.
5. Professional support service contracts to include:
 - Bookkeeping
 - Accounting
 - Social media management
 - Advertising

C. Contracting Operations Funding Support with DCED

1. Upon approval of an application by DCED, a grant agreement (contract) will be issued to the applicant for electronic review and signature.
2. A fully executed contract between the applicant (hereafter referred to as grantee) and DCED is required prior to disbursement of funds. Costs incurred prior to full execution of the contract are incurred at the grantee's own risk.

D. Requests for Payment

1. All payment requests must be submitted using the approved payment request form received with the fully executed contract.
2. Funds will be issued in advance annually, following the scale identified in Section VI, Part A. Grantees will be required to provide evidence of costs incurred by the end of each designation year in order for DCED to disburse the next year's allocation.

3. Prior to the release of Year 4 allocation, the grantee must also submit evidence of committed operations funding for Years 4 and 5.
 - Year 4 payment request and evidence of costs incurred must be submitted no later than 60 days after completion of all project activities, or the end of the contract activity period, whichever comes first.
 - Payment requests require at least 45 days for processing.

E. Other Payment Considerations

1. Grantees must maintain good standing with designation and meet all program requirements. Failure to do so may jeopardize operations funding support.
2. Grantees who fail to provide evidence of costs incurred by the end of each designation year will forfeit the subsequent year's allocation
3. Grantees who fail to provide evidence of costs incurred may be required to repay any unsupported costs.

Section VII – Other Program Requirements

A. Nondiscrimination

No assistance shall be awarded to an applicant under this program unless the applicant and the project user certify to DCED that the project user shall not discriminate against any employee or against any person seeking employment by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the Pennsylvania Human Relations Act, which prohibits discrimination on the basis of race, color, religious creed, ancestry, age, sex, national origin, handicap or disability, or in violation of applicable federal laws. All contracts for work to be paid with grant funds must contain the commonwealth's official nondiscrimination clause.

B. Project Records

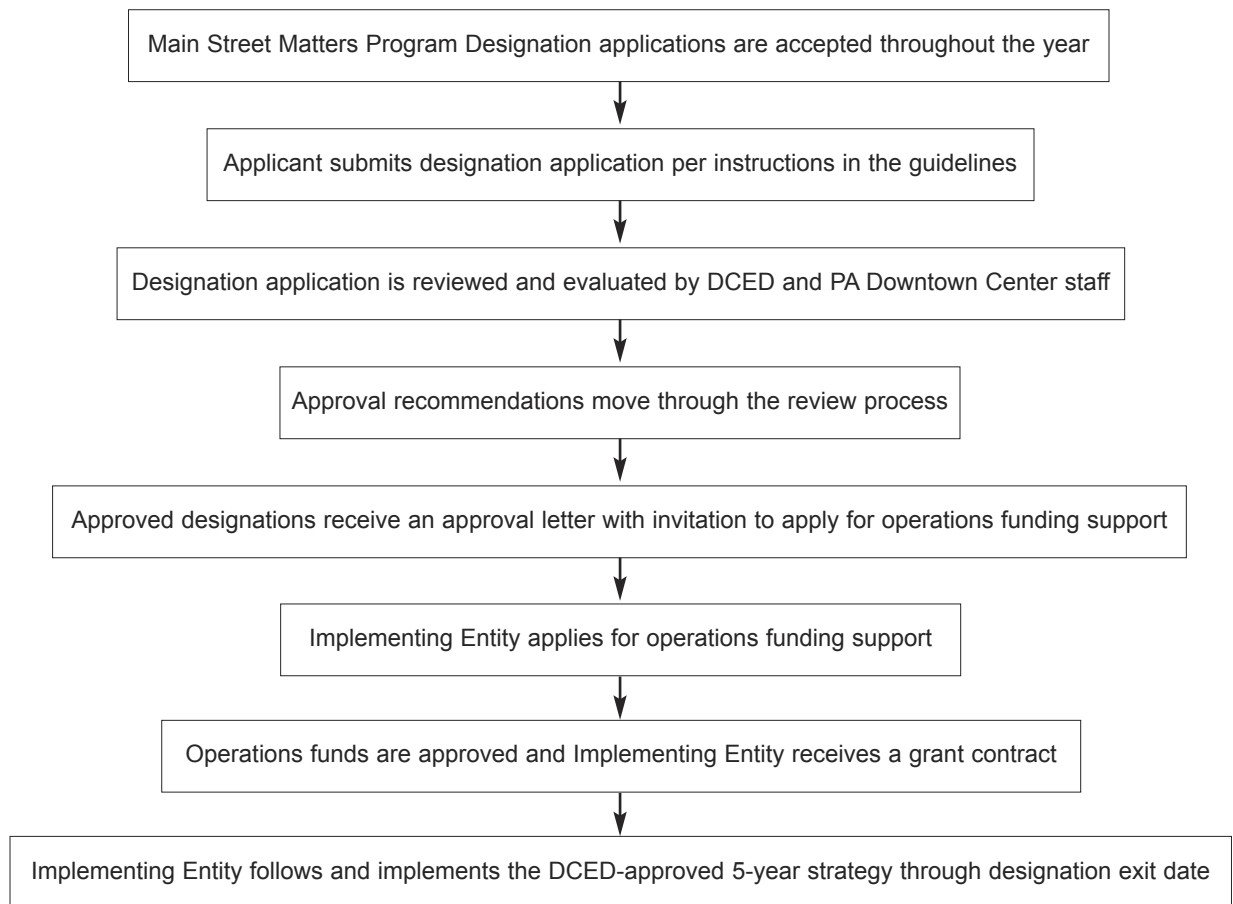
The applicant must maintain full and accurate records with respect to the project and must ensure adequate control over related parties in the project. DCED requires access to such records, as well as the ability to inspect all work, invoices, materials, and other relevant records at reasonable times and places. Upon request of the program office, the applicant must furnish all data reports, contracts, documents, and other information relevant to the project.

