

PERKASIE BOROUGH COUNCIL

Agenda for Council Meeting of July 21, 2025

1. Meeting Convenes – Council Meeting Room – 7:00 PM
2. Invocation and Pledge of Allegiance
3. Attendance
4. Proclamation: National Night Out
5. Public Forum
6. President's Remarks
7. Approval of Minutes
 - A. Council, June 16, 2025
8. Correspondence and Reports
 - A. Mayor's Report
 - B. Taxes Collected
 - C. Budget Status
 - D. Engineer's Report
 - E. Planning Commission Report
 - F. Zoning Hearing Board Report
 - G. Police Report
 - H. Fire Department Report
 - I. Perkasio Regional Authority Report
 - J. Pennridge Wastewater Treatment Authority Report
9. Unfinished Business
10. New Business
 - A. Public Works Committee Items
 1. Superintendent's Report
 - B. Public Utility Committee Items
 1. Superintendent's Report
 2. Perkasio Wholesale Power Cost Monthly Report
 3. Consider Authorization of Expenditure for Review of AMP Tallgrass Power Generation Project
 4. Installed Capacity Update
 - C. Planning and Zoning Committee Items
 1. Code Enforcement Administrator's Report
 2. Consider Resolution #2025-34 – Stormwater Agreement for 9 Fairview Avenue
 3. Discuss Zoning Hearing Board Application for St. Stephen's Church
 4. Constitution Square Update
 - D. Park and Recreation Committee Items
 1. Park and Recreation Director Report
 2. Consider Request for Use of Lenape Park After Dusk
 - E. Personnel and Policy Committee Items
 1. Consider Hiring of Accounting & Municipal Permits Clerk
 2. Consider Promotion and Pay Increase – Menlo Aquatics Center Employee
 3. Consider Adjustment of Pay Rates for Temporary Front Desk Clerks
 4. Consider Resolution #2025-35 – St. Luke's Occupational Medicine Agreement

- F. Finance Committee Items
 - 1. Payment of the Bills
 - 2. Consider Authorization of Expenditure for Rental of Refuse Truck
 - 3. Consider Resolution #2025-36 – Omnia Cooperative Purchasing Agreement
 - 4. Consider Positive Pay Procedure
- G. Economic Development Committee Items
 - 1. Community & Economic Development Report
- H. Public Safety Committee Items
 - 1. Discuss Perkiomen Watershed Conservancy – Perkiomen Flood Study
- I. Historical Committee Items
 - 1. Consider Covered Bridge Project Change of Scope #3
- 11. Other New Business
- 12. Report from Youth Councilors
- 13. Public Forum
- 14. Press Forum
- 15. Executive Session – Security Purposes
- 16. Adjournment

Next Meeting: Monday, August 4, 2025 – 7:00 PM

Perkasie Borough Council agendas are available via e-mail in advance of the meetings. Please send any agenda requests to: admin@perkasieborough.org. The agendas and Perkasie Borough Council meeting packets are both available on the Borough's website at www.perkasieborough.org.



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PROCLAMATION

National Night Out

WHEREAS, the National Association of Town Watch (NATW) sponsors a national community-building campaign on Tuesday, August 5, 2025, entitled “National Night Out”; and

WHEREAS, the National Night Out campaign provides an opportunity for neighbors in your borough to join over 38 million neighbors across 18 thousand communities from all 50 states, U.S. territories, and military bases worldwide; and

WHEREAS, National Night Out is an annual community-building campaign that promotes strong police-community partnerships and neighborhood camaraderie to make our neighborhoods safer, more caring places to live and work; and

WHEREAS, neighbors in Perkasio Borough assist the local law enforcement agency through joint community-building efforts and support National Night Out 2025; and

WHEREAS, all neighbors of Perkasio Borough must come together with police and work together to build a safer, more caring community; and

NOW, THEREFORE we do hereby call upon all neighbors of Perkasio Borough to join Perkasio Borough Police and National Association of Town Watch in support of National Night Out on Tuesday, August 5, 2025.

FURTHER, LET IT BE RESOLVED THAT we do hereby proclaim Tuesday, August 5, 2025, as “National Night Out” in Perkasio Borough.

Mayor Jeff Hollenbach
July 21, 2025

**MINUTES OF PERKASIE BOROUGH
COUNCIL MEETING
JUNE 16, 2025**

620 West Chestnut Street
Perkasie, Pennsylvania

ATTENDANCE:

Council Members:

Scott Bomboy
Chuck Brooks
Kelly Laustsen
Steve Rose (absent)
Jim Ryder
Robin Schilling (absent)

Youth Councilors:

Dave Weaver
Dave Worthington

Mayor:

Shiv Gandevia

Borough Manager:

Colin Moyer

Assistant Borough Manager:

Jeff Hollenbach

Finance Director:

Andrea L. Coaxum

Parks and Recreation Director:

Linda Reid

Police Chief:

Rebecca Deemer

Electric Superintendent:

Lauren Moll

Public Works Director:

Robert Schurr

Borough Solicitor:

Harold Stone

Borough Engineer:

Jeff Tulone (absent)

Jeffrey Garton, Esq.

Douglas Rossino, P.E.

Council President Jim Ryder convened the meeting at 7:00 PM. An invocation was given by Mayor Hollenbach, which was followed by the Pledge of Allegiance.

PROCLAMATION: PARKS & RECREATION MONTH

Mayor Hollenbach read a proclamation declaring the month of July as National Parks & Recreation Month in the Borough.

AUDIT PRESENTATION

Greg Ede from Styer Associates presented the 2024 Audit.

PUBLIC FORUM

Nothing at this time.

PRESIDENT'S REMARKS

Nothing at this time.

APPROVAL OF MINUTES

Upon a motion by Bomboy, seconded by Faulkner, Council unanimously approved the minutes from the Council meeting on May 19, 2025 and minutes from the Committee meeting on June 2, 2025.

CORRESPONDENCE AND REPORTS

Mayor's Report

Mayor Hollenbach reminded everyone that Community Day is on Saturday, June 28th, and extended another invitation to participate in the cornhole tournament that day. He also announced that the 2025 Jim Purcell Memorial Awards will be presented that evening at the Amphitheater, before the fireworks. The Mayor thanked American Heritage Credit Union for their sponsorship of the fireworks.

Taxes Collected

Upon a motion by Brooks, seconded by Weaver, Council unanimously approved the Taxes Collected Report for May, 2025.

Budget Status

The Finance Director reported that she has been meeting with the department heads to make sure each department is where they're supposed to be as far as the 2025 budget, and they have also started budget discussions for 2026.

Upon a motion by Faulkner, seconded by Laustsen, Council unanimously accepted the Budget Status report for the month of May, 2025.

Engineer's Report

The Borough Engineer reported the Perkasio Green and Pennridge Airport projects reached the end of their 18-month maintenance periods, so inspections were done and there are some items that need to be completed. He also informed Council that the pre-construction meeting for the 2025 Road Program will be held this Friday. Mayor Hollenbach asked if there was an update on the Kulp Park Improvements Project, so the Engineer provided one, adding that the project should start sometime in July.

Upon a motion by Laustsen, seconded by Brooks, Council unanimously accepted the Engineer's monthly report for the month of May, 2025.

Planning Commission Report

The Planning Commission met in May to continue their discussions about roadside stands and the keeping of fowl, and made some recommendations which Council will review later in the meeting.

Zoning Hearing Board Report

The Zoning Hearing Board met in May and approved an application from WP Perkasio for a variance pertaining to the drive-thru at the proposed Starbucks at Fifth Street and Blooming Glen Road.

Police Report

The Police Chief reported that he and some of the officers volunteered at Re:Vivals on Saturday

and served at least 97 vehicles, adding that it was a great volunteer experience. He added that the Department will be having a Pack the Trunk food drive for Pennridge FISH outside of Landis Supermarket this Friday, June 20th from 3:00 pm to 5:00 pm.

Councilman Faulkner commented on the amazing unity of all of the officers from surrounding municipalities who responded to the incident on Ridge Road last week.

Upon a motion by Weaver, seconded by Brooks, Council unanimously accepted the Police Department report for the month of May, 2025.

Fire Department Report

Council reviewed the Fire Department reports for the month of May, 2025.

Perkasie Regional Authority Report

Council reviewed the minutes from the Perkasie Regional Authority meeting on May 12, 2025 and the PRA financial statements for the years ended December 31, 2024 and 2023.

Pennridge Wastewater Treatment Authority Report

Council reviewed the minutes from the Pennridge Wastewater Treatment Authority Board meeting on March 24, 2025.

New Business

Nothing at this time.

PUBLIC WORKS COMMITTEE

Review of Superintendent's Report

The Committee reviewed and accepted the Public Works Superintendent's report for the month of May, 2025.

Consider Resolution #2025-33 – Handicap Parking Spot for 250 North Third Street

Upon a motion by Faulkner, seconded by Brooks, Council unanimously approved Resolution #2025-33, a resolution of the Borough of Perkasie for the creation of a parking space reserved for a handicapped person or disabled veteran at 250 North Third Street.

PUBLIC UTILITY COMMITTEE

Review of Superintendent's Report

The Electric Department Superintendent reported that the Department is continuing to install meters and replace poles as needed, and they are getting ready for Community Day.

The Committee reviewed and accepted the Electric Superintendent's report for May, 2025.

Installed Capacity Update

Council reviewed an article from the New York Times about their investigation of PJM, which was provided by Councilman Bomboy.

PLANNING AND ZONING COMMITTEE

Code Enforcement Administrator Report

The Committee reviewed and accepted the Code Enforcement Administrator's monthly report for May, 2025.

Discuss Planning Commission Recommendations for Potential Amendments to Code of Ordinances pertaining to the Keeping of Chickens and Roadside Stands

The Council reviewed the following recommendations made by the Planning Commission for the keeping of chickens and roadside stands:

The recommendation of the Planning Commission for the keeping of chickens would:

- create a definition for "chickens" and prohibit the keeping of roosters and guinea hens
- allow the keeping of chickens accessory to a Residential Use across all zoning districts where Residential Use is the Primary Use on a parcel. The Keeping of Chickens accessory to a commercial Use would continue to be regulated by 186-86 A(1) Farming.
- replace the "2 birds per ¼ acre" area restriction with a requirement that coops & pens be installed at least 10' away from neighboring residential properties, and otherwise subject to all other dimensional & setback requirements for Accessory Uses in the underlying zoning district (the lot area restriction remains in place for all other "fowl")
- set a limit on the number of chickens that may be kept Accessory to a Residential Use: a minimum of 2 and a maximum of 6
- continue the prohibition on commercial sales of chicken and add a prohibition on commercial or public slaughtering
- set some general standards for the proper and sanitary keeping of chickens, based on guidance from the Penn State Extension Service
- require a Zoning Permit
- allow only one Zoning Permit per parcel and require that tenants have the written permission of the property owner to keep chickens.

The recommendation of the Planning Commission would bring most of the known Roadside Stands into compliance by:

- allowing Roadside Stands as a Use by right where they are Accessory to a Residential Use,
- removing the requirement for off-street parking where there is adjacent legal street parking,
- replacing the requirement that a Roadside Stand is 80' away from any intersection with the requirement that a Roadside Stand does not affect sight lines at any intersection.

Councilwoman Laustsen's opinion was that coops and pens should be installed at least 25' away from neighboring properties, instead of the proposed 10'. There was further discussion about the possibility of modifying this parameter. Upon a motion by Bomboy, seconded by Laustsen, Council unanimously authorized the Solicitor to draft an ordinance implementing the recommended changes to the Borough code book.

Update on Construction Progress – Constitution Square

The Engineer provided an update on Constitution Square. Mr. Rossino reported that next Tuesday, he will be meeting the developer and the Bucks County Conservation District on site to review the remaining items that the developer will need to complete before he will be able to lay wearing course, which the developer is hoping can be done in mid-July.

PARKS AND RECREATION COMMITTEE

Parks and Recreation Department Report

The Parks & Recreation Director informed Council that, in honor of National Parks & Recreation Month, the Department will be hosting a free program once a week during the month of July. Ms. Moll added that Menlo Pool is officially open for the season, and she thanked the Perkasio Lions Club for sponsoring the Kulp Wading Pool again this year.

The Committee reviewed and accepted the Parks and Recreation Director's report for May, 2025.

Consider Reservation Request – Grow a Pair 5K

Upon a motion by Laustsen, seconded by Weaver, Council unanimously approved the use of Kulp Park for the Grow a Pair 5K on Wednesday, August 20, 2025 at 6:00 pm.

PERSONNEL AND POLICY COMMITTEE

Accept Resignation of Electric Department Employee

Upon a motion by Faulkner, seconded by Brooks, Council unanimously accepted the resignation of Casey Kilgos.

Accept Resignation of Crossing Guard

Upon a motion by Bomboy, seconded by Brooks, Council unanimously accepted the resignation of Laird Markow.

Accept Resignation of Part-Time Events Assistant

Upon a motion by Weaver, seconded by Faulkner, Council unanimously accepted the resignation of Kelly Myers.

Consider Hiring of As-Needed Events Assistant

Upon a motion by Brooks, seconded by Weaver, Council unanimously concurred with the Borough Manager's decision to hire Kelly Myers as an As-Needed Events Assistant.

Consider Hiring of Part-Time Events Assistant

Upon a motion by Faulkner, seconded by Brooks, Council unanimously concurred with the Borough Manager's decision to hire Lauren Bahry for the position of part-time Events Assistant at an hourly rate of \$23.00, with a start date of June 24, 2025, conditioned upon her passing a pre-employment drug screening and physical, and the necessary background checks.

Consider New Timeclock Policy

Upon a motion by Brooks, seconded by Weaver, Council unanimously authorized the staff to proceed with implementing the new timeclock policy.

FINANCE COMMITTEE

Authorization to Pay Bills

Upon a motion by Faulkner, seconded by Brooks, Council unanimously authorized payment of the bills as presented.

Consider Hiring Firm for Engineering & Technical Assistance – Substation

Upon a motion by Weaver, seconded by Brooks, Council unanimously approved the hiring of Utility Engineers, PC to assess the Borough's substation with the total cost not to exceed \$20,000.

Consider Purchase of Additional Toters

Upon a motion by Laustsen, seconded by Faulkner, Council unanimously authorized the Public Works Superintendent to purchase an additional 300 toters at a cost of \$18,955.

Discuss Possible Acquisition of 200 South Main Street

After some discussion, it was the consensus of Council not to move forward with making an offer for this property.

ECONOMIC DEVELOPMENT COMMITTEE

Community & Economic Development Report

The Assistant Borough Manager reported that the Steering Committee met last week and will meet again in July, adding that the Economic Development survey went live today, and responses will be collected until June 30, 2025. Ms. Reid also provided an update on the SEPTA freight car mural and stated that a ribbon cutting will be held during the second week of July.

The Committee reviewed the Community & Economic Development Report dated June 10, 2025.

PUBLIC SAFETY COMMITTEE

There was no business to come before the Public Safety Committee.

HISTORICAL COMMITTEE

Councilman Bomboy reported that we are hoping to have the bid documents wrapped up this week for the Covered Bridge project, to be advertised late this week.

OTHER NEW BUSINESS

Councilwoman Laustsen stated that she is hoping Council will consider making the Events Assistant a full-time position in a year or two, since we have a lot of events in the Borough to plan and

prepare for, adding that she thinks it will help keep someone in the position longer.

REPORT FROM YOUTH COUNCILORS

Youth Councilor Shiv Gandeia reported that the recently-graduated seniors are in Wildwood for Senior Week. Youth Councilor Colin Moyer stated that he is hoping for better weather for Menlo.

PUBLIC FORUM

Nothing at this time.

PRESS FORUM

Nothing at this time.

EXECUTIVE SESSION

Council adjourned to an Executive Session to discuss matter of personnel and would not be taking any action when they came out.

ADJOURNMENT

The meeting adjourned at 8:12 pm.

Andrea L. Coaxum
Borough Manager/Secretary

Selecting on ACCT from 301 to 310

ACCOUNT DESCRIPTION	ESTIMATED REVENUE	YEAR-TO-DATE REVENUE	ACTUAL YTD % REALIZED
01.301.100			
Real Estate Taxes- Current Year's Levy	451,775.00	421,887.99	93.38
01.301.200			
Real Estate Taxes - Prior Year's Levy	2,000.00	960.66	48.03
01.301.300			
Real Estate Taxes - Delinquent	2,000.00	311.79	15.59
01.301.600			
Real Estate Taxes - Interim	3,500.00	209.77-	-5.99
01.310.100			
Real Estate Transfer Tax	225,000.00	89,982.02	39.99
01.310.200			
Earned Income Tax	1,988,104.00	785,357.31	39.50
01.310.500			
Local Services Tax	110,000.00	40,396.91	36.72
01.310.700			
Mechanical Device Fee	500.00	370.00	74.00
Total for Fund:	2,782,879.00	1,339,056.91	48.12
01 (General Fund)			
14.301.100			
Real Estate Taxes - Current Year's Levy	142,666.00	133,229.59	93.39
14.301.200			
Real Estate Taxes - Prior Year's Levy	300.00	813.26	271.09
14.301.300			
Real Estate Taxes- Delinquent		146.37	
14.301.600			
Real Estate Taxes - Interim		31.95	
Total for Fund:	142,966.00	134,221.17	93.88
14 (Fire Tax Protection Fund)			
15.301.100			
Real Estate Taxes - Current Year's Levy	285,332.00	266,454.81	93.38
15.301.200			
Real Estate Taxes - Prior Year's Levy	1,000.00	1,626.63	162.66
15.301.300			
Real Estate Taxes- Delinquent	900.00	292.71	32.52
15.301.600			
Real Estate Taxes - Interim	2,000.00	63.89	3.19
Total for Fund:	289,232.00	268,438.04	92.81
15 (Road Improvements Fund)			
Report Totals	3,215,077.00	1,741,716.12	54.17

**BUCKS COUNTY RECORDER OF DEEDS
LOCAL REALTY TRANSFER TAX DISTRIBUTION - DETAIL
FOR THE PERIOD FROM JUNE 1, 2025 TO JUNE 30, 2025**

PERKASIE BOROUGH

Account Description Direct / Indirect Party Name	Inst Type	Ref Num	Inst Number	Date Rec	Tax Basis	Fee ID	Tax Collected
TO:							
PERKASIE BOROUGH P.O. BOX 96 PERKASIE, PA 18944-0096							
PERKASIE BOROUGH							
LANDIS PROPERTIES II LLC RESNIKOFF, EVAN	DEED	1432325	2025023663	06/04/2025	465000.00	MTAX	2,325.00
	PARCEL IDENTIFICATION NUMBER 33-010-053--001-						
JOHNSON, KEITH BIGLIN, SOPHIA	DEED	1432682	2025024059	06/06/2025	735000.00	MTAX	3,675.00
	PARCEL IDENTIFICATION NUMBER 33-002-045--007-						
BAILEY, DUSTIN GOOD, DUANE L	DEED	1432902	2025024307	06/09/2025	560000.00	MTAX	2,800.00
	PARCEL IDENTIFICATION NUMBER 33-006-018--						
OSTROFF, ROSS M GUNTER, PAUL H JR	DEED	1432922	2025024333	06/09/2025	285000.00	MTAX	1,425.00
	PARCEL IDENTIFICATION NUMBER 33-005-706--						
CLEMMER, RUTH J ZHUSHMA, WALTER	DEED	1432961	2025024370	06/09/2025	340000.00	MTAX	1,700.00
	PARCEL IDENTIFICATION NUMBER 33-014-021--						
ROBERTS, KURTIS M HAIGHT, KRISTOPHER	DEED	1433018	2025024444	06/10/2025	400000.00	MTAX	2,000.00
	PARCEL IDENTIFICATION NUMBER 33-002-023--						
WOODWORTH, FREDERIC A III SHANLEY, RYAN CHRISTOPHER	DEED	1433906	2025025437	06/16/2025	485000.00	MTAX	2,425.00
	PARCEL IDENTIFICATION NUMBER 33-010-145--047-						
RHODES, LISA D KILLION, CODY A	DEED	1433910	2025025442	06/16/2025	265000.00	MTAX	1,325.00
	PARCEL IDENTIFICATION NUMBER 33-005-202--						
TITUS, BARBARA J BILARCZYK, DONNA	DEED	1434046	2025025588	06/17/2025	480000.00	MTAX	2,400.00
	PARCEL IDENTIFICATION NUMBER 33-001-096--						
STIVERSON, ALEXANDER LOVELESS, DANIEL	DEED	1434297	2025025853	06/17/2025	440000.00	MTAX	2,200.00
	PARCEL IDENTIFICATION NUMBER 33-009-005--070-						
HG PROPERTIES 85 L P MCKOY, KYLE	DEED	1434610	2025026165	06/23/2025	444725.00	MTAX	2,223.62
	PARCEL IDENTIFICATION NUMBER 33-005-456--005-						
BALANDA, JESSICA HUIHUI, ZACHARI	DEED	1434667	2025026233	06/23/2025	340000.00	MTAX	1,700.00
	PARCEL IDENTIFICATION NUMBER 33-005-080--						
BUCKMAN, ADAM BAUM, TIMOTHY WARNER	DEED	1434893	2025026480	06/23/2025	625000.00	MTAX	3,125.00
	PARCEL IDENTIFICATION NUMBER 33-014-032--006-						
LARRY, LEWIS SR MCCAIN, SAMUEL	DEED	1435503	2025027193	06/26/2025	602000.00	MTAX	3,010.00
	PARCEL IDENTIFICATION NUMBER 33-009-041--022-						
HG PROPERTIES 85 L P BRIGO, THOMAS	DEED	1435535	2025027225	06/26/2025	433500.00	MTAX	2,167.50
	PARCEL IDENTIFICATION NUMBER 33-005-456--002-						
PERKASIE BOROUGH TOTAL							34,501.12

**BUCKS COUNTY RECORDER OF DEEDS
LOCAL REALTY TRANSFER TAX DISTRIBUTION - DETAIL
FOR THE PERIOD FROM JUNE 1, 2025 TO JUNE 30, 2025**