C. Conflict of Interest Provision

An officer, director, or employee of an applicant who is party to or has a private interest in a project shall disclose the nature and extent of the interest to the governing body of the applicant, and may not vote on action of the applicant concerning the project, nor participate in the deliberations of the applicant concerning the project.

Please note that while designation does provide priority consideration for several DCED funding programs, including the Main Street Matters Program, it does not guarantee funding of any project.

Section VIII – Program Flow Chart



Section IX – Contact Information

Questions regarding designation or program funding may be directed to:

PA Department of Community & Economic Development
Center for Community Enhancement
Commonwealth Keystone Building
400 North Street, 4th Floor
Harrisburg, PA 17120-0225

Phone: (717) 787-6245

Email: dcad-msm@pa.gov

Appendix I – The Elm Street Approach

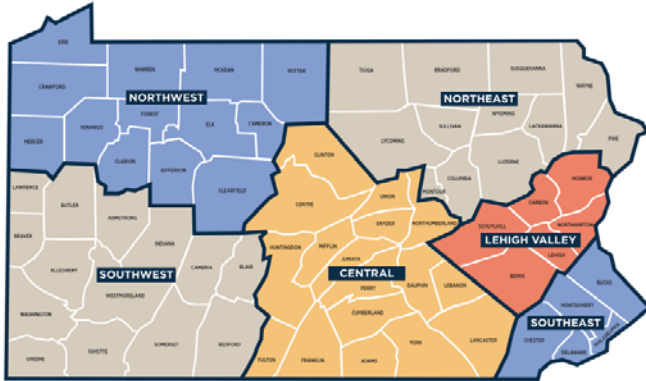
[Visit the Pennsylvania Downtown Center's \(PDC\) website for additional information on how the Elm Street Approach works.](#)



Source: “Elm Street Manager’s Handbook”

Appendix II – DCED Regional Offices

Pennsylvania Department of Community and Economic Development dced.pa.gov



Southeast

Bucks, Chester, Delaware, Montgomery, and Philadelphia counties

Department of Community
and Economic Development
Michael Shorr, Director
1650 Arch Street, Suite 2500
Philadelphia, PA 19103
(215) 560-3793
Fax: (215) 560-5832
mshorr@pa.gov

Northeast

Bradford, Columbia, Lackawanna, Luzerne, Lycoming, Montour, Pike, Sullivan, Susquehanna, Tioga, Wayne, and Wyoming counties

Department of Community
and Economic Development
Paul Macknosky, Director
2 North Main Street
Pittston, PA 18640
(570) 963-4122
Fax: (570) 654-6315
pmacknosky@pa.gov

Lehigh Valley

Berks, Carbon, Lehigh, Monroe, Northampton, and Schuylkill counties

Department of Community
and Economic Development
Fadia Halma, Director
449 Wild Mint Lane
Allentown, PA 18104
(717) 877-8481
fhalma@pa.gov

Central

Adams, Centre, Clinton, Cumberland, Dauphin, Franklin, Fulton, Huntingdon, Juniata, Lancaster, Lebanon, Mifflin, Northumberland, Perry, Snyder, Union, and York counties

Department of Community
and Economic Development
Madra Clay, Director
400 North Street, 4th Floor
Commonwealth Keystone Building
Harrisburg, PA 17120-0225
(717) 720-7397
maclay@pa.gov

Southwest

Allegheny, Armstrong, Beaver, Bedford, Blair, Butler, Cambria, Fayette, Greene, Indiana, Lawrence, Somerset, Washington, and Westmoreland counties

Department of Community
and Economic Development
Johnna Pro, Director
301 Fifth Avenue, Suite 250
Pittsburgh, PA 15222
(412) 565-5098
Fax: (412) 565-2635
jopro@pa.gov

Northwest

Cameron, Clarion, Clearfield, Crawford, Elk, Erie, Forest, Jefferson, McKean, Mercer, Potter, Venango, and Warren counties

Department of Community
and Economic Development
Christi Martone, Director
100 State Street, Suite 205
Erie, PA 16507
(814) 871-4241
cmartone@pa.gov