PERKASIE BOROUGH

Account Description							
Direct / Indirect Party Name	Inst Type	Ref Num	Inst Number	Date Rec	Tax Basis	Fee ID	Tax Collected
PERKASIE BOROUGH TOTAL							34,501.12
COMMISSION ON COLLECTIONS							690.02
DISTRIBUTION							33,811.10

**BUCKS COUNTY RECORDER OF DEEDS
LOCAL REALTY TRANSFER TAX DISTRIBUTION - DETAIL
FOR THE PERIOD FROM JUNE 1, 2025 TO JUNE 30, 2025**

REPORT TOTALS

Account Description	Inst Type	Ref Num	Inst Number	Date Rec	Tax Basis	Fee ID	Tax Collected
Direct / Indirect Party Name							
REPORT TOTAL					TOTAL COLLECTIONS		34,501.12
					COMMISSION ON COLLECTIONS		690.02
					TOTAL DISTRIBUTION		33,811.10

Statement of Revenues & Expenditures

BOROUGH OF PERKASIE
For Period Ending 06/30/2025

	<u>Annual Budget</u>	<u>Current Period</u>	<u>Year To Date</u>	<u>Budget Remaining</u>	<u>% Used</u>	<u>Prior Year To Date</u>
GRAND TOTAL - REVENUE	\$ 25,027,915	\$ 1,970,314	\$ 11,437,848	\$ 13,590,067	46%	\$ 10,642,856
GRAND TOTAL - EXPENSE	\$ 24,207,045	\$ 2,245,366	\$ 10,162,451	\$ 14,044,595	42%	\$ 9,557,074
GRAND TOTAL - NET REVENUE OVER / (UNDER) EXPENSE			\$ 1,275,398			\$ 1,085,782

Date: 07/10/2025

Time: 9:42:22AM

Statement of Revenues & Expenditures

User: HEATHE

Page: 1

BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.301.100	Real Estate Taxes- Current Ye	451,775.00	24,976.10	421,887.99	93.38	29,887.01	413,508.65
01.301.200	Real Estate Taxes - Prior Year	2,000.00	565.79	960.66	48.03	1,039.34	1,049.76
01.301.300	Real Estate Taxes - Delinquen	2,000.00	108.98	311.79	15.59	1,688.21	1,895.32
01.301.600	Real Estate Taxes - Interim	3,500.00		209.77-	-5.99	3,709.77	368.59
01.310.100	Real Estate Transfer Tax	225,000.00	30,260.27	89,982.02	39.99	135,017.98	104,751.26
01.310.200	Earned Income Tax	1,988,104.00	166,947.73	785,357.31	39.50	1,202,746.69	790,760.71
01.310.500	Local Services Tax	110,000.00	510.05	40,396.91	36.72	69,603.09	42,634.68
01.310.700	Mechanical Device Fee	500.00		370.00	74.00	130.00	370.00
01.321.610	Solicitation Permits	7,000.00	300.00	2,525.00	36.07	4,475.00	1,625.00
01.321.611	Event Program Revenue		125.00	470.00		470.00-	50.00
01.321.800	Cable Television Franchise Fe	150,000.00		33,695.12	22.46	116,304.88	35,392.23
01.322.600	Cut Fees	6,000.00	175.00	1,225.00	20.42	4,775.00	350.00
01.331.100	District Court	8,000.00	267.90	2,141.08	26.76	5,858.92	1,916.06
01.331.110	Vehicle - Parking Violations	750.00	320.00	1,190.00	158.67	440.00-	560.00
01.331.130	State Police Fines	3,500.00	1,410.21	1,410.21	40.29	2,089.79	1,739.44
01.331.300	County Fines	5,000.00	422.69	2,991.47	59.83	2,008.53	2,774.14
01.332.100	Restitution	1,000.00		85.00	8.50	915.00	650.00
01.341.100	Interest Earnings	40,000.00	2,670.23	17,308.09	43.27	22,691.91	19,296.75
01.342.100	Rent of Borough Hall Offices	68,426.00	9,014.00	37,524.00	54.84	30,902.00	37,272.57
01.342.200	Menlo House Rent	12,300.00	1,025.00	6,150.00	50.00	6,150.00	6,150.00
01.342.300	Parking Lot Rental	4,800.00		4,800.00	100.00	0.00	4,800.00
01.342.530	Cell Tower Revenue	73,000.00	7,095.60	40,449.07	55.41	32,550.93	33,534.56
01.342.560	Electric Department Service Ct	130,000.00	32,500.00	65,000.00	50.00	65,000.00	65,000.00
01.342.570	Real Estate Tax Reimburseme	3,100.00				3,100.00	
01.342.580	Live Scan Reimbursements - C	30,000.00		31,648.06	105.49	1,648.06-	29,299.79
01.342.590	Worker's Comp Reimbursemer	8,000.00				8,000.00	8,128.65
01.351.120	FEMA-Emerg Disaster Relief					0.00	1,082.03
01.354.023	Crime Victim's Advocate Grant	98,676.00		3,159.98-	-3.20	101,835.98	
01.354.100	DVIT Risk Control Grant		2,997.00	6,930.99		6,930.99-	
01.355.010	Public Utility Realty Tax	2,200.00				2,200.00	
01.355.040	Alcoholic Beverages Licenses	800.00		800.00	100.00	0.00	1,000.00
01.355.050	Gen Muni Pension State Aid- N	75,498.00				75,498.00	
01.355.051	Gen Muni Pension State Aid- U	226,495.00				226,495.00	
01.355.070	Foreign Fire Insurance Premiu	62,000.00				62,000.00	
01.359.100	BCHA Payment in Lieu of Ta	32,710.00	16,355.00	16,355.00	50.00	16,355.00	16,355.00
01.361.200	Escrow Admin. Fees	6,000.00	1,389.22	7,902.72	131.71	1,902.72-	1,462.14
01.361.300	Subdivision and Land Developr	5,000.00				5,000.00	500.00
01.361.330	Zoning Permits	8,000.00	1,800.00	9,045.00	113.06	1,045.00-	6,036.30
01.361.340	Zoning Hearing Fees	7,000.00		1,250.00	17.86	5,750.00	3,700.00
01.361.500	Sale of Maps and Publications	200.00		5.00	2.50	195.00	156.20
01.361.800	Deed Registrations	750.00	60.00	340.00	45.33	410.00	220.00
01.362.100	Contracted Police Services - S	1,443,899.00	120,325.00	721,950.00	50.00	721,949.00	688,260.00
01.362.110	Police Reports	2,000.00	285.00	1,650.00	82.50	350.00	1,026.00
01.362.120	Police Overtime Reimburseme	1,000.00	513.71	886.43	88.64	113.57	704.40
01.362.130	K-9 Contributions	500.00		501.00	100.20	1.00-	10,000.00
01.362.135	Police Contributions-Other	500.00		300.00	60.00	200.00	500.00

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE

For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.362.140	School Crossing Guards - Pen	45,000.00				45,000.00	
01.362.400	UCC Fees	850.00	54.00	446.00	52.47	404.00	499.50
01.362.410	Building Permits	90,000.00	3,842.60	57,076.48	63.42	32,923.52	55,575.67
01.363.510	Contracted Snow Removal for I	10,237.00				10,237.00	
01.367.140	Pavilion Rental Fees	6,000.00	665.00	2,960.00	49.33	3,040.00	4,650.00
01.367.150	Field Usage Fees	800.00		250.00	31.25	550.00	448.00
01.367.170	Recreation Sponsor Program	1,200.00		400.00	33.33	800.00	
01.367.200	Recreation Program Fees	70,000.00	6,741.49	47,100.16	67.29	22,899.84	38,674.00
01.367.201	Special Events Revenue	50,000.00	20,595.00	56,023.75	112.05	6,023.75-	37,579.25
01.367.202	Lucky Ducky Derby Revenue	600.00				600.00	
01.367.203	Basketball League - Youth					0.00	2,145.00
01.367.206	Yard Sale Space Sales	200.00	60.00	150.00	75.00	50.00	90.00
01.367.207	Basketball League - Adult	9,300.00	2,503.67	6,486.42	69.75	2,813.58	5,572.00
01.367.300	Amusement Park/Ski Tickets	1,000.00				1,000.00	
01.367.500	Flags-Memorial & Other	1,500.00	700.00	700.00	46.67	800.00	
01.367.550	Dog Park					0.00	30.00
01.387.000	Donations	500.00		1,000.00	200.00	500.00-	
01.388.000	Police - Miscellaneous Revenu		600.00	2,625.00		2,625.00-	3,529.00
01.389.100	Miscellaneous Revenue	1,000.00	1.00-	117.00	11.70	883.00	399.87
01.390.300	Insurance-(RSF) Credits & Div	118,547.00		30,842.10	26.02	87,704.90	26,516.53
01.391.200	Insurance Reimbursement					0.00	489.00
01.392.070	Transfer from Electric Fund	2,711,412.00	225,951.00	1,355,706.00	50.00	1,355,706.00	1,052,502.00
01.395.000	Refunds of Prior Years' Expen	1,000.00				1,000.00	1,302.92
Total Revenues		8,426,129.00	684,131.24	3,914,308.08	46.45	4,511,820.92	3,564,882.97
01.400.105	Council Salaries	22,500.00	1,874.97	11,122.13	49.43	11,377.87	11,249.82
01.400.192	FICA	1,721.00	143.45	850.90	49.44	870.10	860.76
01.400.420	Dues, Subscriptions & Member	250.00	137.36	337.36	134.94	87.36-	163.20
01.400.460	Meetings & Conferences	1,000.00		200.00	20.00	800.00	1,719.48
01.401.105	Mayor's Salary	2,500.00	208.33	1,249.98	50.00	1,250.02	1,249.98
01.401.110	Manager Salary	156,200.00	11,923.08	75,719.29	48.48	80,480.71	76,161.57
01.401.112	Manager Support Salary	71,051.00	5,731.78	37,051.09	52.15	33,999.91	12,218.06
01.401.192	FICA	17,576.00	1,354.54	8,889.73	50.58	8,686.27	6,859.06
01.401.196	Health Insurance Premiums	49,475.00	409.46	24,322.57	49.16	25,152.43	16,959.73
01.401.198	Life, AD&D, & LTD Premiums	1,532.00	115.53	693.18	45.25	838.82	460.20
01.401.199	Dental & Vision Premiums	4,164.00	36.46	2,026.04	48.66	2,137.96	1,447.20
01.401.324	Telephone/Technology Allow	3,000.00	250.00	1,500.00	50.00	1,500.00	1,500.00
01.401.353	Insurance Surety & Fidelity	1,250.00		1,250.00	100.00	0.00	1,250.00
01.401.420	Dues, Subscriptions & Member	3,000.00		3,600.50	120.02	600.50-	2,738.00
01.401.460	Meetings and Conferences	1,000.00	72.36	1,182.94	118.29	182.94-	291.00-
01.402.110	Finance Director Salary	113,097.00	8,699.76	54,373.49	48.08	58,723.51	54,872.92
01.402.112	Finance Staff Salaries	96,869.00	6,008.38	45,072.77	46.53	51,796.23	47,924.77
01.402.192	FICA	16,062.00	1,113.66	7,798.07	48.55	8,263.93	7,800.60
01.402.196	Health Insurance Premiums	40,209.00	192.30	18,897.61	47.00	21,311.39	15,276.86
01.402.198	Life, AD&D & LTD Premiums	1,416.00	100.12	687.87	48.58	728.13	600.72
01.402.199	Dental and Vision Premiums	5,368.00	54.17	2,576.17	47.99	2,791.83	2,440.50

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.402.260	Minor Office Equipment	800.00				800.00	760.00
01.402.311	Auditing Services	20,000.00		10,200.00	51.00	9,800.00	9,700.00
01.402.353	Finance Insurance Surety & Fi	1,250.00				1,250.00	
01.402.420	Dues, Subscriptions & Member	150.00		169.70	113.13	19.70-	110.25
01.402.460	Meetings & Conferences	1,500.00		1,023.82	68.25	476.18	1,697.02
01.403.105	Tax Collector Wages	26,168.00	1,632.00	24,912.00	95.20	1,256.00	24,952.00
01.403.116	Earned Income Tax Collection	24,000.00	2,209.44	13,369.36	55.71	10,630.64	13,042.36
01.403.117	Local Service Tax Collection C	1,800.00	10.05	863.86	47.99	936.14	888.28
01.403.192	FICA	2,002.00	124.86	1,952.90	97.55	49.10	1,908.84
01.403.215	Postage	1,000.00		860.82	86.08	139.18	1,007.10
01.403.342	Printing	700.00		526.88	75.27	173.12	518.31
01.403.353	Tax Collector Public Official Bo	250.00				250.00	
01.404.310	Solicitor Professional Services	45,000.00	5,344.00	27,448.00	61.00	17,552.00	21,656.40
01.405.112	Administrative Staff Salaries	66,189.00	5,091.52	31,358.27	47.38	34,830.73	44,033.42
01.405.190	Medical/Rx Copays	3,250.00	270.83	1,624.98	50.00	1,625.02	1,750.02
01.405.192	FICA	5,063.00	370.70	2,406.34	47.53	2,656.66	3,251.95
01.405.196	Health Insurance Premiums	29,910.00		14,456.44	48.33	15,453.56	17,341.60
01.405.198	Life, AD&D & LTD Premiums	490.00	41.46	248.76	50.77	241.24	248.76
01.405.199	Dental and Vision Premiums	2,379.00	20.83	1,157.76	48.67	1,221.24	1,572.24
01.405.210	Office Supplies	6,000.00	277.20	4,149.55	69.16	1,850.45	3,116.07
01.405.215	Postage	4,000.00	703.29	1,959.05	48.98	2,040.95	2,083.33
01.405.231	Fuel	300.00	0.78-	64.59	21.53	235.41	113.09
01.405.250	Vehicle Maintenance	500.00	143.51	143.51	28.70	356.49	
01.405.260	Minor Office Equipment	500.00		214.98	43.00	285.02	24.38
01.405.321	Telephone	8,000.00		3,169.00	39.61	4,831.00	
01.405.341	Advertising	4,000.00	1,303.82	1,512.58	37.81	2,487.42	2,094.60
01.405.342	Printing and Publications	3,000.00	134.43	5,560.54	185.35	2,560.54-	2,337.44
01.405.343	Ordinance Codification	2,500.00				2,500.00	1,900.00
01.405.420	Dues, Subscriptions & Member	2,000.00	260.00	1,876.00	93.80	124.00	751.00
01.405.450	Contracted Services	20,000.00	1,877.48	16,711.87	83.56	3,288.13	13,066.95
01.405.451	Contracted Payroll Services	13,500.00	1,398.24	7,192.18	53.28	6,307.82	3,884.27
01.405.452	Contracted IT/Networking Serv	20,000.00	2,386.91	15,830.93	79.15	4,169.07	13,354.69
01.405.453	Web Design/Maintenance	2,700.00				2,700.00	
01.405.460	Meetings and Conferences	500.00	174.62	718.81	143.76	218.81-	665.12
01.406.430	Real Estate Taxes	3,100.00		667.18	21.52	2,432.82	667.18
01.406.450	Realtor's Commission	1,900.00	469.98	939.96	49.47	960.04	915.30
01.408.310	Engineering Professional Serv	60,000.00	17,722.82	32,926.57	54.88	27,073.43	22,212.58
01.408.313	Eng - MS4 Compliance	10,000.00		486.00	4.86	9,514.00	1,246.00
01.409.112	Bldg. Maint & Janitor Wages	17,910.00	1,659.96	10,366.92	57.88	7,543.08	8,664.00
01.409.192	FICA	1,370.00				1,370.00	
01.409.250	Repairs and Maintenance Sup	2,500.00	194.63	2,080.24	83.21	419.76	299.01
01.409.362	Gas	350.00	30.86	153.90	43.97	196.10	186.48
01.409.364	Sewer	3,000.00		2,559.15	85.31	440.85	1,049.20
01.409.366	Water	2,500.00		1,107.65	44.31	1,392.35	824.55
01.409.370	Repairs and Maintenance Ser	15,000.00		315.00	2.10	14,685.00	12,519.62
01.409.373	Menlo House - Repairs & Main	1,000.00		19.98	2.00	980.02	

Statement of Revenues & Expenditures

BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.409.374	Elevator Repairs & Maintenanc	5,000.00		925.35	18.51	4,074.65	2,097.09
01.409.450	Contracted Services	20,000.00	6,515.65	12,828.63	64.14	7,171.37	9,696.14
01.410.110	Chief Salary	150,800.00	11,600.00	72,500.00	48.08	78,300.00	72,446.68
01.410.112	Janitor Salary	17,910.00	1,659.96	10,492.20	58.58	7,417.80	8,375.20
01.410.115	P/T Commty. Relations Sepcia	72,092.00	5,545.60	34,382.72	47.69	37,709.28	3,230.40
01.410.120	Administrative Salaries	117,414.00	9,031.85	56,449.43	48.08	60,964.57	55,343.74
01.410.140	Police Wages	1,995,553.00	150,687.08	930,091.11	46.61	1,065,461.89	861,446.02
01.410.150	Crossing Guard Wages	85,262.00	3,347.94	45,211.05	53.03	40,050.95	46,914.75
01.410.172	Police Holiday Pay	126,606.00		62,154.04	49.09	64,451.96	56,245.07
01.410.179	Police Longevity Pay	82,881.00		36,444.00	43.97	46,437.00	34,183.00
01.410.180	Overtime Pay	100,000.00	6,595.21	30,312.62	30.31	69,687.38	77,084.41
01.410.181	Overtime Pay-Special Events	15,000.00	1,547.18	1,776.58	11.84	13,223.42	6,913.65
01.410.183	Comp Time	20,000.00	2,060.06	24,251.91	121.26	4,251.91-	18,777.10
01.410.185	Police Overtime - Reimbursabl			886.43		886.43-	510.79
01.410.187	Stand-by Time	1,500.00				1,500.00	877.78
01.410.188	Education Incentive	5,700.00	350.00	1,900.00	33.33	3,800.00	1,550.00
01.410.190	Medical/Rx Copays	1,500.00	125.00	750.00	50.00	750.00	399.31
01.410.192	FICA	213,054.00	14,498.47	107,188.44	50.31	105,865.56	94,279.84
01.410.194	Unemployment Compensation	3,000.00				3,000.00	
01.410.195	Worker's Comp Insurance Pre	83,966.00		38,429.32	45.77	45,536.68	52,735.86
01.410.196	Health Insurance Premiums	815,074.00	2,384.62	402,912.92	49.43	412,161.08	313,127.99
01.410.197	Defined Benefit (PMRS)-MMO	619,236.00				619,236.00	
01.410.198	Life, AD&D, & LTD Premiums	19,558.00	1,589.44	9,538.89	48.77	10,019.11	8,490.78
01.410.199	Dental and Vision Premiums	46,892.00	458.33	21,420.84	45.68	25,471.16	18,732.78
01.410.210	Office Supplies	6,500.00	210.09	2,771.77	42.64	3,728.23	1,695.15
01.410.215	Postage	600.00	49.51	286.49	47.75	313.51	344.29
01.410.231	Fuel	35,000.00	2,374.81	12,159.02	34.74	22,840.98	13,336.75
01.410.238	Uniform Purchases	17,000.00	260.31	3,477.20	20.45	13,522.80	8,862.93
01.410.239	Uniform Cleaning	4,500.00	282.69	1,674.09	37.20	2,825.91	1,827.56
01.410.240	Patrol Supplies	4,000.00		724.82	18.12	3,275.18	2,510.38
01.410.241	Traffic Safety Supplies	1,000.00		449.37	44.94	550.63	1,127.96
01.410.242	Materials and Supplies	400.00		23.86	5.97	376.14	65.08
01.410.243	Investigative Supplies	7,000.00	164.65	8,957.12	127.96	1,957.12-	4,893.49
01.410.245	Special Patrol Operations	4,500.00		4,952.50	110.06	452.50-	3,269.37
01.410.246	Civil Service Implementation	1,000.00				1,000.00	2,128.03
01.410.247	Crime Prevention Supplies	2,500.00	847.50	2,486.09	99.44	13.91	
01.410.248	Ammunition	8,000.00		640.00	8.00	7,360.00	
01.410.249	Accreditation Costs	10,000.00		2,218.75	22.19	7,781.25	3,706.34
01.410.250	K-9 Food, Vet & Other	500.00				500.00	118.98
01.410.251	Vehicle Parts	500.00	343.18	343.18	68.64	156.82	279.80
01.410.252	Office Equipment Maintenance	3,000.00	394.29	2,137.98	71.27	862.02	1,301.15
01.410.254	Tires	2,500.00		244.89	9.80	2,255.11	
01.410.260	Speed Device Calibration	1,600.00	187.00	542.00	33.88	1,058.00	201.00
01.410.314	Labor Relations/Legal Expense	5,000.00	80.00	1,184.00	23.68	3,816.00	
01.410.321	Telephone	7,600.00	372.68	2,219.64	29.21	5,380.36	211.99
01.410.324	Wireless Telephones	5,500.00		1,507.14	27.40	3,992.86	1,855.12

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.410.325	Mobile Data Terminals Expens	5,000.00		2,641.42	52.83	2,358.58	2,153.09
01.410.326	Radio Purchases	4,600.00		2,100.00	45.65	2,500.00	2,134.98
01.410.327	Radio Equipment Maintenance	500.00				500.00	
01.410.342	Printing and Publications	600.00		513.00	85.50	87.00	175.00
01.410.350	Insurance - Property & Liability	97,046.00		45,511.27	46.90	51,534.73	48,829.50
01.410.364	Sewer	700.00		173.20	24.74	526.80	168.00
01.410.366	Water	600.00		168.40	28.07	431.60	166.40
01.410.373	Building Repairs & Maintenanc	10,200.00	1,496.88	8,799.05	86.27	1,400.95	7,638.38
01.410.420	Dues, Subscriptions & Member	2,500.00		860.00	34.40	1,640.00	3,054.00
01.410.421	Training	15,000.00	1,607.20	5,391.63	35.94	9,608.37	6,643.96
01.410.450	Contracted Services	5,000.00	343.15	2,297.54	45.95	2,702.46	4,255.38
01.410.451	Contracted Maintenance & Re	18,000.00	4,410.10	14,452.71	80.29	3,547.29	12,346.41
01.410.452	Contracted Services-IT	13,500.00	1,724.57	7,304.76	54.11	6,195.24	7,665.18
01.410.454	Software/Hardware Maintenanc	14,800.00		10,764.87	72.74	4,035.13	11,918.54
01.410.480	Other Services	400.00		111.64	27.91	288.36	
01.410.534	Live Scan Expenses - Other Pc	13,500.00		19,555.61	144.86	6,055.61-	11,890.57
01.410.535	Photo Image/Live Scan - Perk					0.00	5,412.06
01.410.750	Major Equipment	2,500.00				2,500.00	
01.411.354	Fire Company Insurance	54,000.00		42,718.92	79.11	11,281.08	1,000.00
01.411.366	Fire Hydrants	48,800.00	3,655.32	19,943.65	40.87	28,856.35	19,874.65
01.411.530	Volunteer Fire Relief Disbursen	60,000.00				60,000.00	
01.413.300	UCC Fees	700.00				700.00	360.00
01.413.310	Code Enforcement Services	60,000.00	5,193.40	32,836.88	54.73	27,163.12	14,464.50
01.414.112	Planning and Zoning Clerical	80,912.00	4,413.28	34,404.88	42.52	46,507.12	38,336.97
01.414.192	FICA	6,190.00	312.96	2,570.19	41.52	3,619.81	2,787.13
01.414.196	Health Insurance Premiums	43,341.00		20,525.45	47.36	22,815.55	20,035.18
01.414.198	Life, AD&D & LTD Premiums	562.00	15.96	153.81	27.37	408.19	130.43
01.414.199	Dental and Vision Premiums	2,786.00	29.17	1,331.55	47.79	1,454.45	1,329.88
01.414.215	Postage	1,200.00	12.14	398.01	33.17	801.99	522.46
01.414.314	Legal Services	13,000.00	813.50	2,061.09	15.85	10,938.91	3,120.35
01.414.317	Stenographer Fees	1,500.00		180.00	12.00	1,320.00	360.00
01.414.341	Advertising	3,000.00	307.66	814.50	27.15	2,185.50	1,234.27
01.414.342	Printing and Publications	500.00				500.00	18.71
01.414.420	Dues, Subscriptions and Membr	300.00	8.50	421.00	140.33	121.00-	252.24
01.414.450	Contracted Services-Planning	20,000.00	585.79	3,815.28	19.08	16,184.72	9,221.98
01.414.451	Contracted Services	15,100.00	183.15	47.85-	-0.32	15,147.85	2,993.50
01.414.460	Meetings and Conferences	1,500.00		370.00	24.67	1,130.00	1,750.52
01.415.150	Emergency Management	3,000.00	750.00	1,500.00	50.00	1,500.00	1,500.00
01.415.192	FICA	200.00	57.37	114.75	57.38	85.25	114.76
01.415.210	Supplies	100.00				100.00	
01.415.460	Meetings & Conferences	750.00		60.00	8.00	690.00	60.00
01.432.112	Winter Maintenance Wages	16,694.00		16,553.94	99.16	140.06	16,494.39
01.432.192	FICA	1,277.00		900.08	70.48	376.92	816.78
01.432.245	Salt	40,000.00		56,171.90	140.43	16,171.90-	39,327.50
01.432.250	Repair and Maintenance	5,000.00		920.12	18.40	4,079.88	1,510.73
01.432.420	Dues, Subscriptions and Membr	200.00				200.00	

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.432.454	Contracted Snow Removal To	2,000.00				2,000.00	
01.432.700	Snow Equipment-Capital Purc					0.00	6,722.00
01.433.112	Traffic Control Wages	8,757.00	243.04	381.92	4.36	8,375.08	604.73
01.433.192	FICA	670.00	18.26	28.71	4.29	641.29	39.21
01.433.245	Materials and Supplies	4,000.00		2,112.50	52.81	1,887.50	410.21
01.433.253	Traffic Signal Maintenance	5,000.00	989.99	2,057.91	41.16	2,942.09	
01.438.110	Public Works Director Salary	58,153.00	4,473.40	27,347.86	47.03	30,805.14	44,109.00
01.438.112	Public Works Crew Wages	218,338.00	14,604.51	94,663.69	43.36	123,674.31	89,323.79
01.438.179	Longevity - Hourly	9,600.00	400.00	2,000.00	20.83	7,600.00	2,000.00
01.438.190	Medical/Prescription Co-pays	4,500.00	375.00	2,250.00	50.00	2,250.00	2,250.00
01.438.192	FICA	21,886.00	2,183.81	16,568.99	75.71	5,317.01	17,091.83
01.438.196	Health Insurance Premiums	208,630.00	1,466.98	93,972.80	45.04	114,657.20	149,916.96
01.438.198	Life, AD&D & LTD Premiums	4,656.00	414.51	2,386.08	51.25	2,269.92	3,934.38
01.438.199	Dental and Vision Premiums	15,005.00	146.67	6,100.91	40.66	8,904.09	10,379.70
01.438.215	Postage	400.00	14.49	146.56	36.64	253.44	62.61
01.438.220	Operating Supplies	1,500.00	699.06	914.84	60.99	585.16	96.80
01.438.230	Hardware and Supplies	8,000.00	709.80	5,806.23	72.58	2,193.77	6,118.37
01.438.238	Clothing and Uniforms	13,000.00	419.60	6,826.01	52.51	6,173.99	5,134.46
01.438.245	Road Materials	4,100.00	166.50	1,637.60	39.94	2,462.40	3,253.50
01.438.251	Tires	3,300.00		1,147.51	34.77	2,152.49	
01.438.260	Small Tools and Minor Equipm	2,500.00	60.04-	2,408.50	96.34	91.50	1,318.04
01.438.300	Sweep Streets	8,000.00		7,290.00	91.13	710.00	7,425.00
01.438.321	Telephone	2,219.00				2,219.00	219.22
01.438.324	Wireless Telephones	1,500.00		425.70	28.38	1,074.30	550.53
01.438.362	Fuel	20,000.00	1,410.96	7,279.30	36.40	12,720.70	9,456.69
01.438.370	Repairs and Maintenance Ser	20,000.00	873.15	29,390.58	146.95	9,390.58-	17,999.12
01.438.371	Storm Sewers, Sumps and Inl	4,000.00	130.68	196.58	4.91	3,803.42	8,702.26
01.438.420	Dues, Subscriptions & Member	300.00	35.00-	10.00	3.33	290.00	45.00
01.438.465	Continuing Education	6,000.00	6,300.00	6,777.61	112.96	777.61-	5,398.50
01.438.480	Miscellaneous Expenses	5,328.00	836.08	4,929.00	92.51	399.00	5,048.60
01.445.380	Parking Lot Lease 8th & Marke	9,228.00	769.00	4,614.00	50.00	4,614.00	4,436.52
01.451.110	Park & Recreation Director Sal	81,778.00	6,290.66	39,316.63	48.08	42,461.37	39,677.50
01.451.115	Wages - Events	51,669.00	4,187.60	16,368.26	31.68	35,300.74	31,861.67
01.451.116	P/T Wages - Programs	2,000.00	344.25	2,095.25	104.76	95.25-	
01.451.118	Wages- Adult Basketball Lea	7,200.00	1,500.00	1,500.00	20.83	5,700.00	
01.451.192	FICA	10,913.00	784.42	4,343.86	39.80	6,569.14	5,285.63
01.451.196	Health Insurance Premiums	41,395.00	192.30	21,257.63	51.35	20,137.37	25,766.68
01.451.198	Life, AD&D & LTD Premiums	910.00	58.49	350.94	38.56	559.06	814.44
01.451.199	Dental and Vision Premiums	2,736.00	23.96	1,331.52	48.67	1,404.48	2,769.42
01.451.210	Office Supplies	2,300.00		88.38	3.84	2,211.62	65.36
01.451.215	Postage	2,000.00	663.19	1,924.19	96.21	75.81	1,112.85
01.451.220	Operating Supplies	1,000.00				1,000.00	100.00
01.451.247	Program Costs	42,000.00	3,138.80	4,327.30	10.30	37,672.70	5,172.10
01.451.324	Wireless Telephone	1,400.00		638.55	45.61	761.45	675.52
01.451.341	Advertising	500.00		834.02	166.80	334.02-	580.40
01.451.342	Printing	500.00	45.00	45.00	9.00	455.00	45.00

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 01 (General Fund) to FUND equals 01 (General Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
01.451.420	Dues, Subscriptions and Membr	1,400.00		497.84	35.56	902.16	255.25
01.451.450	Contracted Services	2,000.00	216.44	1,298.64	64.93	701.36	1,247.92
01.451.460	Meetings and Conferences	2,000.00	23.20	689.09	34.45	1,310.91	1,454.47
01.451.500	Flags-Memorial & Other	2,000.00		2,011.84	100.59	11.84-	1,762.06
01.451.501	Special Events	45,000.00	15,429.40	17,614.40	39.14	27,385.60	3,951.21
01.451.520	Basketball-Youth & Adult	2,000.00	1,827.00	1,827.00	91.35	173.00	
01.451.541	Community Day Contribution	500.00				500.00	
01.451.550	Dog Park	500.00				500.00	
01.454.112	Park Wages	225,662.00	19,120.73	88,754.16	39.33	136,907.84	114,016.19
01.454.192	FICA	17,263.00	1,245.90	5,859.60	33.94	11,403.40	7,076.16
01.454.220	Perkasie Garden Club Supplie	1,000.00				1,000.00	844.06
01.454.221	Infield Mix Supplies	2,500.00				2,500.00	2,365.31
01.454.246	Wood Chips / Mulch Playgrou	8,000.00	448.00	1,992.00	24.90	6,008.00	9,341.20
01.454.250	Repair and Maintenance Suppl	10,000.00	213.20	633.15	6.33	9,366.85	5,469.92
01.454.260	Small Tools and Minor Equipm	2,000.00	87.66	1,744.61	87.23	255.39	989.80
01.454.362	Fuel	10,000.00	314.01	844.84	8.45	9,155.16	785.18
01.454.364	Sewer	1,000.00		273.45	27.35	726.55	286.50
01.454.366	Water	1,200.00		447.60	37.30	752.40	439.00
01.454.370	Repairs and Maintenance Ser	5,000.00	3,146.09	7,245.09	144.90	2,245.09-	2,868.66
01.454.371	Plumbing and Carpentry	2,000.00	22.31	862.12	43.11	1,137.88	1,589.41
01.454.372	Detention Basin Maintenance	3,000.00				3,000.00	
01.454.373	Building Repairs and Maintena	2,000.00		255.00	12.75	1,745.00	582.46
01.454.374	Equipment and Playground Re	2,300.00		1,047.95	45.56	1,252.05	
01.454.375	Skate Park Repairs & Mainten	1,500.00				1,500.00	
01.454.420	Dues, Subscriptions and Membr	300.00				300.00	
01.454.450	Contracted Services	20,000.00	8,395.00	13,195.00	65.98	6,805.00	11,698.50
01.454.451	Tree, Shrub & Landscaping Re	2,000.00				2,000.00	47.52
01.486.351	Insurance - Property & Liability	70,204.00		32,923.05	46.90	37,280.95	34,180.66
01.486.354	Worker's Compensation Non U	60,742.00		27,799.93	45.77	32,942.07	29,297.70
01.487.193	Defined Contribution (401a) - N	37,504.00	2,968.83	19,911.14	53.09	17,592.86	18,282.00
01.487.194	Unemployment Compensation	2,500.00		8,423.19	336.93	5,923.19-	
01.487.197	Defined Benefit (PMRS) - Non	121,998.00				121,998.00	
01.487.220	Appreciation Night	5,000.00		15.00	0.30	4,985.00	
01.491.100	DVIT Risk Control Grant			10,120.99		10,120.99-	
01.491.391	Bank Fees	5,500.00	16.11-	1,102.00	20.04	4,398.00	6,835.66
Total Expenditures		8,072,971.00	439,982.35	3,523,398.96	43.64	4,549,572.04	3,364,778.37
Excess of Revenues over Expenditures for Report		353,158.00	244,148.89	390,909.12		9,061,392.96	200,104.60

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 04 (Menlo Pool Fund) to FUND equals 04 (Menlo Pool Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
04.341.000	Interest Earnings	900.00	161.59	489.21	54.36	410.79	549.35
04.354.100	DVIT Risk Control Grant		1,132.43	1,132.43		1,132.43-	953.49
04.367.110	Season Pool Tickets	330,000.00	59,305.52	328,915.02	99.67	1,084.98	310,030.80
04.367.111	Daily Pool Admissions	90,000.00	32,752.00	33,306.00	37.01	56,694.00	25,017.00
04.367.112	Pool Program Revenue	40,000.00	8,997.00	25,529.00	63.82	14,471.00	24,318.75
04.367.113	2nd Street Daily Pool Admissio					0.00	12.00
04.367.114	Special Event Rentals	12,000.00	757.00	2,217.00	18.48	9,783.00	496.50
04.367.130	Concession Stand Revenue	4,100.00				4,100.00	2,460.00
04.380.000	Misc Revenue-Goggles & Othe	1,500.00	285.25	285.25	19.02	1,214.75	800.00
04.387.000	Donations	2,200.00	225.00	1,575.00	71.59	625.00	1,000.00
04.392.307	Transfer from Electric	72,426.00				72,426.00	
Total Revenues		553,126.00	103,615.79	393,448.91	71.13	159,677.09	365,637.89
04.452.110	Park and Recreation Director S	9,086.00	698.96	4,368.49	48.08	4,717.51	3,958.40
04.452.115	Pool Staff Wages	273,706.00	33,245.32	67,977.84	24.84	205,728.16	81,101.00
04.452.116	Staff Retention	2,850.00				2,850.00	2,700.00
04.452.192	FICA	21,886.00	2,578.84	5,366.29	24.52	16,519.71	7,012.99
04.452.196	Health Insurance Premiums	6,314.00		1,843.52	29.20	4,470.48	
04.452.198	Life, AD&D, & LTD Premiums	442.00	38.42	192.10	43.46	249.90	
04.452.199	Dental & Vision Premiums	2,617.00	22.92	1,273.50	48.66	1,343.50	
04.452.210	Office Supplies	250.00		80.71	32.28	169.29	
04.452.215	Postage	200.00	11.04	84.87	42.44	115.13	78.46
04.452.222	Chemicals	53,000.00	485.96	18,934.76	35.73	34,065.24	27,391.94
04.452.238	Clothing and Uniforms	3,000.00	202.00	1,467.00	48.90	1,533.00	3,314.78
04.452.247	Operating Supplies	4,000.00	1,167.96	1,167.96	29.20	2,832.04	1,079.28
04.452.250	Repair & Maintenance Service	8,866.00	1,166.85	2,927.88	33.02	5,938.12	5,049.76
04.452.260	Minor Equipment	5,000.00	936.65	3,148.34	62.97	1,851.66	4,392.76
04.452.300	Special Events	3,200.00	40.00-	40.00-	-1.25	3,240.00	
04.452.321	Telephone	2,000.00	208.42	1,142.38	57.12	857.62	1,038.53
04.452.341	Advertising	5,500.00	90.03	4,181.00	76.02	1,319.00	5,027.62
04.452.364	Sewer	15,000.00		561.00	3.74	14,439.00	563.00
04.452.366	Water	9,500.00		924.00	9.73	8,576.00	938.00
04.452.370	Building Repairs & Maintenanc	2,000.00	121.21	2,026.04	101.30	26.04-	1,137.50
04.452.374	Equipment Repairs	10,000.00	31.46	1,640.44	16.40	8,359.56	8,062.50
04.452.390	Bank Fees	11,500.00	1,405.86	6,204.22	53.95	5,295.78	15,009.64
04.452.420	Dues, Subscriptions & Member	850.00		500.00	58.82	350.00	935.00
04.452.450	Contracted Services	20,000.00	5,421.44	12,982.54	64.91	7,017.46	12,834.75
04.452.460	Meetings and Conferences	800.00		93.48	11.69	706.52	455.00
04.452.540	Contribution to Pennridge Gato	8,000.00				8,000.00	
04.453.260	Minor Equipment			851.98		851.98-	
04.453.370	Building Repairs & Maintenanc	500.00				500.00	
04.454.112	Wages- Public Works	5,000.00	781.20	7,060.93	141.22	2,060.93-	4,698.11
04.454.192	FICA - Public Works	383.00	59.07	487.17	127.20	104.17-	356.69
04.455.112	Wages- Electric	1,000.00		537.60	53.76	462.40	313.08
04.455.192	FICA - Electric	77.00		40.59	52.71	36.41	22.97
04.491.100	DVIT Risk Control Grant Expen			2,482.43		2,482.43-	940.78

Statement of Revenues & Expenditures

BOROUGH OF PERKASIE
For Period Ending 06/30/2025

Selecting on FUND equals 04 (Menlo Pool Fund) to FUND equals 04 (Menlo Pool Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
Total Expenditures		486,527.00	48,633.61	150,509.06	30.94	336,017.94	188,412.54
Excess of Revenues over Expenditures for Report		66,599.00	54,982.18	242,939.85		495,695.03	177,225.35

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 05 (Refuse Fund) to FUND equals 05 (Refuse Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
05.341.000	Interest Earnings	4,000.00	328.83	1,699.67	42.49	2,300.33	1,958.61
05.354.150	Recycling Performance Grant	24,000.00				24,000.00	
05.364.200	Trash Bag Sales	279,859.00	31,634.00	122,217.50	43.67	157,641.50	105,775.75
05.364.300	Refuse Sticker Sales	2,500.00	40.00	810.00	32.40	1,690.00	570.00
05.364.400	Annual Trash Fee	162,000.00	509.41-	160,498.84	99.07	1,501.16	158,875.26
05.364.401	Trash Fee - Late Penalty	1,000.00		925.10	92.51	74.90	1,053.79
05.364.405	Trash Fee-Toters	594,180.00	12,069.00	306,072.41	51.51	288,107.59	271,493.89
05.364.500	Sale of Recyclable Material	15,000.00	61.10	2,279.99	15.20	12,720.01	6,475.41
05.380.000	Miscellaneous Revenue	1,500.00	100.09	540.09	36.01	959.91	260.00
05.390.300	Insurance -RSF Credits & Divi	9,114.00				9,114.00	
05.391.100	Sale of General Fixed Assets					0.00	2,600.00
Total Revenues		1,093,153.00	43,723.61	595,043.60	54.43	498,109.40	549,062.71
05.426.112	Recycling Wages	112,636.00	7,685.38	51,008.83	45.29	61,627.17	51,106.67
05.426.192	FICA Recycling	8,617.00	579.99	4,337.79	50.34	4,279.21	2,343.10
05.426.244	Materials and Supplies	500.00				500.00	
05.426.367	Disposal Fees - Recycling	55,195.00	3,425.00	22,189.00	40.20	33,006.00	19,332.65
05.426.450	Contracted Services	4,000.00				4,000.00	2,000.00
05.427.110	Public Works Director Salary	32,711.00	2,516.21	15,079.11	46.10	17,631.89	
05.427.112	Refuse Wages	130,467.00	10,201.05	68,544.50	52.54	61,922.50	59,456.52
05.427.192	FICA - Refuse	12,483.00	941.50	5,438.70	43.57	7,044.30	2,740.50
05.427.196	Health Insurance Premiums	117,354.00		47,558.54	40.53	69,795.46	
05.427.198	Life, AD&D, & LTD Premiums	2,619.00	233.15	1,127.89	43.07	1,491.11	
05.427.199	Dental & Vision Premiums	8,440.00	82.50	3,431.70	40.66	5,008.30	
05.427.215	Postage	3,000.00	1,313.27	2,151.52	71.72	848.48	2,224.76
05.427.227	Bag Purchases	24,000.00		18,965.20	79.02	5,034.80	2,340.00
05.427.231	Fuel	14,000.00	1,809.35	8,400.88	60.01	5,599.12	10,473.37
05.427.244	Materials and Supplies	500.00		60.00	12.00	440.00	
05.427.250	Repair and Maintenance Servi	27,500.00	578.49	47,532.28	172.84	20,032.28-	15,384.41
05.427.251	Tires	1,500.00				1,500.00	1,310.00
05.427.301	Contracted Services-Invoicing !	1,500.00		1,259.36	83.96	240.64	1,291.07
05.427.342	Printing and Publications	2,500.00		3,875.26	155.01	1,375.26-	2,254.74
05.427.367	Disposal Fees - Refuse	247,200.00	19,480.85	105,761.32	42.78	141,438.68	97,452.17
05.427.390	Bank, Cr Card & On-Line Bill P	7,000.00	213.89	5,716.71	81.67	1,283.29	5,763.88
05.428.112	Leaf Collection Wages	33,702.00		1,027.36	3.05	32,674.64	1,994.72
05.428.117	Yard Waste Collection Wages-	10,300.00	752.64	8,064.00	78.29	2,236.00	8,140.08
05.428.192	FICA - Leaf	3,366.00	56.42	685.59	20.37	2,680.41	631.52
05.428.244	Materials and Supplies	500.00				500.00	
05.428.250	Repair and Maintenance Suppl	3,000.00		1,136.75	37.89	1,863.25	330.65
05.428.251	Tires	500.00				500.00	
05.428.368	Disposal Fees - Yard Waste	20,000.00	2,966.13	12,006.12	60.03	7,993.88	10,395.70
05.492.300	Transfer to Capital Fund	200,000.00	50,000.00	100,000.00	50.00	100,000.00	206,250.00
Total Expenditures		1,085,090.00	102,835.82	535,358.41	49.34	549,731.59	503,216.51
Excess of Revenues over Expenditures for Report		8,063.00	59,112.21-	59,685.19		1,047,840.99	45,846.20