Appendix III – Designation Application Requirements

Applications for designation must clearly state the designation status being sought and provide the following:

1. **Name and description of the community applying for designation.**
 - Demonstrate the area is in need of revitalization to include, as applicable, the reporting of crime, poverty, unemployment, deteriorated/dilapidated housing stock, blighted buildings, a blight declaration in accordance with the Housing and Redevelopment Assistance Law and Urban Renewal Law, reduced homeownership rates, or other similar criteria.
 - Discuss the role the community plays within the context of its region. Identify the substantive assets within the community and explain how these assets significantly contribute to the regional economy. Examples include, but are not limited to, colleges and universities; Keystone Innovation Zones, Keystone Opportunity Zone designations; regional healthcare centers; county seats; tourism venues; and high growth businesses and/or high-tech business concentrations.
 - If an application is a regional request or includes more than one community, the application must identify all communities involved in the request and outline the role each community plays within the region and with respect to this request. This must include a description of the geographic connection among the participating communities.
 - Demonstrate that the Five-Year Strategy has been developed through a planning process with community-wide engagement. Eligible activities that meet this requirement include, but are not limited to, community visioning, focus groups, and public meetings. Evidence of community-wide engagement includes, but is not limited to, advertisements of public meetings such as flyers and social media posts, attendance lists, descriptions of meetings that occurred, and photographs.
 - Applications for *Elm Street* designation must also demonstrate the following:
 - The designated area is a targeted, residential, pedestrian-oriented district dominated by traditional older buildings which as existed as a residential neighborhood since 1961. The selected area may be mixed-use, but must be primarily residential. Preference is given for those areas within a local or Nationally Registered Historic District.
 - The target area must be within approximately a ½ mile of the edge of a downtown commercial district in need of or actively undergoing a revitalization effort.
2. **Five-Year Strategy** that emphasizes opportunities for business growth, downtown and/or neighborhood revitalization, and the effective ways in which the local government and nonprofit partners intend to assist in the implementation of the strategy.
 - a. The strategy must be specific to the designated area and contain, at a minimum:
 - the goals, objectives, and outcomes of the revitalization effort,
 - identification of how implementation complements the community and/or region's overall development strategy,
 - specific outline of activities anticipated to be accomplished during the first year of implementation and planned activities through year five,
 - evidence of direct correlation between elements of the plan and community-wide engagement efforts as well as results of the Main Street Image Development Report or the Elm Street Image & Identity Report.
 - mission statement and
 - vision statement.

3. **Current Operating Budget** of the organization responsible for daily oversight and administration of the designation program. Provide documentation that details costs related to operation of the designated program within that budget.
4. **Sustainability Plan** identifying funding source(s) in place to sustain a full-time professional manager for, at a minimum, the five-year designation period. Provide a plan covering the five-year period which accounts for anticipated costs related to designation including, but not limited to, salary and benefits costs of a professional manager and costs associated with training required by designation. Sustainability Plan should include funding anticipated from MSM Operations Funding Support.
5. **A map of the proposed designation area** which details the area's location with regard to major thoroughfares, amenities, and other notable landmarks specific to the community. Boundary identification by street names should be clear and specific.
6. **A resolution** from the subject municipality indicating support for the designation request, willingness to participate in the program, support of the Five-Year Strategy, and, if the applicant is an organization other than the municipality, authorization of the applicant to represent the municipality.
7. **Identification of the organization responsible for daily oversight and administration of the designation program.** This organization should be reflective of the designated area it represents, for example, Elm Street designations should be represented by organizations that are neighborhood-oriented and comprised of residents, community-based organizations, property owners, institutions, churches, businesses, social services agencies and/or municipal officials.
 - a. Applications must include:
 - Names and titles of board members providing information regarding each person's role within the organization
 - Copies of regularly scheduled board and committee meetings minutes since the inception of designation discussions,
 - Copies of the organizational by-laws, official incorporation, and nonprofit tax status of the organization, and
 - The name, address, phone number, email address, and resume or narrative outlining experience of the full-time, professional downtown manager.
 - Applicants that are non-profit organizations must be registered with the Department of State, Bureau of Charitable Organizations and provide their most recent BC-O-10 and most recent financial compilation, review, or audit based on the appropriate conditions and criteria.
8. **Market assessment and image development reports.**
 - The Market Assessment Report provides the business inventory, the property/building inventory, and the socio- economic psychographic profile, aka the PRIZM lifestyle profile. The PDC has templates available for both the business inventory and the property/building inventory on the members-only section of the PDC website and will make available to other communities seeking designation upon request. The socio-economic psychographic profile/PRIZM lifestyle profile is available upon request to PDC.
 - The Image Development Report compiles the results of a standard perceptual question survey of community members regarding the area to be designated. The purpose of this survey tool is to get a better idea of how people feel about common attributes that contribute to a "sense of place" within a community.
9. **Historic Preservation.** As applicable, document local interest and commitment to historic preservation as evidenced by the existence or planned creation of a local historic district, the involvement of local historic groups on the organization's board, or qualification as a Certified Local Government.