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BOROUGH OF PERKASIE

For Period Ending 06/30/2025

Selecting on FUND equals 07 (Electric Fund) to FUND equals 07 (Electric Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
07.341.000	Interest Earnings	35,000.00	3,595.86	18,897.65	53.99	16,102.35	15,523.90
07.355.050	Gen Muni Pension System-St	44,250.00				44,250.00	
07.360.750	Installation of Electric Services			5,250.00		5,250.00-	10,500.00
07.372.400	Sales of Electricity	10,964,095.00	816,184.88	5,307,346.13	48.41	5,656,748.87	4,540,496.85
07.372.510	Late Fees	64,000.00	5,182.90	40,356.53	63.06	23,643.47	32,155.83
07.372.520	Miscellaneous Service Revenue	15,000.00	1,095.00	8,064.68	53.76	6,935.32	6,829.88
07.372.600	Verizon - Pole Replacements	25,000.00				25,000.00	0.01-
07.372.610	Comcast - Pole Attachments	31,500.00				31,500.00	32,760.00
07.372.620	Synesis-Pole Attachments & A	8,000.00				8,000.00	7,560.00
07.389.000	Misc Rev - Sales Tax, Scrap, C	20,000.00	25.00	556.19	2.78	19,443.81	4,684.80
07.390.300	Insurance-(RSF) Credits & Div	18,547.00		3,426.90	18.48	15,120.10	4,534.56
07.391.200	Accident & Insurance Reimburs			20,557.52		20,557.52-	26,775.32
07.399.000	Fund Balance - Use in Current	153,000.00				153,000.00	
Total Revenues		11,378,392.00	826,083.64	5,404,455.60	47.50	5,973,936.40	4,681,821.13
07.434.220	Materials & Supplies					0.00	17,633.56
07.442.110	Electric Director Salary	133,515.00	10,147.34	63,420.81	47.50	70,094.19	63,084.57
07.442.112	Electric Department Wages	566,176.00	73,980.16	296,252.58	52.33	269,923.42	261,581.96
07.442.114	Electric Clerical Salary	57,013.00	4,385.60	27,410.02	48.08	29,602.98	27,250.70
07.442.179	Longevity - Hourly	6,000.00	2,800.00	5,200.00	86.67	800.00	5,200.00
07.442.180	Electric Overtime	27,000.00	1,007.85	3,997.37	14.81	23,002.63	8,317.07
07.442.183	Electric Overtime-Line Mainten.	10,000.00		1,376.42	13.76	8,623.58	2,365.91
07.442.185	Electric Overtime-On-Call	27,000.00	2,283.42	14,259.21	52.81	12,740.79	14,061.38
07.442.190	Medical/Prescription Co-pays	2,250.00	187.50	1,125.00	50.00	1,125.00	1,249.98
07.442.192	FICA	63,243.00	7,243.22	32,614.29	51.57	30,628.71	29,452.07
07.442.193	Defined Contribution (401a) - N	6,501.00	450.24	2,944.36	45.29	3,556.64	2,959.47
07.442.194	Unemployment Compensation	1,500.00		1,500.00	100.00	0.00	
07.442.196	Health Insurance Premiums	178,602.00	1,472.52	85,615.37	47.94	92,986.63	77,640.08
07.442.197	Defined Benefit (PMRS) - MM	71,165.00				71,165.00	
07.442.198	Life, AD&D & LTD Premiums	5,724.00	476.99	2,900.36	50.67	2,823.64	2,972.91
07.442.199	Dental and Vision Premiums	15,292.00	145.83	6,781.38	44.35	8,510.62	6,781.38
07.442.200	Office Supplies	1,500.00	126.98	654.47	43.63	845.53	626.36
07.442.215	Postage	22,000.00	2,933.02	15,443.73	70.20	6,556.27	10,111.62
07.442.220	Utility Poles	13,000.00		12,090.15	93.00	909.85	8,873.90
07.442.230	Transformers	100,000.00				100,000.00	2,303.75
07.442.231	Fuel	9,000.00	451.07	2,801.73	31.13	6,198.27	4,517.29
07.442.238	Clothing & Uniforms	15,000.00	1,478.62	7,070.90	47.14	7,929.10	6,505.51
07.442.239	Wire	25,000.00				25,000.00	
07.442.240	Marketing Supplies	1,000.00		404.21	40.42	595.79	
07.442.245	Operating Supplies	3,000.00	303.98	784.63	26.15	2,215.37	5.97
07.442.250	Repair and Maintenance Suppl	10,000.00		11,693.64	116.94	1,693.64-	1,959.28
07.442.251	Tires	1,000.00				1,000.00	
07.442.252	Repair and Maint. Supplies - O	100.00	20.77	20.77	20.77	79.23	
07.442.253	Hardware & Parts - Line Equip	70,000.00	8,473.06	20,744.29	29.63	49,255.71	12,405.17
07.442.260	Small Tools & Minor Equipmen	10,000.00		6,189.94	61.90	3,810.06	1,445.91
07.442.300	Thermovision	1,000.00				1,000.00	

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 07 (Electric Fund) to FUND equals 07 (Electric Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
07.442.301	Contracted Services-Invoicing &	15,000.00		15,084.98	100.57	84.98-	13,537.01
07.442.310	Electric Building Janitorial Serv	4,000.00	250.56	1,315.44	32.89	2,684.56	836.00
07.442.313	Engineering	20,000.00				20,000.00	
07.442.314	Legal	500.00				500.00	
07.442.317	Safety Testing	6,000.00	1,718.21	6,533.96	108.90	533.96-	4,853.79
07.442.321	Telephone	3,000.00		1,218.65	40.62	1,781.35	2,110.15
07.442.324	Wireless Telephones	3,100.00		335.66	10.83	2,764.34	1,554.83
07.442.341	Advertising	500.00				500.00	
07.442.342	Printing	7,000.00		1,520.37	21.72	5,479.63	4,452.04
07.442.352	Insurance - Property & Liability	39,231.00		18,398.18	46.90	20,832.82	14,648.84
07.442.354	Worker's Compensation Insu	33,944.00		15,535.25	45.77	18,408.75	7,060.44
07.442.361	Power Purchases	5,357,189.00	314,763.57	1,990,817.44	37.16	3,366,371.56	1,781,942.07
07.442.362	PA Peaking Project	81,680.00	694.06	8,669.25	10.61	73,010.75	85,734.60
07.442.364	Sewer	500.00	155.40	284.10	56.82	215.90	253.50
07.442.366	Water	600.00	159.30	304.95	50.83	295.05	289.80
07.442.370	Repair and Maintenance Servi	12,000.00		3,612.10	30.10	8,387.90	5,860.19
07.442.374	Meter Equipment	13,000.00	695.51	3,166.35	24.36	9,833.65	5,980.00
07.442.390	Bank, Cr Card & On-Line Bill P	32,000.00	15,177.75	43,316.89	135.37	11,316.89-	34,639.42
07.442.391	Interest Expense	800.00	153.36	1,316.13	164.52	516.13-	1,792.79
07.442.392	Bad Debt Expense	200.00		2.37-	-1.19	202.37	23.76-
07.442.400	Maintenance & Testing Substa	6,000.00		425.51	7.09	5,574.49	1,436.04
07.442.420	Dues, Subscriptions & Member	22,500.00		21,989.42	97.73	510.58	21,520.00
07.442.430	Gross Receipts Tax	1,800.00		1,603.00	89.06	197.00	1,657.00
07.442.450	Contracted Services	50,000.00	5,768.73	27,924.22	55.85	22,075.78	22,198.57
07.442.452	Contracted Serv.-Line Mainten	25,000.00		7,755.00	31.02	17,245.00	10,400.00
07.442.454	Administrative Charge	130,000.00	32,500.00	65,000.00	50.00	65,000.00	65,000.00
07.442.460	Training & Seminars	12,000.00	2,000.00	3,713.46	30.95	8,286.54	6,233.76
07.442.720	Capital-Improvements-Other	290,000.00		292,667.23	100.92	2,667.23-	
07.442.740	Capital-Mach, Equip & Vehicle	107,000.00				107,000.00	
07.492.010	Transfer to General Fund	2,711,412.00	225,951.00	1,355,706.00	50.00	1,355,706.00	1,052,502.00
07.492.040	Transfer to Menlo Fund	72,246.00				72,246.00	
07.492.300	Transfer to Capital Reserve Fu	474,560.00	237,280.00	355,920.00	75.00	118,640.00	545,000.00
Total Expenditures		10,985,343.00	955,635.62	4,867,426.80	44.31	6,117,916.20	4,260,774.88
Excess of Revenues over Expenditures for Report		393,049.00	129,551.98-	537,028.80		12,091,852.60	421,046.25

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE

For Period Ending 06/30/2025

Selecting on FUND equals 14 (Fire Tax Protection Fund) to FUND equals 14 (Fire Tax Protection Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
14.301.100	Real Estate Taxes - Current Y	142,666.00	7,887.26	133,229.59	93.39	9,436.41	130,583.46
14.301.200	Real Estate Taxes - Prior Year	300.00	178.70	813.26	271.09	513.26-	331.56
14.301.300	Real Estate Taxes- Delinquent		34.43	146.37		146.37-	598.64
14.301.600	Real Estate Taxes - Interim			31.95		31.95-	116.39
14.341.000	Interest Earnings		73.55	169.21		169.21-	169.42
Total Revenues		142,966.00	8,173.94	134,390.38	94.00	8,575.62	131,799.47
14.411.000	Distribution of Tax Receipts to I	142,966.00				142,966.00	141,697.91
Total Expenditures		142,966.00			0.00	142,966.00	141,697.91
Excess of Revenues over Expenditures for Report			8,173.94	134,390.38		151,541.62	9,898.44-

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BOROUGH OF PERKASIE

For Period Ending 06/30/2025

Selecting on FUND equals 15 (Road Improvements Fund) to FUND equals 15 (Road Improvements Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
15.301.100	Real Estate Taxes - Current Y	285,332.00	15,774.41	266,454.81	93.38	18,877.19	261,162.65
15.301.200	Real Estate Taxes - Prior Year	1,000.00	357.39	1,626.63	162.66	626.63-	726.98
15.301.300	Real Estate Taxes- Delinquent	900.00	68.85	292.71	32.52	607.29	739.32
15.301.600	Real Estate Taxes - Interim	2,000.00		63.89	3.19	1,936.11	232.77
15.341.000	Interest Earnings	500.00	164.44	905.00	181.00	405.00-	299.83
Total Revenues		289,732.00	16,365.09	269,343.04	92.96	20,388.96	263,161.55
15.408.310	Associate Engineering	80,000.00	11,886.40	28,172.92	35.22	51,827.08	
15.440.704	Curb, Sidewalk & Handicap Ra	12,000.00	975.58	975.58	8.13	11,024.42	
15.440.705	Road Projects	197,732.00	206,764.20	239,114.68	120.93	41,382.68-	3,841.83
Total Expenditures		289,732.00	219,626.18	268,263.18	92.59	21,468.82	3,841.83
Excess of Revenues over Expenditures for Report			203,261.09-	1,079.86		41,857.78	259,319.72

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Statement of Revenues & Expenditures

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 30 (Capital Fund) to FUND equals 30 (Capital Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
30.341.000	Interest Earnings	19,000.00	912.30	10,243.14	53.91	8,756.86	11,295.08
30.341.040	Sidewalk Interest			180.20		180.20-	
30.351.120	FEMA Reimb - Disaster Relief	343,601.00				343,601.00	
30.354.020	Keystone Historic Preservation	100,000.00				100,000.00	
30.354.022	Cybersecurity Technology Awa					0.00	50,000.00
30.354.036	Kulp Park Rehab - LSA Grant	652,886.00				652,886.00	
30.354.037	Kulp Rehab - DCNR Grant	200,000.00				200,000.00	
30.354.040	Police - LSA Grant	107,000.00				107,000.00	
30.357.020	Visit Bucks Cty. Tourism Grant			243.90-		243.90	
30.359.000	Historical Society Donations	120,000.00				120,000.00	
30.367.100	Park & Rec Fee-In-Lieu-Of	52,500.00		10,500.00	20.00	42,000.00	22,500.00
30.392.050	Transfer from Refuse Fund	200,000.00	50,000.00	100,000.00	50.00	100,000.00	206,250.00
30.392.070	Transfer from Electric Fund	474,560.00	237,280.00	355,920.00	75.00	118,640.00	545,000.00
30.392.350	Transfer from Highway Aid Fun	250,260.00				250,260.00	
30.399.000	Fund Balance - Use in Current	318,742.00				318,742.00	
Total Revenues		2,838,549.00	288,192.30	476,599.44	16.79	2,361,949.56	835,045.08
30.402.390	Bank Fees		50.00	100.00		100.00-	
30.405.700	Computer Upgrade	10,000.00		5,479.00	54.79	4,521.00	1,115.00
30.405.735	Cybersecurity - RMUC Phase I			9,450.48		9,450.48-	
30.408.310	Engineering - Road Projects			3,635.89		3,635.89-	41,646.19
30.410.701	Police Vehicles					0.00	45,340.00
30.410.702	Police Equipment	108,315.00	27,315.88	34,315.88	31.68	73,999.12	
30.410.703	Police Computer Equipment	4,826.00				4,826.00	47,807.00
30.410.704	Police Capital Improvements					0.00	7,167.91
30.439.000	Road Construction Projects - L	250,260.00		2,512.97	1.00	247,747.03	
30.440.700	Public Works Capital Improver	26,985.00		19,770.00	73.26	7,215.00	
30.440.701	Public Works Vehicles	275,800.00		6,944.40	2.52	268,855.60	
30.440.702	Public Works Equipment			2,199.00		2,199.00-	30,327.49
30.440.704	Curb & Sidewalk					0.00	888.46
30.440.705	Road Projects					0.00	81,026.18
30.440.710	Railing & Culverts	88,000.00		4,629.50	5.26	83,370.50	4,806.75
30.440.714	902 Recycling Grant					0.00	217,253.11
30.451.700	Park & Rec-Fee-In-Lieu-Of-PI	45,000.00				45,000.00	6,342.06
30.451.701	Park Capital Improvements	897,994.00		6,419.75	0.71	891,574.25	3,119.91
30.451.702	Multi-Modal Trans-Trail to 9th S		238.00	13,529.63		13,529.63-	10,461.80
30.451.703	Lenape Park Improvments	37,234.00				37,234.00	
30.451.704	LSA - PED Bridge					0.00	73,026.92
30.451.705	Covered Bridge Refurb	563,601.00	33,616.45	104,958.73	18.62	458,642.27	891.40
30.451.706	Visit Bucks Cty. Tourism Grant		26.25	26.25		26.25-	
30.451.707	Community Gardens Land Ac		6,382.77	159,172.72		159,172.72-	
30.451.708	Community Planning Grant		6,643.00	12,322.29		12,322.29-	
30.452.700	Menlo Aquatic Center Capital I	20,750.00		20,750.00	100.00	0.00	
30.458.700	Senior Center Building Fund C	5,000.00				5,000.00	
30.471.000	Debt Service-Principal-Boroug	403,000.00	403,000.00	403,000.00	100.00	0.00	388,000.00
30.472.000	Debt Service Interest - Boroug	14,020.00	1,379.60	8,277.60	59.04	5,742.40	10,718.16

Statement of Revenues & Expenditures

BOROUGH OF PERKASIE
For Period Ending 06/30/2025

Selecting on FUND equals 30 (Capital Fund) to FUND equals 30 (Capital Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
30.499.000	Fund Bal - Reserve for Future -	87,763.00				87,763.00	
Total Expenditures		2,838,548.00	478,651.95	817,494.09	28.80	2,021,053.91	969,938.34
Excess of Revenues over Expenditures for Report		1.00	190,459.65-	340,894.65-		4,383,003.47	134,893.26-

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BOROUGH OF PERKASIE
For Period Ending 06/30/2025

Selecting on FUND equals 35 (Highway Aid Fund) to FUND equals 35 (Highway Aid Fund)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
35.341.000	Interest Earnings	3,500.00		2,733.65	78.10	766.35	3,284.68
35.355.020	State Liquid Fuels Tax	246,000.00		246,585.84	100.24	585.84-	246,229.48
35.355.030	State Road Turnback Payment	760.00		760.00	100.00	0.00	760.00
Total Revenues		250,260.00		250,079.49	99.93	180.51	250,274.16
35.439.000	Road Construction Projects	250,260.00				250,260.00	
Total Expenditures		250,260.00			0.00	250,260.00	
Excess of Revenues over Expenditures for Report				250,079.49		250,440.51	250,274.16

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BOROUGH OF PERKASIE For Period Ending 06/30/2025

Selecting on FUND equals 36 (Fund - 36) to FUND equals 36 (Fund - 36)

ACCOUNT	DESCRIPTION	ANNUAL BUDGET	CURRENT PERIOD	YEAR TO DATE	% USED	BUDGET REMAINING	PRIOR YEAR TO DATE
36.341.000	Interest Earnings		28.85	179.80		179.80-	1,171.11
36.351.022	ARPA Proceeds	55,608.00				55,608.00	
Total Revenues		55,608.00	28.85	179.80	0.32	55,428.20	1,171.11
36.427.702	Public Works Equipment					0.00	59,224.29
36.442.705	Permitting Software	11,900.00				11,900.00	
36.451.701	Parks Capital Improvements	13,248.00				13,248.00	65,189.07
36.451.702	Grant Match - Keystone Comm	30,460.00				30,460.00	
Total Expenditures		55,608.00			0.00	55,608.00	124,413.36
Excess of Revenues over Expenditures for Report			28.85	179.80		111,036.20	123,242.25-



**PERKASIE BOROUGH
BOROUGH ENGINEER STATUS REPORT
FOR OPEN DEVELOPMENT AND MUNICIPAL PROJECTS
AS OF JUNE 29, 2025**

SUBDIVISION AND LAND DEVELOPMENT PROJECTS (ACTIVE)

1. Constitution Square

108 East Walnut Street

- Prepared for & Attended Council Meetings on June 2 & 16, 2025 to provide punch list updates.
- Reviewed the 11th and 12th Submittal Packages and prepared the 11th and 12th Submittal Review Letters dated June 2 and 10, 2025.
- Prepared for and attended Site Meeting on June 24, 2025 with BCCD and Developer to discuss status of project.
- Continued the Site Observation.
- Miscellaneous coordination and correspondence with G&A Staff, Borough Staff and Developer.

2. Pennridge Airport Business Park

1100 North Ridge Road

- The project's 18-month maintenance period expired in June of 2025.

3. Spruce Street Townhouses

W. Spruce Street

- Miscellaneous correspondence with Developer.

4. Spruce Street Redevelopment

601 Spruce Street

- No action has taken place by G&A this month.

5. Glen Enterprises Building Permit

1215 N. Ridge Road

- No action has taken place by G&A this month.

6. Rolftech, LLC Grading Permit

118 S. 2nd Street

- No action has taken place by G&A this month.

7. Perkasio Green Subdivision

Ridge Road (S.R.0563) and Park Avenue (S.R.4052)

- The project's 18-month maintenance period expired in June of 2025.

8. 8th Street Commons (Apartment Building)

N. 8th Street

- No action has taken place by G&A this month.

9. Perry Mill (a.k.a. 8th Street Commons Rowhomes)

N. 8th Street

- Reviewed the As-Constructed Foundation Plan for Lots 22-28 and prepared the As-Constructed Foundation Plan Approval Letter dated June 10, 2025.

- Reviewed the As-Constructed Building Plan for Lots 16 and 19 and prepared the 1st As-Constructed Building Plan Review Letter dated June 16, 2025.
- Continued the Site Observation.
- Miscellaneous coordination with G&A Staff and Developer.

10. 306 N. Fifth Street Redevelopment (a.k.a. Chant Tract)

306 N. 5th Street

- Visited Site on June 5, 2025 to evaluate existing evergreen buffer.
- Reviewed the 4th Submittal Package and prepared the 4th Submittal Review Letter dated June 6, 2025.
- Continued the Site Observation.
- Miscellaneous coordination and correspondence with G&A Staff, Borough Staff, Developer and Design Consultant.

11. Green Ridge Estates East

28 North Ridge Road

- Reviewed the revised As-Built Plan for Lot 5 and prepared the 2nd As-Built Plan Review Letter dated June 23, 2025.
- Continued the Site Observation.
- Miscellaneous coordination with G&A Staff and Home Builder.

12. 124 S. 3rd Street Building Permit

124 S. 3rd Street

- No action has taken place by G&A this month.

13. Restaurant and Beer Garden

606 W. Chestnut Street

- No action has taken place by G&A this month.

14. The Kratz Tract

N. 5th Street & W. Blooming Glen Drive

- No action has taken place by G&A this month.

15. WP Perkasie LLC Conditional Use

N. 5th Street & W. Blooming Glen Drive

- Miscellaneous coordination with G&A Staff.

16. Green Ridge Estates West

414 South Ridge Road

- Continued to review the revised 6th Preliminary/Final Major Subdivision Plan Submission Package and prepared correspondence with comments to Design Consultant dated June 20, 2025.
- Reviewed the revised Legal Descriptions.
- Started to review the 2nd revised 6th Preliminary/Final Major Subdivision Plans.
- Miscellaneous correspondence with G&A Staff and Developer.

17. Griffo Tract Lot 1

510 Haven Court

- No action has taken place by G&A this month.

18. 65 S. Main Street

65 S. Main Street

- No action has taken place by G&A this month.

19. 200 S. Main Street

200 S. Main Street

- No action has taken place by G&A this month.

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20. **1229 N. Ridge Road**
1229 N. Ridge Road
 - No action has taken place by G&A this month.
 21. **Perkasie Regional Authority – Reservoir Replacement**
N. Ridge Road & Ridge Avenue
 - No action has taken place by G&A this month.
 22. **545 Constitution Avenue**
545 Constitution Avenue
 - No action has taken place by G&A this month.
 23. **601 W. Park Avenue**
601 W. Park Avenue
 - No action has taken place by G&A this month.
 24. **911 N. 7th Street**
911 N. 7th Street
 - No action has taken place by G&A this month.
 25. **St. Stephen's United Church of Christ**
110 & 114 N. 6th Street
 - No action has taken place by G&A this month.
 26. **140 S. Main Street**
140 S. Main Street
 - No action has taken place by G&A this month.
 27. **Nyce Minor Subdivision**
1017 N. Ridge Road
 - Reviewed the Final As-Built Plan and prepared the Final As-Built Plan Approval Letter dated June 4, 2025.
 28. **532 W. Callowhill Street**
532 W. Callowhill Street
 - No action has taken place by G&A this month.
 29. **200 Wyckford Drive**
200 Wyckford Drive
 - No action has taken place by G&A this month.
 30. **Perkasie Square Shopping Center**
505 Constitution Avenue
 - No action has taken place by G&A this month.
 31. **1101 W. Park Avenue**
1101 W. Park Avenue
 - Miscellaneous correspondence with Design Consultant.
 32. **650 Shadywood Drive**
650 Shadywood Drive
 - No action has taken place by G&A this month.
 33. **135 S. Main Street**
135 S. Main Street
 - No action has taken place by G&A this month.

34. 9 Fairview Avenue

9 Fairview Avenue

- Reviewed the 2nd Grading Permit Plan Resubmission Package and prepared the Grading Permit Plan Approval Letter dated June 10, 2025.
- Miscellaneous coordination and correspondence with G&A Staff and Borough Staff.

35. Grandview Avenue

Grandview Avenue

- No action has taken place by G&A this month.

SUBDIVISION AND LAND DEVELOPMENT PROJECTS (INACTIVE)

1. The Perk Restaurant Addition

501 E. Walnut Street

- No action has taken place by G&A this month.

2. Jelski Minor Subdivision

11 Fairview Avenue

- No action has taken place by G&A this month.

3. Piper Group Land Development

Ridge Road (S.R.0563)

- No action has taken place by G&A this month.

4. Tecce Subdivision

North Ridge Road

- No action has taken place by G&A this month.

GENERAL BOROUGH PROJECTS

1. NPDES MS4, Phase II

Borough Wide

- Prepared design of the streambank stabilization for additional portion of the Pleasant Spring Creek.
- Updated the Construction Plans for the Pleasant Spring Creek Streambank Stabilization project.
- Visited Pleasant Spring Creek on June 9, 2025 to analyze access to additional portion of streambank stabilization.
- Continued to prepare the Bid Documents and Project Manual for the Pleasant Spring Creek Streambank Stabilization project.
- Survey Department prepared Legal Description for additional easement for property along Pleasant Spring Creek as part of the Pleasant Spring Creek Streambank Stabilization Project.
- Miscellaneous coordination and correspondence with G&A Staff and Borough Staff.

2. 2024 Road Program

Borough Wide

- Prepared for and Attended Council Meeting on June 2, 2025 to discuss Application for Payment Request #3-Final and Change Order #2-Final for the 2024 Road Program.
- Reviewed all original closeout documents for 2024 Road Program.

3. 2025 Road Program

Borough Wide

- Prepared for and Attended Council Meeting on June 2, 2025 in order to discuss the Award Recommendation Letter for both the 2025 Road Program and 2025 Concrete Program. Council approved both recommendations.
- Prepared Notification Letters to Bidders for both Programs.

-
- Reviewed contract documents for both Programs.
 - Reviewed submittals for 2025 Paving Program and prepared the 1st Submittal Review Letter dated June 10, 2025.
 - Prepared the Application for Liquid Fuels Funding.
 - Coordinated the Pre-Construction Meeting for both Programs with G&A Staff, Borough Staff, PRA Staff, and Contractors.
 - Prepared for and Attended Pre-Construction Meeting at Borough Hall on June 20, 2025 for both Programs.
 - Started to prepare Meeting Minutes and Attendance List from Pre-Construction Meeting.
 - Miscellaneous coordination and correspondence with G&A Staff, Borough Staff and Elected Officials.
4. **2025 Ultra-Thin Bonded Wearing Course Program**
Borough Wide
- Prepared the Application for Liquid Fuels Funding.
5. **Public Works Facility**
311 South 9th Street
- No action has taken place by G&A this month.
6. **Lenape Park Amphitheater Improvements**
Lenape Park
- No action has taken place by G&A this month.
7. **Zoning Services**
- Signed the Grading Permit as complete for the 429 Juliana Way Pool Permit.
 - Miscellaneous correspondence with Borough Staff and Design Consultant for 429 Juliana Way.
8. **DCNR Multifunctional Riparian Buffer Grant**
Borough Wide
- No action has taken place by G&A this month.
9. **BTM Peaking Project**
W. Market Street
- No action has taken place by G&A this month.
10. **Perkasie Covered Bridge**
Lenape Park
- Prepared Site Plan, Alternate Site Plan and E&S Plans.
 - Conference calls with Borough Manager, Elected Official and Design Consultant on June 5 and 6, 2025 to discuss proposed location of bridge.
 - Attended Virtual Meeting with Borough Staff, Elected Official and Design Consultant on June 16, 2025 to discuss project.
 - Finalized the PADEP Permit Application for work in the floodplain and submitted to PADEP on June 18, 2025. Also, prepared additional documentation requested by PADEP as part of their review.
 - Attended Meetings at Borough Hall with Borough Staff on June 20, 2025 to discuss project.
 - Conference call with Borough Manager and Design Consultant on June 23, 2025 to discuss project.
 - Finalized the Bid Documents and Project Manual for both the Timber Superstructure and Abutments.
 - Developed PennBID Solicitation and uploaded all Bid Documents.
 - Miscellaneous coordination and correspondence with G&A Staff, Borough Staff, Elected Official and BCCD.

11. SEPTA Freight House Parcel

W. Market Street and N. 8th Street

- No action has taken place by G&A this month.

12. W. Park Avenue Improvements

W. Park Avenue

- Finalized Environmental Review Form and submitted form to Borough on June 26, 2025.

13. W. Market Street Traffic Study

W. Market Street

- No action has taken place by G&A this month.

14. Hazard Mitigation Grant Program

Borough Wide

- No action has taken place by G&A this month.

15. Stream Evaluation for East Branch Perkiomen Creek

East Branch Perkiomen Creek

- No action has taken place by G&A this month.

16. S. 7th Street Endwall Project

S. 7th Street Culvert

- No action has taken place by G&A this month.

17. The Mill Property

200 S. Main Street

- No action has taken place by G&A this month.

18. Lenape Park Pedestrian Bridge

Lenape Park

- No action has taken place by G&A this month.

19. N. 5th Street Storm Sewer System

N. 5th Street

- No action has taken place by G&A this month.

20. Private Alley Storm Sewer System

Alley between Race & Arch Streets

- No action has taken place by G&A this month.

21. Parking Lot Condition Survey

Borough Wide

- No action has taken place by G&A this month.

22. W. Blooming Glen Drive Traffic Study

W. Blooming Glen Drive

- No action has taken place by G&A this month.

23. Lenape Park Skate Park Improvements

Lenape Park

- No action has taken place by G&A this month.

24. Kulp Park Baseball Field Improvements

Kulp Park

- Visited Kulp Park on June 3, 2025 to update existing features and review light pole locations.
- Attended Virtual Meeting with Borough Staff on June 3, 2025 to discuss project.

- Finalized Construction Plans.
- Geotechnical Department finalized Geotechnical Report for light poles dated June 17, 2025.
- Prepared the PADEP Permit Application for work in the floodplain and submitted to PADEP on June 18, 2025. Also, prepared additional documentation requested by PADEP as part of their review and submitted documents on June 24, 2025.
- Coordinated the Pre-Construction Meeting with G&A Staff, Borough Staff, and Contractor.
- Prepared for and Attended Pre-Construction Meeting at Borough Hall on June 20, 2025.
- Attended Site Meeting with Borough Staff and Contractors on June 20, 2025 to discuss project.
- Started to prepare Meeting Minutes and Attendance List from Pre-Construction Meeting.
- Miscellaneous coordination and correspondence with G&A Staff, Borough Staff, PADEP and GeoSport.

25. Perkasie Community Garden

N. 5th Street

- No action has taken place by G&A this month.

26. Misc. Consulting Services

- Structural Department visited vehicular bridge at Covered Bridge in Lenape Park on June 3, 2025 to visually inspect bridge.
- Attended Virtual Perkiomen Mapping and Flood Study Advisory Committee Meeting No. 3 on June 4, 2025.
- Prepared June's Engineer's Report.
- Prepared for and Attended Council Meeting on June 16, 2025 to present Engineer's Report.
- Attended Virtual Perkiomen Mapping and Flood Mitigation Study Public Meeting on June 18, 2025.
- Structural Department visited vehicular bridge at Covered Bridge in Lenape Park with Public Works Director on June 23, 2025 to conduct a bridge beam investigation.
- Structural Department reviewed results of site visits to vehicular bridge at Covered Bridge in Lenape Park and determined the load rating of the bridge.
- Miscellaneous coordination and correspondence with G&A Staff, Borough Staff and Elected Officials.

PERKASIE BOROUGH ZONING HEARING BOARD

**In re: Application of WP Perkasio LLC
Appeal No. 2025-2**

ADJUDICATION

A hearing was held in the above matter on Tuesday, May 27, 2025, at the Perkasio Borough Hall. The subject property was posted, notice of the hearing was publicly advertised, and written notice was provided to neighboring property owners as required by the Perkasio Borough Zoning Ordinance.

The Appeal was heard before Board Members David Barndt, Chairman, John Yannaccone, Vice-Chairman, John Knouse, Laura Auger and John Wilcox, Alternate. Applicant was represented by Denise R. Yarnoff, Esquire of Riley Riper Hollin & Colagreco. Applicant's Engineer, Brian Atkins, P.E. of SR3 Engineers, LLC and William Rountree Owner of WP Perkasio LLC were present and offered testimony. No other persons from the general public requested party status to the proceeding.

The following exhibits were offered and accepted into evidence:

- B-1 Posting Certification
- B-2 Proof of Publication
- B-3 Application and Attachments

- A-1 Perkasio ZHB Application and Cover Letter from Debra Shulski, dated April 24, 2025
- A-2 Perkasio Borough Zoning Ordinance of 2013, as amended (incorporated by reference)
- A-3 List of Properties within 100 feet of Subject Property
- A-4 Deed to Subject Property, Instrument Number 2021114668
- A-5 Approved Conditional Use Plan (Titled: Site Plan), prepared by SR3 Engineers, dated October 9, 2024 and last revised January 2, 2025
- A-6 C.V. of Brian Atkins, P.E.
- A-7 Aerial Site Plan prepared by SR3 Engineers, dated January 21, 2025
- A-8 Site Plan prepared by SR3 Engineers, dated October 9, 2024 and last revised April 23, 2025

No other documentary evidence was submitted or received by the Perkasio Borough Zoning Hearing Board. With a quorum of members present, the Perkasio Borough Zoning Hearing Board rendered its decision in the above application as more fully set forth below.

FINDINGS OF FACT

The Perkasio Borough Zoning Hearing Board, having considered the sworn testimony of all witnesses and the documentary evidence received, hereby makes the following findings of fact:

1. Applicant, WP Perkasio LLC is the owner of legal title to 1120 N. 5th Street, Perkasio Borough ("Property").

2. The Property is otherwise identified as Bucks County Tax Parcel No. 33-016-010.
3. The Property is located in the Business Professional (C-1) Zoning District.
4. The Property is approximately 2.307 acres in size.
5. Applicant previously received land development approval for the Property including two proposed “retail/eating place” buildings.
6. Building #1 is proposed to be occupied by Starbucks with a drive through service.
7. The use as a “Eating Place” (E3) is permitted by right in the C-1 District.
8. The accessory “Drive Through” lane (H3) is permitted by Conditional Use in the C-1 Zoning District.
9. Applicant received Conditional Use approval for an accessory drive through lane from Perkasio Borough pursuant to a decision, dated February 17, 2025.
10. Section 186-18.H(3)(a) requires six (6) stacking places measured from the first point of service or menu board.
11. Applicant is seeking a de minimis and/or dimensional variance from Section 186-18H(3)(a) to permit three (3) stacking spaces prior to the first point of service or menu board and six (6) spaces from the first point of service or menu board to the pick-up window.
12. Brian Atkins testified that the proposed location of the menu board will create a better flow and ease of circulation.
13. Mr. Atkins testified that the proposed location of the menu board allows for more waiting room before the takeout window and results in cars moving through with more efficiency.
14. Mr. Atkins further testified that the orders are prepared by baristas and the proposed stacking provide more time to make the specialized drinks after the order is placed.
15. Mr. Atkins further testified that 30% of all orders are placed on-line and picked up in the drive through lane.
16. Mr. Atkins further testified that the proposed configuration will exceed the number of required stacked spaces.
17. Mr. Atkins testified that all other portions of the drive-through lanes shall comply with the Zoning Ordinance.
18. Mr. Atkins testified that the relocation of the menu board will not impact the internal traffic at the site and/or the surrounding neighborhood.

19. Mr. Atkins testified that the shape of the lot is unique and creates a hardship for the Applicant.

20. Mr. Atkins further testified that this will not alter the use of the Property and is the minimum relief necessary for the Applicant to use the Property.

21. Ken Knight (512 W. Blooming Glen Drive) expressed concerns about the internal traffic flow in conjunction with the parking at the site.

DISCUSSION

Applicant, WP Perkasio LLC is the owner of legal title to 1120 N. 5th Street, Perkasio Borough ("Property"). The Property is located in the Business Professional (C-1) Zoning District and previously received land development approval for the Property including two proposed "retail/eating place" buildings. Building #1 is proposed to be occupied by Starbucks with a drive through service. The accessory "Drive Through" lane (H3) is permitted by Conditional Use in the C-1 District. Applicant received conditional use approval for an accessory drive through lane from Perkasio Borough pursuant to a decision, dated February 17, 2025. Applicant is seeking a de minimis and/or dimensional variance from Section 186-18H(3)(a) to permit three (3) stacking spaces prior to the first point of service or menu board and six (6) spaces from the first point of service or menu board to the pick-up window.

§186-18.H(3)(a):

(3) Drive-through: Any vehicle related commercial facility in which a service is provided or goods, food or beverages are sold to the operator or passengers of a motor vehicle without necessity of the operator or passengers disembarking the vehicle. Drive-throughs shall be accessory uses to the following: eating place in the C-1 District; eating [places which are part of a planned commercial development; retail shops and stores; service business; and bank and savings and loan association. Drive-throughs shall be permitted by conditional use and shall comply with the following general standards:

- (a) A drive-through lane with stacking space shall be provided to serve a minimum of six vehicles, each space a minimum 22 feet in length, measured from the first point of service (menu/ordering board). Drive-through lanes and stacking areas shall be a minimum 12 feet wide. The minimum turning radius of a drive-through shall be 18 feet.

The Applicant is seeking variances for the above pursuant to § 186-101 of the Perkasio Borough Zoning Ordinance. The Pennsylvania Municipalities Planning Code and § 186-101 of the Perkasio Borough Zoning Ordinance set forth the standards for granting a variance. In general, the Applicant must show:

A. That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the unnecessary hardship is due to such conditions and not the circumstances or conditions generally created by the provisions of the zoning ordinance in the neighborhood or district in which the property is located.

B. That because of the physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the zoning

ordinance and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

C. That such unnecessary hardship has not been created by the applicant.

D. That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located, nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare.

E. That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation at issue.

See 53 P.S. §§ 10910.2 and Perkasio
Borough Zoning Ordinance § 186-101.

A variance is a strict departure from the literal enforcement of the various provisions of the Zoning Ordinance. Brennan v. Zoning Board of Adjustment, 409 Pa. 376, 187 A.2d 180 (1963). Each application for a variance must be considered individually. One is not entitled to a variance merely because an analogous tract in the same municipality was also granted a variance. Dropp v. Board of Adjustment, 6 Pa.Comm.w. 64, 293 A.2d 144 (1972). Under the general standards governing the grant of a variance, the reasons must be substantial, serious and compelling. An applicant seeking a variance bears the burden of proving that unnecessary hardship will result if the variance is denied and that the proposed use will not be contrary to the public interest. The alleged hardship must be shown to be unique or particular to the property as distinguished from a hardship arising from the impact of zoning regulations on an entire district. Moreover, evidence that simply shows that the zoned for use is less financially rewarding than the proposed use is insufficient to justify a variance. When evaluating an alleged hardship, the use of adjacent and surrounding land is unquestionably relevant. Valley View Civic Assoc. v. ZBA, 501 Pa. 550, 555-556, 462 A.2d 637, 640 (1983).

The Pennsylvania Supreme Court has clarified the standards and factors which may be properly considered by a Zoning Hearing Board regarding a proposed dimensional variance are to be distinguished from a use variance request Hertzberg v. Zoning Hearing Board of Adjustment of the City of Pittsburgh, 721 A.2d 43 (PA)(1998). The Hertzberg Court determined that the quantum of proof required to establish an unnecessary hardship is lesser when a dimensional, as opposed to a use variance, is sought. Furthermore, the Hertzberg Court stated that to justify the granting of a variance, the courts may consider multiple factors, including the economic detriment to the applicant if the variance was denied, the financial hardship created by any work necessary to bring the building into strict compliance with the zoning requirements, and the characteristics of the surrounding neighborhood.

The Applicant is seeking a de minimis and/or dimensional variance from Section 186-18H(3)(a) to permit three (3) stacking spaces prior to the first point of service or menu board and six (6) spaces from the first point of service or menu board to the pick-up window. The Zoning Hearing Board does not find that the variance is de minimis, however, upon review of the Findings of Fact set forth above, and the documentary evidence offered and accepted at the hearing that the Applicant has shown the existence of a hardship, not self-created, and unique and peculiar to the Property, which requires the granting of a variance from Section 186-18.H(3)(a) of the Perkasio Borough Zoning Ordinance. The Board acknowledges that the Applicant has already obtained a Conditional Use for the exiting drive-through and is attempting to provide for

better service, better flow and efficiency. The Board determines that the proposed configuration of the drive-through is reasonable and will not impact the surrounding community. Additionally, the Board finds that the variance, as requested, would not be injurious to the health, safety, and welfare of the surrounding community and constitutes the minimum relief necessary to afford Applicant the opportunity to reasonably develop the Site in the Business Professional (C-1) Zoning District.

For the foregoing, the Perkasio Borough Zoning Hearing Board entered its decision and order as more fully set forth below:

DECISION AND ORDER

AND NOW effective, this 10th day of July, 2025, based upon the Findings of Fact and Conclusions set forth above, the Perkasio Borough Zoning Hearing Board hereby grants Applicant's request for a variance from Section 186-18.H(3)(a), subject to the following conditions:

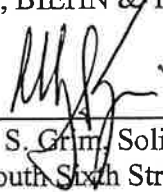
1. Applicant shall improve the Property in a manner consistent with the testimony and plans submitted with the Application.

2. Applicant shall otherwise comply with all applicable Borough, County, State Codes, laws, regulations and ordinances with respect to the use and construction of the Property.

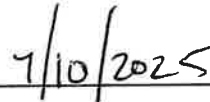
The signatures of the Perkasio Borough Zoning Hearing Board Members which appear on the following page attached hereto and incorporated herein, confirms the Board's decision and order by the vote of 5-0.

GRIM, BIEHN & THATCHER

BY: _____


Colby S. Grim, Solicitor
104 South Sixth Street
Perkasie, Pennsylvania 18944

Date: _____



Date of Mailing: July 10, 2025

Zoning Hearing Board Signature Page

Re: Appeal No. 2025-2

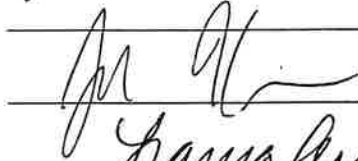
David Barndt, Chairman



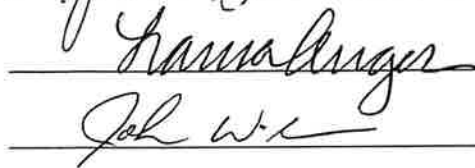
John Yannaccone, Vice-Chairman



Timothy Rimmer, Secretary



John Knouse



Laura Auger



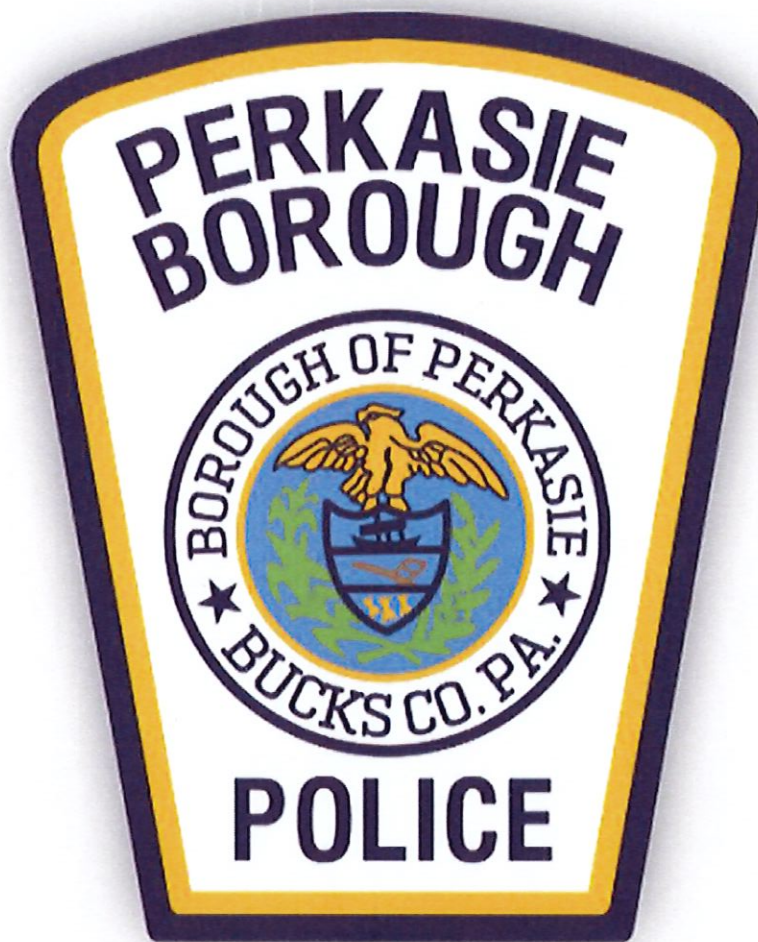
John Wilcox (alternate)



Suzanne Bower (alternate)



PERKASIE BOROUGH POLICE MONTHLY REPORT JUNE 2025



CHIEF ROBERT A. SCHURR

	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	YTD	June 2024	2024 TOTAL
TOTAL INCIDENTS	432	440	513	500	489	525							2899	454	5514
Perkasie	282	265	307	320	326	364							1864	311	3576
Sellersville	150	175	206	180	163	161							1035	143	1938
Assaults	2	2	5	2	1	5							17	8	27
Burglary	0	0	0	0	0	0							0	0	7
Theft	3	3	6	2	7	10							31	3	48
Forgery	0	0	0	0	0	0							0	1	5
Fraud	2	2	1	2	2	5							14	2	26
Sex Offenses	0	0	2	0	0	0							2	0	4
Criminal Mischief/Vand.	4	1	3	7	2	3							20	4	40
Drugs	0	1	0	0	0	0							1	0	7
DUI	0	1	1	1	1	2							6	1	11
Liquor Laws	0	0	0	0	0	0							0	1	4
Drunkenness	0	0	1	0	0	1							2	0	3
Disorderly Conduct	5	1	2	4	1	2							15	4	40
All Other Crimes	0	1	3	0	3	3							10	4	48

TRAFFIC CITATIONS															
Perkasie	10	9	8	7	13	24							71	11	123
Sellersville	5	4	1	5	12	25							52	5	45

ARRESTS PERKASIE															
Felony/Misdemeanor	0	4	2	2	2	4							14	4	31
Summary Citations	0	0	0	0	0	2							2	2	19
Juvenile	0	1	0	0	0	3							4	2	10
Borough Ordinance	0	0	0	0	0	0							0	0	7
ARRESTS SELLERSVILLE															
Felony/Misdemeanor	2	0	1	1	0	2							6	2	30
Summary Citations	0	0	4	1	3	0							8	1	29
Juvenile	1	0	0	0	0	1							2	0	11
Borough Ordinance	0	0	1	0	0	0							1	0	2

ACCIDENTS															
Perkasie	15	15	11	18	16	12							87	10	147
Sellersville	7	7	9	5	9	8							45	5	68

PARKING TICKETS															
Perkasie	17	1	20	6	52	31							127	5	137
Sellersville	0	10	6	3	5	1							25	1	13

*Pending Year end analysis

Calls for Service - by UCR Code

Incidents Reported Between 06/01/2025 and 06/30/2025

All Municipalities



Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
0440	ASSAULT - ATROCIOUS- HANDS,FISTS,FEET	1			
0450	OTHER ASSAULTS - NOT AGGRAVATED	3			
0614	THEFT-\$200 & OVER-FROM AUTO (EXCPT 0615)	5			
0617	THEFT-\$200 & OVER-FROM BUILDINGS	1			
0619	THEFT-\$200 & OVER-ALL OTHER	1			
0634	THEFT-UNDER \$50-FROM AUTO (EXCEPT 0635)	1			
0649	THEFT-ATTEMPTED-ALL OTHER	1			
0690	THEFT - REPORTS	1			
0800	ASSAULTS - OTHER ASSAULTS (SIMPLE)	1			
1100	FRAUD	3			
1190	FRAUD-ALL OTHER(FLIM FLAM,CONFIDENCE	2			
1420	CRIMINAL MISCHIEF TO PUBLIC BUILDINGS	1			
1430	CRIMINAL MISCHIEF - GRAFFITI	1			
1440	CRIMINAL MISCHIEF - ALL OTHER	1			
2110	DRIVING UNDER THE INFLUENCE-LIQUOR/DRUGS	1			
2111	DRIVING UNDER THE INFLUENCE - ALCOHOL	1			
2300	PUBLIC DRUNKENESS	1			
2400	DISORDERLY CONDUCT	1			
2450	HARASSMENT	1	1		
2660	TRESPASSING OF REAL PROPERTY	3			
2710	TRAFFIC OFFENSES	3			
2800	SOLICITING - BORO ORDINANCE	2			
2810	ABANDONED VEH & IMPOUND V.C.& BORO ORD	53			
2830	BORO ORDINANCE - ALL OTHER	3			
2840	BORO ORDINANCE - CURFEW VIOLATIONS	1			
2900	LOST/MISSING PERSONS	1			
2910	LOST/MISSING PROPERTY	1			
2912	RUNAWAY-INCORRIGIBLE-FEMALE (JUVENILE)	1			
3000	FOUND/RECOVERED PROPERTY	8	1		
3100	MOTOR VEHICLE ACCIDENTS	16			
3101	REPORTABLE MOTOR VEHICLE ACCIDENT	4			
3200	OTHER ACCIDENTS (HOME,INDUSTRIAL,RAILRD)	1			
3400	MENTAL HEALTH	8	3		
3500	SUSPICIOUS PERSONS,AUTOS,CIRCUMSTANCES	37	1		
3510	SUSPICIOUS OCC - FRAUD/BAD CHECKS	4			
3600	DISTURBANCES-DOMESTIC	11			
3610	DISTURBANCES-JUVENILE	9			
3620	DISTURBANCES-OTHER (FIGHTS,DISPUTES,ETC)	3	1		
3630	DISTURBANCE - NOISE COMPLAINT	4	1		
3800	SERVICE CALL-MISCELLANEOUS	2			
3810	ALARMS-UNFOUNDED-EXCPT FIRE	6			
3820	ASSIST MOTORIST/DISABLE VEH	1			
3840	FIRES (INCLUDING ALARMS-FOUNDED/UNFOUND)	5			
3850	HAZARDOUS CONDITIONS	1			
3860	LOCKOUTS (VEHICLE/BLDG)	2			
3870	SERVICE CALL - WELL BEING CHECK	18			
3880	OPEN DOORS/WINDOWS	2			
3900	TRAFFIC & PARKING PROBLEMS	21			

Calls for Service - by UCR Code

Incidents Reported Between 06/01/2025 and 06/30/2025

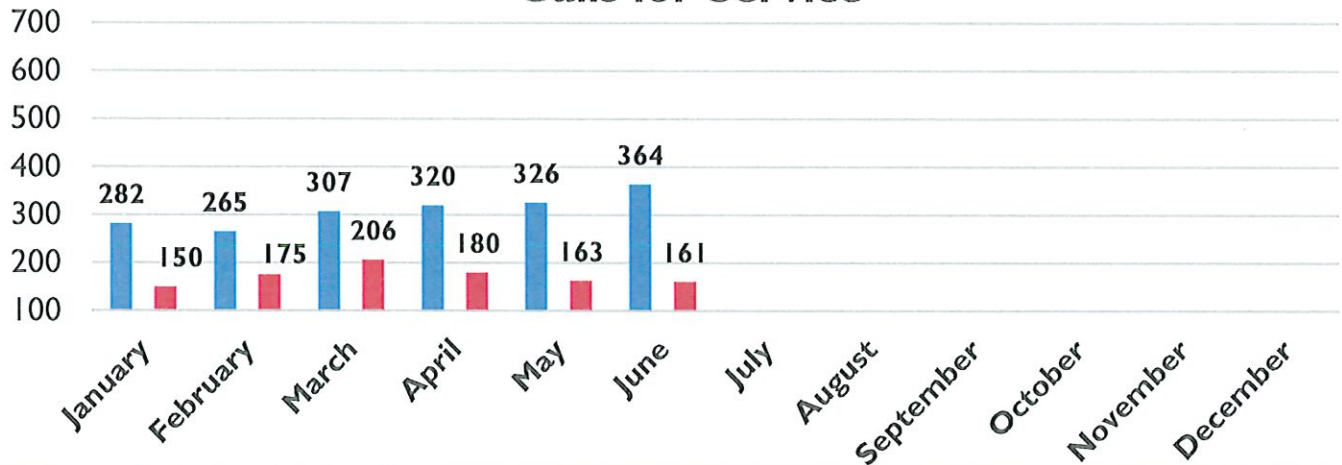
All Municipalities



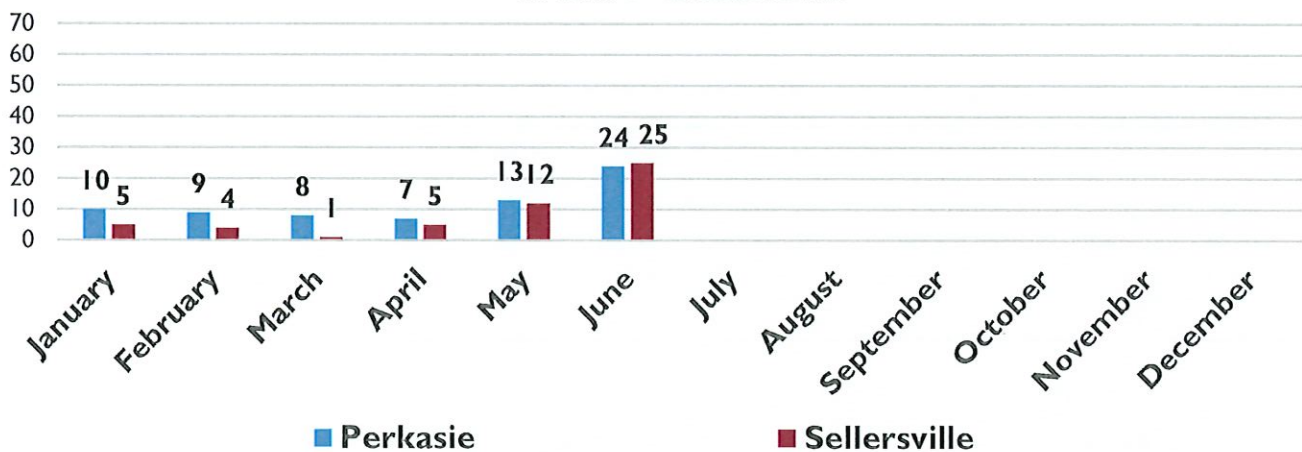
Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
4028	OTHER INVESTIGATIONS	1			
4080	NON-CRIMINAL - HARASSMENT	11			
4081	NON-CRIMINAL - PFA COMPLAINT	1			
4090	NON-CRIMINAL - REPORTS	10			
4091	NON-CRIMINAL - POLICE INFORMATION	14	1		
4092	NON-CRIMINAL - PATROL REQUEST	1	1		
4093	NON-CRIMINAL - CIVIL COMPLAINT	20			
4094	NON-CRIMINAL DOMESTIC STANDBY	2			
4095	NON-CRIMINAL - JUVENILE COMPLAINT	7			
4096	FIELD INVESTIGATION	1			
4097	PROTECTION FROM ABUSE NOTICES	2			
4098	SOLICITING PERMIT	5			
4099	DRUG RELATED/INFORMATION	3	1		
4501	SEX OFFENSES INVESTIGATIONS/REPORTS	1			
4510	DEATHS - UNATTENDED	3			
4911	ABANDONED 911	31			
5004	LOST & FOUND - FOUND ARTICLES	1			
5008	LOST & FOUND - LOST ARTICLES	2			
5510	ANIMAL COMPLAINTS - OTHER	9			
5512	ANIMAL COMPLAINTS - LOST ANIMAL	2			
5590	ANIMAL COMPLAINTS - FOUND ANIMAL	2			
6600	SPEEDING VEHICLES	1			
6612	TRAFFIC RELATED - SIGNALS-SIGNS OUT	2			
6614	TRAFFIC RELATED - OTHER TRAFFIC	2			
7002	BUILDING CHECKS - OFFICER INITIATED	1			
7004	BUILDING CHECKS - VACATION,VACANT HOME	1			
7008	AMBULANCE ASSIST	60			
7014	PUBLIC SERVICE - OTHERS	3			
7091	SPECIAL DETAIL	3			
7502	ASSIST OTHER AGENCIES - FIRE DEPT.	3			
7504	ASSIST OTHER POLICE DEPT.	4			
7508	ASSIST REGIONAL PD	5	1		
7509	ASSIST HILLTOWN PD	3			
7511	ASSIST PSP	1			
8110	WARRANTS - OTHER AUTHORITY	2	1		
8502	DEPARTMENTAL SERVICES - FINGERPRINTING	5			
8506	DEPT. SERVICES - LICENSES & PERMITS	1			
8518	DEPARTMENTAL SERVICES - RECORD CHECKS	10			
8519	RIGHT TO KNOW REQUESTS	1			
8590	DEPARTMENTAL SERVICES - REPORTS	1			
9192	VICTIMS SERVICES	28			
CITT	TRAFFIC CITATION	37			
CITW	WARNING	41			
MEG	MEGAN'S LAW OFFENDER ACTIVE	1			
Total Calls		604			

ACTIVITY 2025

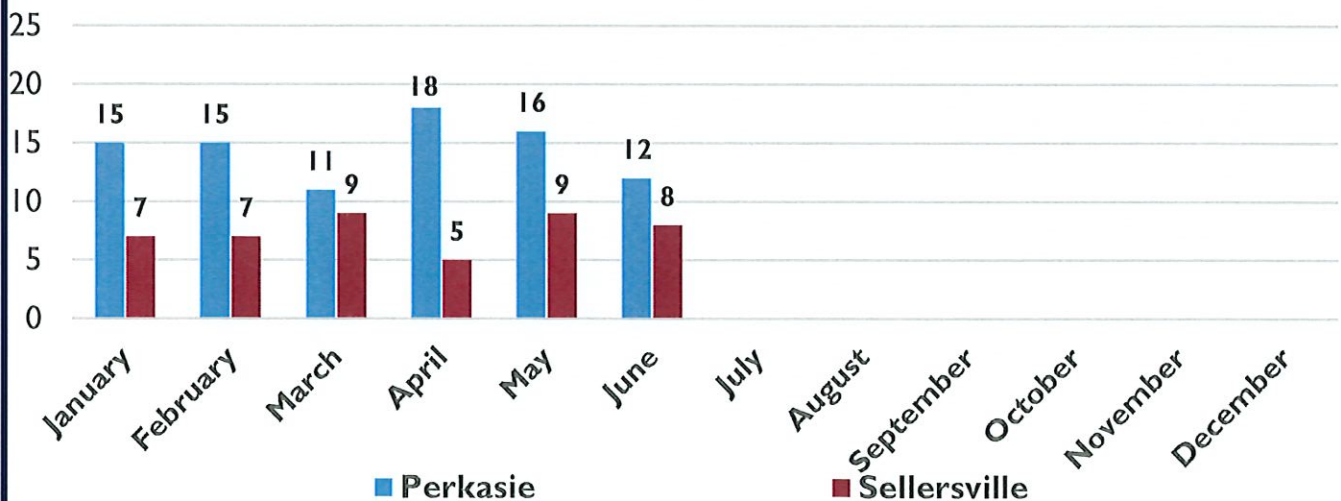
Calls for Service



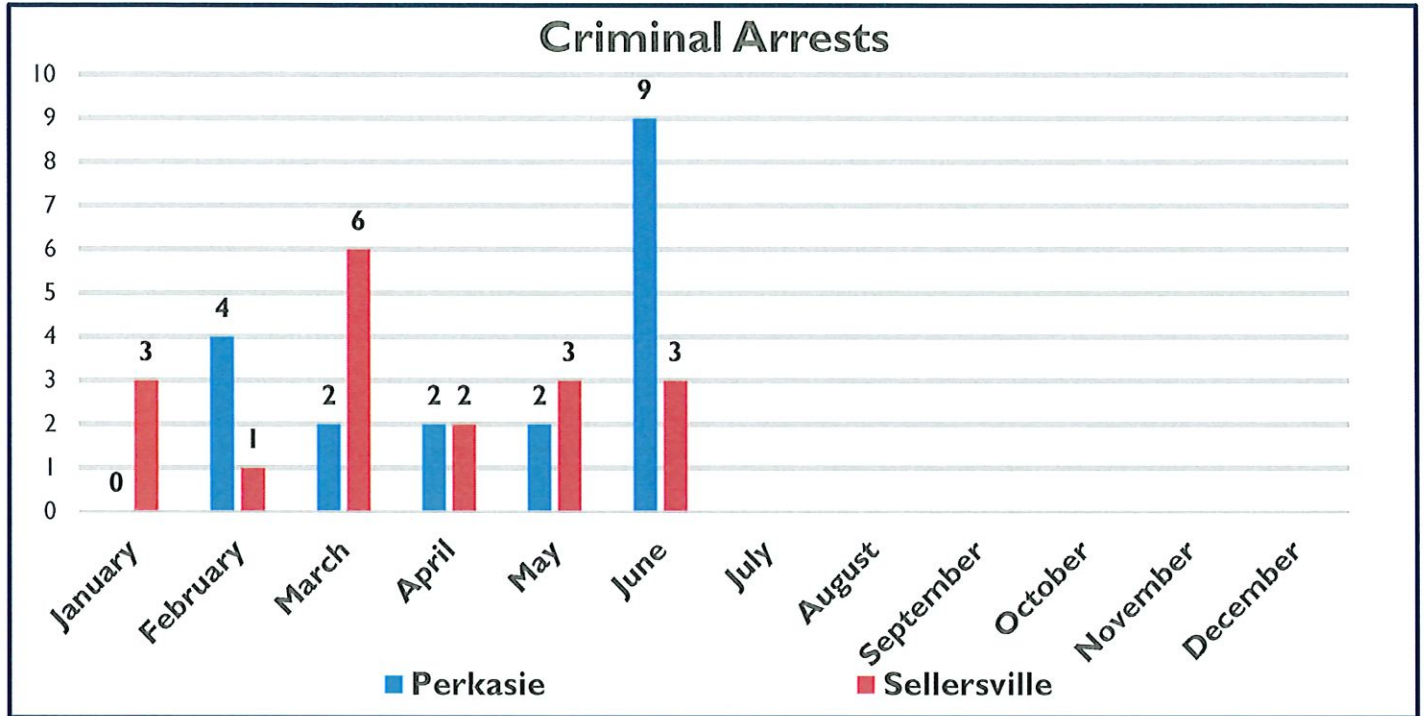
Traffic Citations



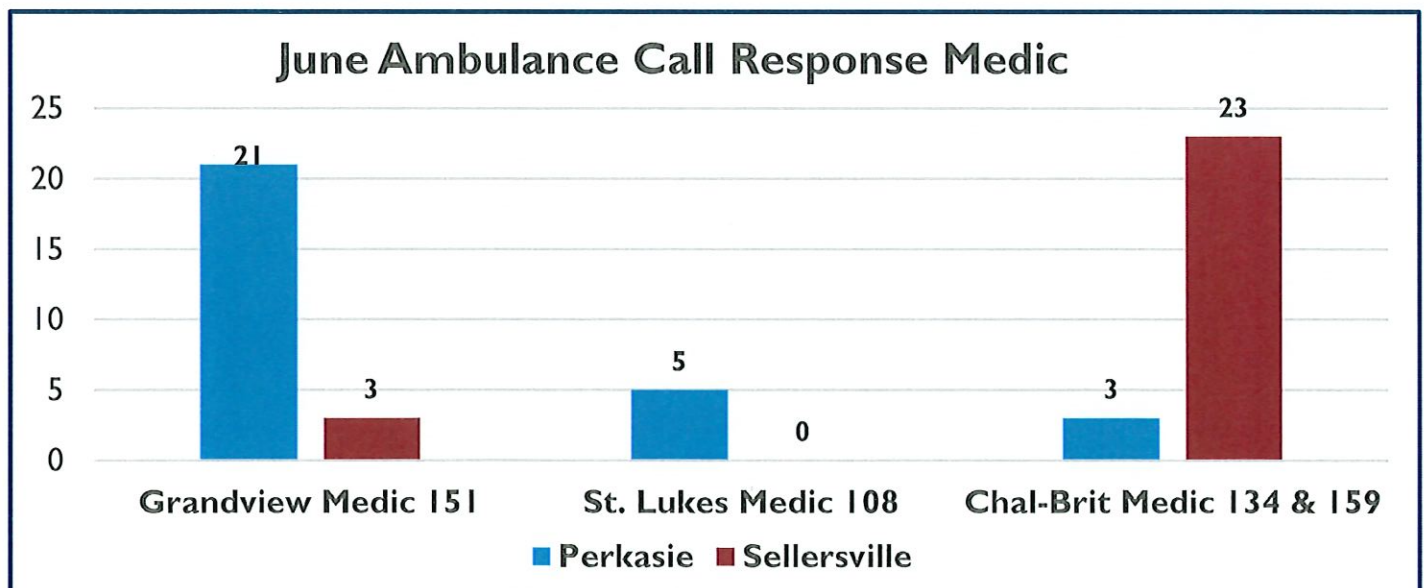
Traffic Accidents



ACTIVITY 2025



Ambulance Response Reports by Medic		
	<u>Perkasio</u>	<u>Sellersville</u>
Grandview Medic 151	21	3
St. Lukes Medic 108	5	0
Chal-Brit Medic 134	3	23



DETECTIVE DIVISION

Submitted by Detective Travis Schoonover	Status	Recent Activity
20240223M0014 Stolen Vehicle	Active	Under investigation
20250117M0016 Theft	Active	Under investigation
20250325M0011 Sex Offense	Closed	Referred to other PD
20250410M0022 Theft	Active	Under investigation
20250424M0017 Theft	Active	Under investigation
20250522M0024 Sex Offense	Active	Under investigation
20250506M0005 Theft	Active	Under investigation
20250522M0021 Domestic	Active	Under investigation
20250616M0011 Fraud	Closed	Prosecution declined

Submitted by Detective Anthony Gro	Status	Recent Activity
20240907M0020 Hit & Run	Active	Under investigation
20241220M0003 Sex. Offense	Closed	Prosecution decline
20250113M0002 Fraud	Active	Under investigation
20250225M0007 Off. Against Family	Active	Under investigation
20250530M0009 Sex Offense	Active	Under investigation
20250516M0002 Theft	Active	Under investigation
20250606M0009 Sex Offense	Active	Under investigation
20250630M0013 Vandalism	Active	Under investigation
20250604M0001 Theft from Vehicles	Active	Under investigation

VEHICLES

Year/Veh. #	Make/Model	Beg. June	End June	Miles	Usage
2022 (#1)	Ford Explorer	34804	35764	960	Patrol
2023 (#2)	Ford Explorer	17317	18435	1118	Patrol
2019 (#3)	Ford Interceptor	55268	56024	756	Patrol
2021 (#4)	Ford Interceptor	46506	47504	998	Patrol
2017 (#5)	Ford Explorer	100086	100946	860	Patrol
2015 (#6)	Ford Explorer	56478	56755	277	Invest.
2018 (#7)	Ford Explorer	38697	39455	758	Comm. Relations Specialist
2018 (#8)	Ford Explorer	76880	77163	283	Patrol
2016 (#9)	Ford Interceptor	87811	89360	1549	Patrol
2019 (#10)	Ford Interceptor	66136	66706	570	Patrol
2021 (#11)	Dodge Durango	45205	45929	724	Invest.
2013 (#15)	Ford Explorer	101925	102182	257	Victims Ser.
2024 (#17)	Dodge Durango	14194	15747	1280	Chief
2007	Ford E450	5530	5581	51	Crisis
TOTAL:				10,441	

SPECIALTY TRAINING:

June 9, 2025: Det. Schoonover completed SVU Investigations training.

June 9-12, 2025: Chris Doheny attended National Child Passenger Safety training.

June 10, 2025: Officer Nyce & Officer Fields attended Glock Armorer's training.

June 16, 2025: Sgt. Mecouch & Officer Fields attended SWAT training.

June 17, 2025: Sgt. Mecouch participated in the annual selection of new SWAT team members.

June 18 & 19, 2025: Officer Brun attended Crisis Intervention Team 16 Hour training.

June 2025: All Officers participated in online Legal Update/Case Law training.

REVENUE

REVENUE RECEIVED:

Institution	Amount
Accident/Incident Reports (Right to Know Request Fees & Accident Reports)	\$285.00
New Britain D.C. 07-2-03	\$267.90
Bucks County Clerk of Courts	\$422.69
Parking Tickets	\$320.00
Sellersville Monthly Contract Agreement	\$120,325.00
TOTAL REVENUE RECEIVED:	\$121,620.59

PENNRIDGE SCHOOL DISTRICT BUS PATROL CAMERA VIOLATIONS:

January - 21

February - 6

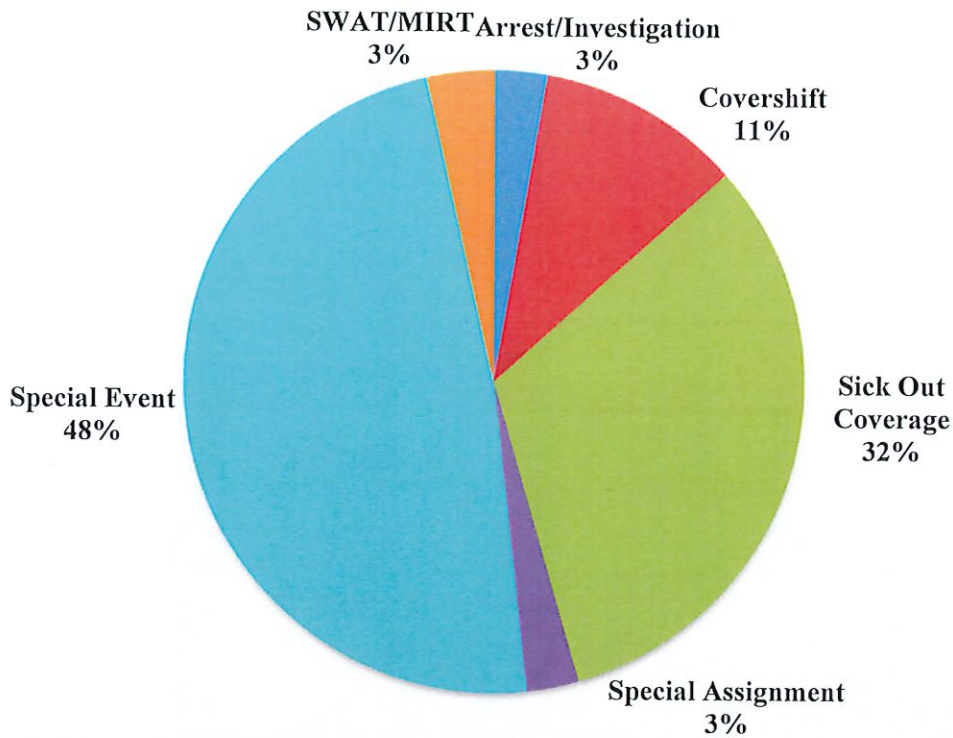
March - 24

April - 19

May - 21

June - 8

JUNE OVERTIME



Category:

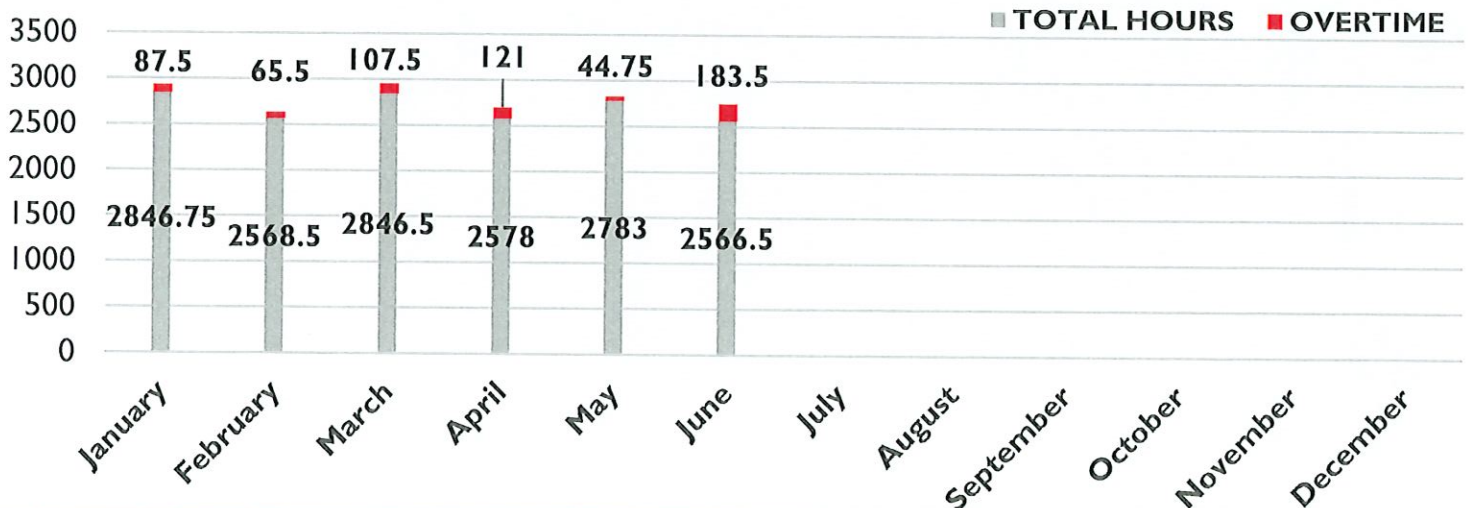
Arrest/Investigation
Covershift
Sick Out Coverage
Special Assignment
Special Event
SWAT/MIRT

Total:

Hours:

5
19.5
59
5
88.5 *Community Day, Perkasie Carnival, Pride Event
6.5
183.5 *45 hrs. submitted as Comp-time

2025 HOURS SCHEDULED/OVERTIME



June: The Numbers...

Perkasie New Client Outreaches: 28
Live Calls: 4

Perkasie-Bedminster Events: 2
Fingerprinting: 5



A Monthly Update on The Perkasie CCRS and Victim Advocate

Perkasie-Bedminster Community Relations Program



June Events

Revivals Drive-In Food Pantry Event

The chief, officers, and the CCRS joined up with Revivals Outreach Center to assist with their weekly drive-in food pantry event that takes place every Saturday. We helped unload and organize food as well as hand deliver bags of food to Perkasie area residents in need.

Pack The Trunk Event

The department partnered with Pennridge FISH and Landis Supermarket to collect donations for the Summer School Lunch program. We helped raise over 100 dollars and collected almost 500 pounds of non-perishable foods for children in need!



Car Seat Certification and Installation Services

This month the CCRS attended a full week of training through the National Child Passenger Safety Certification. The training provides an extensive overview of all the most recent car seat safety laws and techniques as well as providing hands-on experience with a multitude of different car seat brands, models, and vehicle types. Having successfully passed the exam, the CCRS is now officially listed on the Safe Kids Worldwide and National Child Safety Certification website as a car seat technician. The CCRS has also expanded this service to a list of services on the official Perkasie Borough Police Department Crimewatch page.

Moving forward, the CCRS will be providing free car seat check and installation assistance services to residents of Perkasie and Sellersville boroughs. In addition, the department will be planning periodic car seat check events which will help caregivers both new and old to ensure that they are following the most recent safety procedures for their children. With the ever changing landscape of car seats, this services plays an important role in ensuring that our youngest residents can remain safe while traveling throughout our community and abroad.



Pennridge High School
Timothy Keddie, M.Ed.
Principal

1228 North Fifth Street
Perkasie, PA 18944
tkeddie@pennridge.org
215-453-6944 Ext:114021 C 215-678-5673

Pennridge School District
Perkasie, Bucks County, Pennsylvania

Chief Schurr,

I just wanted to thank you
for you and your departments support
for our 2025 Commencement Exercises
@ Pennridge High School. Our partnership
with your Department is valued.

Tim Keddie

Perkasie Borough Incidents (PFC1-PBI)

Created At: 11:17 - Tue, 01 Jul 2025

Incidents for Perkasie Borough Incidents within 06/01/2025 - 06/30/2025.

Perkasie Borough Incidents

Perkasie Borough Incidents responded to by Perkasie Fire Company No 1.

Toned At	Title	Reference	Responders	Duration	Total	Category
11:28 - Tue, 03 Jun 2025	GENERAL ALERT	549556787	1	3 minutes	3 minutes	Other
15:28 - Tue, 03 Jun 2025	FIRE ALARM (LOC)	25000010092	7	2 minutes	14 minutes	NFIRS Cancelled En Route
20:02 - Tue, 03 Jun 2025	FIRE ASSIST EMS ALS (TYPE)	25000010111	13	37 minutes	8 hours One minute	NFIRS EMS - Not MVA
10:16 - Fri, 13 Jun 2025	FIRE ALARM (LOC)	25000010767	5	14 minutes	One hour 10 minutes	NFIRS Alarm - Unintentional
02:42 - Sat, 14 Jun 2025	FIRE ALARM (LOC)	25000010824	3	17 minutes	51 minutes	NFIRS Smoke Detector Activation Due To Malfunction
18:00 - Sun, 15 Jun 2025	FIRE ALARM (LOC)	25000010906	8	7 minutes	56 minutes	NFIRS Alarm - Unintentional
21:33 - Sat, 21 Jun 2025	TRAFFIC ACCIDENT STANDBY (LOC)	25000011735	13	10 minutes	2 hours 10 minutes	MVA With Injuries
17:55 - Sat, 28 Jun 2025	FIRE ALARM (LOC)	25000012318	14	21 minutes	4 hours 54 minutes	NFIRS Smoke Detector Activation Due To Malfunction
20:46 - Mon, 30 Jun 2025	FIRE ALARM (LOC)	25000012469	7	23 minutes	2 hours 41 minutes	NFIRS Alarm - Unintentional

Number of incidents: 9. Total Hours: 2 hours 14 minutes. Total Responder Hours: 21 hours.

Perkasie Full Incidents (PFC1-IL)

Created At: 11:15 - Tue, 01 Jul 2025

Incidents for Perkasie Full Incidents within 06/01/2025 - 06/30/2025.

Perkasie Full Incidents

Perkasie Full Incidents responded to by Perkasie Fire Company No 1.

Toned At	Title	Reference	Responders	Duration	Total	Category
11:28 - Tue, 03 Jun 2025	GENERAL ALERT	549556787	1	3 minutes	3 minutes	Other
15:28 - Tue, 03 Jun 2025	FIRE ALARM (LOC)	25000010092	7	2 minutes	14 minutes	NFIRS Cancelled En Route
20:02 - Tue, 03 Jun 2025	FIRE ASSIST EMS ALS (TYPE)	25000010111	13	37 minutes	8 hours One minute	NFIRS EMS - Not MVA
20:53 - Tue, 03 Jun 2025	DWELLING FIRE (TAC)	25000010113	15	12 minutes	3 hours	NFIRS Cancelled En Route
14:39 - Wed, 04 Jun 2025	FIRE ALARM (LOC)	25000010176	6	7 minutes	42 minutes	NFIRS Alarm - Unintentional
17:17 - Wed, 04 Jun 2025	FIRE POLICE REQUEST	25000010185	4	3 minutes	12 minutes	MVA With Injuries
07:35 - Fri, 06 Jun 2025	DWELLING FIRE (TAC)	25000010293	6	18 minutes	One hour 48 minutes	NFIRS Cancelled En Route
00:50 - Mon, 09 Jun 2025	FIRE POLICE REQUEST	25000010460	3	3 hours 40 minutes	11 hours	Fire Police Request
02:07 - Mon, 09 Jun 2025	COVER NOTIFICATION:	550827011	3	3 minutes	9 minutes	NFIRS Cover Assignment Standby Moveup
20:08 - Wed, 11 Jun 2025	DWELLING FIRE (TAC)	25000010667	11	23 minutes	4 hours 13 minutes	NFIRS Smoke Scare Odor Of Smoke
16:13 - Thu, 12 Jun 2025	FIRE ALARM (LOC)	1630001	6	26 minutes	2 hours 36 minutes	NFIRS Alarm - Unintentional
10:16 - Fri, 13 Jun 2025	FIRE ALARM (LOC)	25000010767	5	14 minutes	One hour 10 minutes	NFIRS Alarm - Unintentional
11:48 - Fri, 13 Jun 2025	TRAFFIC ACCIDENT STANDBY (LOC)	25000010775	9	7 minutes	One hour 3 minutes	NFIRS Cancelled En Route
02:42 - Sat, 14 Jun 2025	FIRE ALARM (LOC)	25000010824	3	17 minutes	51 minutes	NFIRS Smoke Detector Activation Due To Malfunction
18:00 - Sun, 15 Jun 2025	FIRE ALARM (LOC)	25000010906	8	7 minutes	56 minutes	NFIRS Alarm - Unintentional
17:57 - Fri, 20 Jun 2025	FIRE POLICE REQUEST	25000011630	4	2 hours 18 minutes	9 hours 12 minutes	Fire Police Request
21:33 - Sat, 21 Jun 2025	TRAFFIC ACCIDENT STANDBY (LOC)	25000011735	13	10 minutes	2 hours 10 minutes	MVA With Injuries
22:33 - Sat, 21 Jun 2025	FIRE ALARM (LOC)	25000011738	10	22 minutes	3 hours 40 minutes	NFIRS Alarm - Unintentional
10:47 - Mon, 23 Jun 2025	FIRE ALARM (LOC)	25000011835	2	22 minutes	44 minutes	NFIRS Smoke Detector Activation Due To Malfunction

Toned At	Title	Reference	Responders	Duration	Total	Category
19:04 - Mon, 23 Jun 2025	CARBON MONOXIDE ALARM	25000011905	14	8 minutes	One hour 52 minutes	Cancelled
23:05 - Mon, 23 Jun 2025	FIRE ASSIST EMS ALS (TYPE)	25000011918	4	23 minutes	One hour 32 minutes	Medical
15:50 - Wed, 25 Jun 2025	FUMES INSIDE STRUCTURE (TAC)	25000012089	9	20 minutes	3 hours	Gas Leak
06:42 - Thu, 26 Jun 2025	FIRE POLICE REQUEST	25000012134	4	33 minutes	2 hours 12 minutes	MVA With Injuries
10:50 - Thu, 26 Jun 2025	BUILDING FIRE (BOX)	25000012159	3	10 minutes	30 minutes	NFIRS Cancelled En Route
07:47 - Fri, 27 Jun 2025	FIRE ALARM (LOC)	25000012214	3	10 minutes	30 minutes	NFIRS Cancelled En Route
10:42 - Sat, 28 Jun 2025	FIRE POLICE REQUEST	25000012298	3	28 minutes	One hour 24 minutes	MVA With Injuries
17:55 - Sat, 28 Jun 2025	FIRE ALARM (LOC)	25000012318	14	21 minutes	4 hours 54 minutes	NFIRS Smoke Detector Activation Due To Malfunction
02:15 - Sun, 29 Jun 2025	FUMES INSIDE STRUCTURE (TAC)	25000012337	4	One hour One minute	4 hours 4 minutes	NFIRS Smoke Scare Odor Of Smoke
12:16 - Sun, 29 Jun 2025	FIRE ASSIST EMS ALS (TYPE)	25000012353	11	27 minutes	4 hours 57 minutes	NFIRS EMS - Not MVA
07:05 - Mon, 30 Jun 2025	TRAFFIC ACCIDENT STANDBY (LOC)	25000012392	6	44 minutes	4 hours 24 minutes	Motor Vehicle Accident
08:10 - Mon, 30 Jun 2025	FIRE ALARM (LOC)	25000012397	3	11 minutes	33 minutes	NFIRS Cooking Fire
20:46 - Mon, 30 Jun 2025	FIRE ALARM (LOC)	25000012469	7	23 minutes	2 hours 41 minutes	NFIRS Alarm - Unintentional

Number of incidents: 32. Total Hours: 15 hours 10 minutes. Total Responder Hours: 3 days 12 hours 17 minutes (84h 17m).

MINUTES OF THE REGULAR MEETING
OF THE MONTH OF JUNE
PERKASIE REGIONAL AUTHORITY
WEDNESDAY, JUNE 11, 2025

The regular meeting of the month was convened in the Authority Office, 150 Ridge Road at 5:01 p.m. on June 11, 2025 by Chairman David Watt. Attending in addition to the Chairman were Board Members Vicki Miller, Gregory Martin and Stephen Algeo. Absent from the meeting with consent of the Board was J. Thomas Horn. Staff members present: Nicholas Fretz, Manager, Sean Torpey, Engineer, John N. Schaeffer, III, Esquire, Solicitor, and Laura Snyder, Accounts Payable.

NEW BUSINESS:

None this meeting.

EXECUTIVE SESSION:

None this meeting.

MINUTES:

Upon motion by Martin, seconded by Algeo, the Minutes of the regular meeting of May 12, 2025 were unanimously approved as written.

PUBLIC FORUM:

None this meeting.

CORRESPONDENCE:

None this meeting.

PWTA:

- a) Minutes from the April 2025 meeting
- b) April 2025 flow reports

FINANCIAL INFORMATION:

- a) Balance Sheet for May 2025
- b) Profit and Loss Budget Overview Reports for May 2025
- c) Statement of Trust Funds – May 2025
- d) Revenue Fund Requisition Number 605 in the amount of \$181,266.45.
- e) Bond Redemption and Improvement Fund Requisition Number 1230 thru 1233 in the total amount of \$71,408.83.
- f) Developer Escrow Releases & Summaries

Upon motion by Watt, seconded by Martin, the Financial Information was unanimously approved.

OPERATIONS REPORT:

- a) Activity Report for May 2025
- b) Average production by month for May 2025
- c) Precipitation Report for May 2025
- d) Water Production Reports for May 2025
- e) Sewer truck reports

Upon motion by Algeo, seconded by Miller, the Operations Report was unanimously approved.

SOLICITOR'S REPORT:

- a) Well Guarantee Agreement – The Solicitor stated that he created a draft well guarantee agreement and that the next step would be to send it to East Rockhill Township for approval.
- b) PFAS Settlement – The Solicitor stated that PRA received the first of several payments from the PFAS litigation.

Upon motion by Watt, seconded by Miller, the Solicitor's Report was unanimously approved.

ENGINEER'S REPORT:

- a) McClennen Tract – The Engineer stated that there was no change in the progress of the project.
- b) 8th St. Commons – The Engineer stated that there was no change in the progress of the project.
- c) Green Ridge Estates West – The Engineer stated that there was no change in the progress of the project.
- d) Spruce St. Townhouses – The Engineer stated that there was no change in the progress of the project.
- e) Lawn Avenue Subdivision – The Engineer stated that they met with the developer regarding changes to the planned subdivision and were waiting for a revised set of plans.
- f) 809 Three Mile Run Rd – The Engineer stated that a final review letter had been issued for the material submittals. He further stated that they were waiting for agreements before issuing final approval.
- g) Well #14 – The Engineer stated that they were making edits to the stormwater plan based on comments from the Township and were completing an elevation certification for the floodplain permit.
- h) Well #4 – The Engineer stated that they began to receive material submittals from DOLI and were reviewing change orders for potential cost savings. He further stated that they were reviewing plans to install a temporary treatment system until the center was operational.
- i) Well #7 – The Engineer stated that the Land Development Plans were submitted and they would be appearing before the Planning Commission on June 12th and the Board of Supervisors on June 24th.
- j) Well #10 – The Engineer stated that they completed the preliminary design of the Land Development Plans and were preparing to submit to the Borough.

Upon motion by Watt, seconded by Martin, the Engineer's Report was unanimously approved.

MANAGER'S REPORT:

- a) 3M Settlement Statement – The Manager stated that PRA received the first of several payments from the PFAS litigation.
- b) Water Worth Proposal – The Manager presented to the Board the Water Worth Proposal for a budgeting program. The Board chose not to move forward with the proposal.
- c) Governance Audit Letter – The Manager presented to the Board the finalized version of the Governance Audit Letter.
- d) Cybersecurity Policy – The Manager presented to the Board a cybersecurity policy. The Board tabled this until next month for further revision.

Upon motion by Watt, seconded by Miller, the Manager's Report was unanimously approved.

OFFICIAL BOARD ACTION:

None this meeting.

UNFINISHED BUSINESS/NEW BUSINESS:

The Manager stated that two of the HVAC units were replaced and that PRA switched their alarm company which may require PRA to purchase newer equipment.

CHAIRMAN'S REMARKS:

The Chairman stated that he wanted to implement a preventative maintenance program that included updating a certain amount of fire hydrants every year.

PUBLIC FORUM II:

None this meeting.

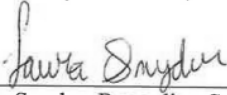
EXECUTIVE SESSION:

None this meeting.

ADJOURN:

There being no further business to come before the Board in the regular session and upon motion by Martin seconded by Algeo, the meeting was adjourned at 5:49 p.m.

Respectfully Submitted,



Laura Snyder, Recording Secretary



Victoria Miller, Secretary

PENNRIDGE WASTEWATER TREATMENT AUTHORITY

MINUTES OF REGULAR MEETING

180 Maple Avenue, P.O. Box 31
Sellersville, PA 18960-0031

May 19, 2025

A regular meeting of the Pennridge Wastewater Treatment Authority was called to order by Chairman Daniel Wurst at 7:00 p.m. In attendance were Board Members James Hull, Mike Aubertin, Jim Pruitt, and Keith Hass. Also in attendance were Alfred Ciottoni, P.E. (SC Engineers), Kevin Franks (Manager) and Lisa Salemno (Office Administrator).

Mr. Wurst opened the meeting and joined in the "Pledge of Allegiance".

PUBLIC COMMENT

Mr. Wurst asked if there were any comments from the public and there were none.

MINUTES OF PREVIOUS MEETING

A Pruitt - Hull motion to approve the Minutes of the April 28, 2025 Board Meeting, unanimously carried.

FINANCIAL STATEMENTS

A Pruitt - Hull motion to incorporate the Operating, Capital, and the UV Unit Financial Reports for the month ended April 30, 2025, into the record, unanimously carried.

BUSINESS FROM THE FLOOR

None.

SPECIAL BUSINESS

None.

ENGINEER'S REPORT

Mr. Ciottoni reported that the UV Unit equipment should be delivered the end of June.

Mr. Ciottoni also reported that the next NPDES Permit should include the re-rating for the plant with higher capacity.

A Pruitt - Aubertin motion to accept the Engineer's report, unanimously carried.

SOLICITOR'S REPORT

None.

MANAGER'S REPORT

NPDES PERMIT REQUIREMENTS

Mr. Franks reported that there was one violation for fecal coliform on the Authority's NPDES Permit for the month of April 2025. The recorded rainfall for April was 4.38". The single highest daily flow was 7.5 MGD, with a monthly average flow reported at 3.54 MGD.

Mr. Franks also reported that staff replaced the air diffusers in one of the tanks and that three out of the four air leaks had been fixed so far. Staff is working on getting quotes for the next capital project for the grit auger for the influent grit chamber.

A Hass - Pruitt motion to accept the Manager's report, unanimously carried.

COMMITTEE REPORTS

None.

UNFINISHED BUSINESS

None.

OFFICIAL BOARD ACTION

PAYMENT OF BILLS

- A. A Hass - Hull motion to pay all bills incurred up to tonight's meeting, as presented on the bill list totaling \$167,069.85 for the Operating Fund, \$6,859.00 for the MIPP Fund and \$4,860.47 for the UV Unit Fund, unanimously carried.

ADJOURN

A Pruitt - Hull motion to adjourn the meeting at 7:10 p.m., unanimously carried.

Respectfully Submitted,

Michael Aubertin
Assistant Secretary

May-25

			S. Perkasia	E. Rockhill	Hilltown	Telford	N. Perkasia	Silverdale	9th Street	5th Street
DAY	INF	EFF	NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8
1-Thu	2.462	1.724	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358
2-Fri	2.527	1.713	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358
3-Sat	2.935	2.214	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358
4-Sun	5.042	4.267	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358
5-Mon	3.947	3.319	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358
6-Tue	5.817	4.662	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
7-Wed	4.078	3.116	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
8-Thu	4.449	3.434	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
9-Fri	8.744	7.151	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
10-Sat	5.456	4.379	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
11-Sun	4.377	3.371	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
12-Mon	3.706	2.645	0.0000	0.0000	0.0627	0.7196	0.0000	0.0923	0.0648	0.0897
13-Tue	5.112	4.254	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
14-Wed	11.248	11.413	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
15-Thu	8.647	6.936	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
16-Fri	9.578	8.300	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
17-Sat	7.005	5.658	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
18-Sun	5.710	4.748	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
19-Mon	4.143	3.092	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
20-Tue	3.663	2.602	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
21-Wed	4.983	4.233	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
22-Thu	8.184	7.941	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
23-Fri	6.680	4.635	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
24-Sat	4.699	3.869	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
25-Sun	3.900	3.202	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
26-Mon	3.544	2.688	0.0000	0.0000	0.0786	0.7694	0.0000	0.1209	0.0710	0.0738
27-Tue	3.339	2.651	0.0000	0.0000	0.0651	0.7499	0.0000	0.1009	0.0604	0.0586
28-Wed	4.988	4.123	0.0000	0.0000	0.0651	0.7499	0.0000	0.1009	0.0604	0.0586
29-Thu	4.585	3.838	0.0000	0.0000	0.0651	0.7499	0.0000	0.1009	0.0604	0.0586
30-Fri	5.276	4.338	0.0000	0.0000	0.0651	0.7499	0.0000	0.1009	0.0604	0.0586
31-Sat	8.830	7.286	0.0000	0.0000	0.0651	0.7499	0.0000	0.1009	0.0604	0.0586

TOTAL	167.654	137.802	0.0000	0.0000	2.3087	35.9523	0.0000	3.4210	2.1340	2.3742
AVG.	5.408	4.445	0.0000	0.0000	0.0745	1.1598	0.0000	0.1104	0.0688	0.0766
COUNT	31	31	31	31	31	31	31	31	31	31
MAX.	11.248	11.413	0.0000	0.0000	0.1145	2.8757	0.0000	0.1623	0.1128	0.1083
MIN.	2.462	1.713	0.0000	0.0000	0.0386	0.3300	0.0000	0.0576	0.0184	0.0358

May-25

	E. Rockhill	Hilltown	Perkasie	Sellersville	Silverdale	Telford		
	Meters	Meters	Meters	Meters	Meters	Meters		
			#1+#5+	Inf. Mag -				
P W T A	#2-#8	#3-#6	#7-#8-	0.25+#1+#4	6	4	WEEKLY	
			(#2+#3)	plus #5+#7			AVG	RAIN

Date

	1-Thu	-0.0358	-0.0190	0.0157	1.8636	0.0576	0.3300	2.2120	0
	2-Fri	-0.0358	-0.0190	0.0157	1.9286	0.0576	0.3300	2.2770	0
F	3-Sat	-0.0358	-0.0190	0.0157	2.3366	0.0576	0.3300	2.6850	0
	4-Sun	-0.0358	-0.0190	0.0157	4.4436	0.0576	0.3300	4.7920	0.72
L	5-Mon	-0.0358	-0.0190	0.0157	2.7842	0.0576	0.3300	3.1326	0.62
	6-Tue	-0.0897	-0.0296	0.0918	4.7826	0.0923	0.7196	5.5670	0.74
O	7-Wed	-0.0897	-0.0296	0.0918	3.0436	0.0923	0.7196	3.8280	0
	8-Thu	-0.0897	-0.0296	0.0918	3.4146	0.0923	0.7196	4.1990	0.02
W	9-Fri	-0.0897	-0.0296	0.0918	7.7096	0.0923	0.7196	8.4940	1.11
	10-Sat	-0.0897	-0.0296	0.0918	4.4216	0.0923	0.7196	5.2060	0.13
	11-Sun	-0.0897	-0.0296	0.0918	3.3426	0.0923	0.7196	4.1270	0
	12-Mon	-0.0897	-0.0296	0.0918	4.1981	0.0923	0.7196	4.9824	0
R	13-Tue	-0.1083	-0.0478	0.1065	1.8735	0.1623	2.8757	4.8620	0.03
	14-Wed	-0.1083	-0.0478	0.1065	8.0095	0.1623	2.8757	10.9980	1.71
E	15-Thu	-0.1083	-0.0478	0.1065	5.4085	0.1623	2.8757	8.3970	0.83
	16-Fri	-0.1083	-0.0478	0.1065	6.3395	0.1623	2.8757	9.3280	0.1
P	17-Sat	-0.1083	-0.0478	0.1065	3.7665	0.1623	2.8757	6.7550	0.86
	18-Sun	-0.1083	-0.0478	0.1065	2.4715	0.1623	2.8757	5.4600	0.01
O	19-Mon	-0.1083	-0.0478	0.1065	4.1105	0.1623	2.8757	7.0990	0
	20-Tue	-0.0738	-0.0423	0.0661	2.5726	0.1209	0.7694	3.4130	0
R	21-Wed	-0.0738	-0.0423	0.0661	3.8926	0.1209	0.7694	4.7330	0
	22-Thu	-0.0738	-0.0423	0.0661	7.0936	0.1209	0.7694	7.9340	0.8
T	23-Fri	-0.0738	-0.0423	0.0661	5.5896	0.1209	0.7694	6.4300	0.56
	24-Sat	-0.0738	-0.0423	0.0661	3.6086	0.1209	0.7694	4.4490	0
	25-Sun	-0.0738	-0.0423	0.0661	2.8096	0.1209	0.7694	3.6500	0.02
	26-Mon	-0.0738	-0.0423	0.0661	4.0029	0.1209	0.7694	4.8433	0
	27-Tue	-0.0586	-0.0358	0.0540	2.2787	0.1009	0.7499	3.0890	0
	28-Wed	-0.0586	-0.0358	0.0540	3.9277	0.1009	0.7499	4.7380	0.04
	29-Thu	-0.0586	-0.0358	0.0540	3.5247	0.1009	0.7499	4.3350	0.63
	30-Fri	-0.0586	-0.0358	0.0540	4.2157	0.1009	0.7499	5.0260	0.05
	31-Sat	-0.0586	-0.0358	0.0540	4.3433	0.1009	0.7499	5.1536	1.13

TOTAL	-2.3742	-1.1124	2.1996	124.1086	3.4210	35.9523	162.1949	10.1100
AVGERAGE	-0.0766	-0.0359	0.0710	4.0035	0.1104	1.1598	5.2321	0.3261
% OF TOTAL	-1.5	-0.7	1.4	76.5	2.1	22.2	100%	

**PUBLIC WORKS
SUPERINTENDENTS REPORT JUNE 2025**

FUNCTION	MAN HOURS	OT HOURS	GROSS PAYROLL
Street Maintenance	36.00		\$1,116.55
Leaf Collection			
Parks and Playgrounds			
Refuse Collection	390.00		\$10,201.05
Recycling	302.00		\$7,685.38
Winter Maintenance			
Grounds Maintenance	518.00	1.00	\$16,258.50
Janitor -Borough Wide	114.00		\$3,570.48
Traffic Control	7.00		\$243.04
Borough Hall			
Pool	22.50		\$781.20
Other Mowing			
Supervision			
Workers' Comp.	120.00		\$2,113.56
Miscellaneous			
Stand-by Time	28.00		\$1,329.59
Vacation	136.00		\$4,128.40
Sick Time	76.00		\$2,299.20
Personal/Bereavement	52.00		\$1,553.64
Education			
Comp time added	72.00		
Comp time used	135.75		\$4,177.13
Special Projects	90.00		\$2,862.23
Park & Rec Projects			
Community & Economic Development			
Assist Fire Co.			
Safety Meetings			
Holiday			
Total Overtime for Month		1.00	
Grand Totals	2099.25		\$58,319.95

**PUBLIC WORKS DEPARTMENT
DIRECTOR'S ACTIVITY REPORT**

- Attend meetings, Council, staff and engineering
- Prepare department task list
- Approved invoices submitted for payment
- Order and pick up supplies
- Deliver trash bags to vendors
- Meet with staff to discuss department related issues
- Handle residents' concerns over department related issues
- Arrange for picking up recyclable materials
- Performed monthly Borough Hall safety inspection
- Prepared letters, reports and memos
- Had curb lone sprayed
- Had 9th street lines painted

**PUBLIC WORKS DEPARTMENT
CREW ACTIVITY REPORT**

- Pick up trash and recyclable materials curbside
- Haul trash and recyclable materials for disposal
- Open and clean park restrooms daily
- Clean bike path and remove trash
- Pick up litter in parks
- Deliver trash bags to vendors
- Perform maintenance on department vehicles
- Baled Cardboard and Paper
- Cleaned Borough Buildings
- Removed trees from park system
- Mowed Borough Properties
- Installed 25 MPH signs on 7th and 9th streets
- Worked at the Farmers Market
- Worked at Community Day
- Loaded out 20 bales of mixed paper or 1 trailer load
- Picked up 202.96 tons of refuse from the street
- Picked up 21.27 tons of comingled recyclables from the street
- Worked on installing Mural on the train car

ELECTRIC DEPARTMENT SUPERINTENDENT'S REPORT JUNE 2025

FUNCTION	MAN HOURS	OT HOURS	GROSS PAYROLL
OVERHEAD DISTRIBUTION	542	11	\$30,337.71
115 Repair Damaged Equipment Struck By Vehicle			
UNDERGROUND DISTRIBUTION			
206 Repair Damaged Equipment By Dig-ins			
METERING			
303 Check ERT's			
309 Hand Out Yellow / Red Tags			
310 Disconnect / Reconnect Delinquents			
CALL OUTS	28.00		\$2,283.42
NEW OVERHEAD CONSTRUCTION			
NEW CONSTRUCTION UNDERGROUND			
STORM DAMAGE AND TROUBLE			
POOL			
608 Snow Plowing			
STREET LIGHTING			
807 Christmas Lights			
VEHICLE & EQUIPMENT MAINTENANCE			
TREE TRIMMING	14.00		\$752.64
1204 Brush Chipping Program			
1207 Utility Line Maint. & Tree Trimming			
CUSTOMER SERVICE			
SPECIAL PROJECTS			
SUPERVISION			
BOROUGH HALL			
MISCELLANEOUS	91.00		\$5,051.96
1009 Setup For Events			
1010 Public Events			
SICK	476.00		\$25,603.36
VACATION	228.00		\$12,447.68
PERSONAL	12.00		\$645.12
BEREAVEMENT			
SUBSTATION			
COMP TIME ADDED	4.50		
COMP TIME USED	16.75		\$902.18
HOLIDAY			
SCHOOL/EDUCATION			
TOTAL OVERTIME FOR THE MONTH		11	
GRAND TOTALS	1412.50		\$78,024.07

June 2025 Monthly Report

Electric Department

- Supervision and Administration
 - Fill out Job Order Forms
 - Attend meetings
 - Staff meetings
 - Council meetings
 - Tech committee meeting
 - Timesheets / Gang reports
 - Inventory / Pickup materials
- Line-work
 - 100 Block S. 4th St - Remove/reinstall secondary service for tree work
 - N. Ridge Rd – Relocate guy pole and anchor
 - N. 5th – Remove coverup for contractor
- Tree work
 - Brush chipping program first Wednesday of the month
 - Trim trees at various locations around the primary and secondary wires
- Trouble calls
 - E. Walnut St – Primary outage
 - Arch St – Low wire concern
 - Walnut St – Streetlight hit by vehicle
- Metering
 - Change Meters
 - Collect final readings
 - Check bad ERTs in meters
 - Monthly meter reading
 - Hand out yellow & red tags
 - Disconnect & reconnect delinquent accounts
 - AMI meter replacement project
- Locate underground wires
 - PA-ONE calls
 - Emergency PA-One call outs
- Street Lighting
 - Repair streetlights at various locations
 - School Warning Lights – shutdown for summer
- Substation
 - Perform weekly substation checks
 - Projects review with Engineers

- Borough Buildings
 - Public Works – Secondary trouble/breaker tripping
 - Shop maintenance
 - Menlo Pool – Pool pump controls
- Education/Training
 - Wesco/Honeywell training event
 - Pole top/Bucket truck rescue training
 - Elastimold event
- Miscellaneous
 - Hang banners
 - Adjust time clocks; Summer hours
 - Fire Company Carnival prep
 - First Friday prep
 - Farmers Market prep
 - Pole inspection prep
 - Community Day event
- Truck maintenance
 - Wash trucks
 - Chainsaw maintenance
 - Monthly truck inspections
 - Trk 23 & 22 - DC Hi-Pot and PM
 - Trk 24 inspection and repairs

Borough of Perkasio

Calendar Year 2025



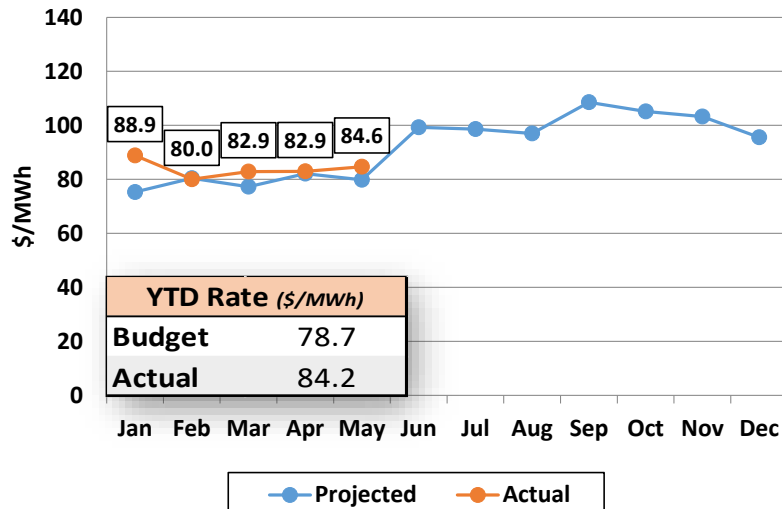
Wholesale Power Cost Summary May 2025



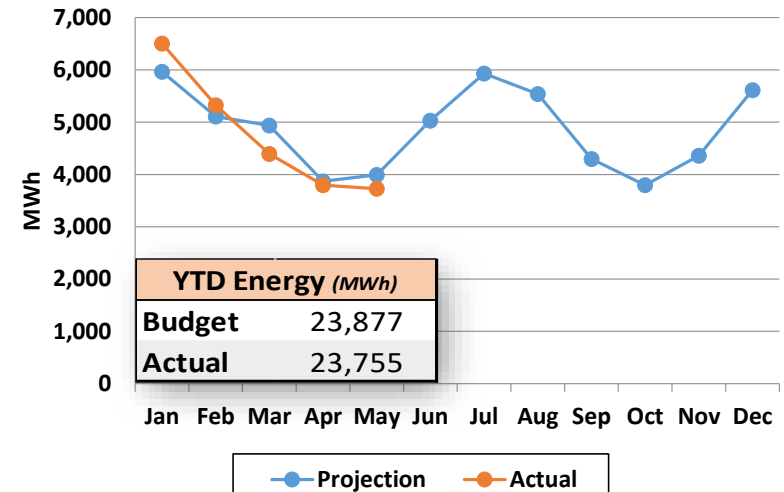


2025 Year to Date Wholesale Power Summary

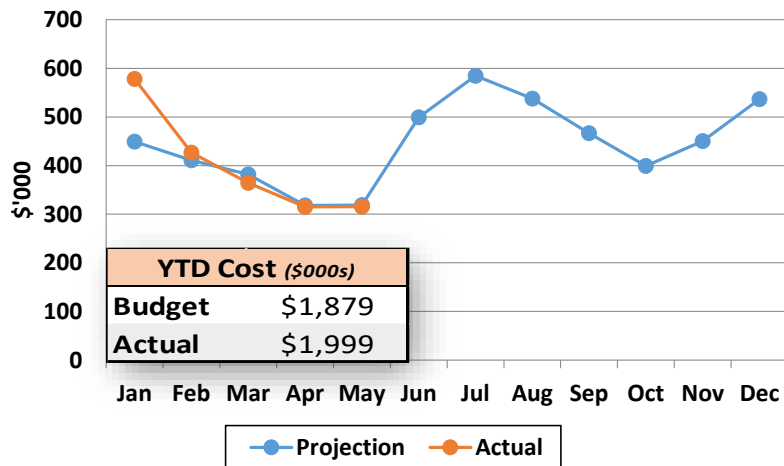
All-in Wholesale Power Rate



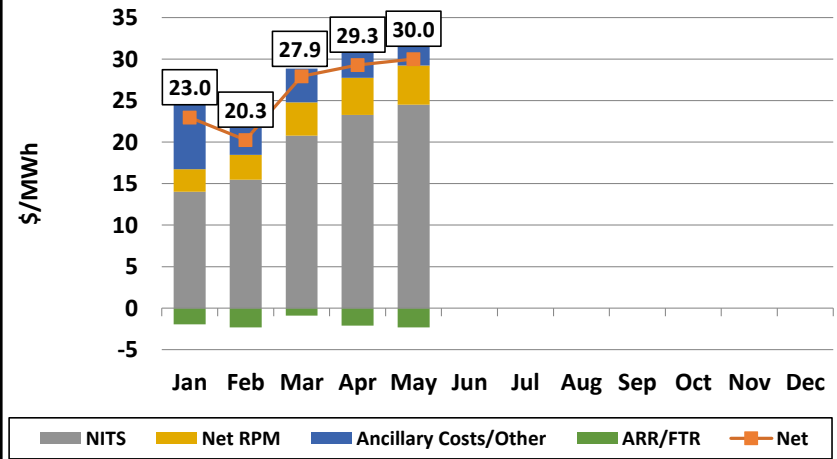
Total Energy Requirements



All-in Wholesale Power Cost



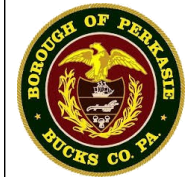
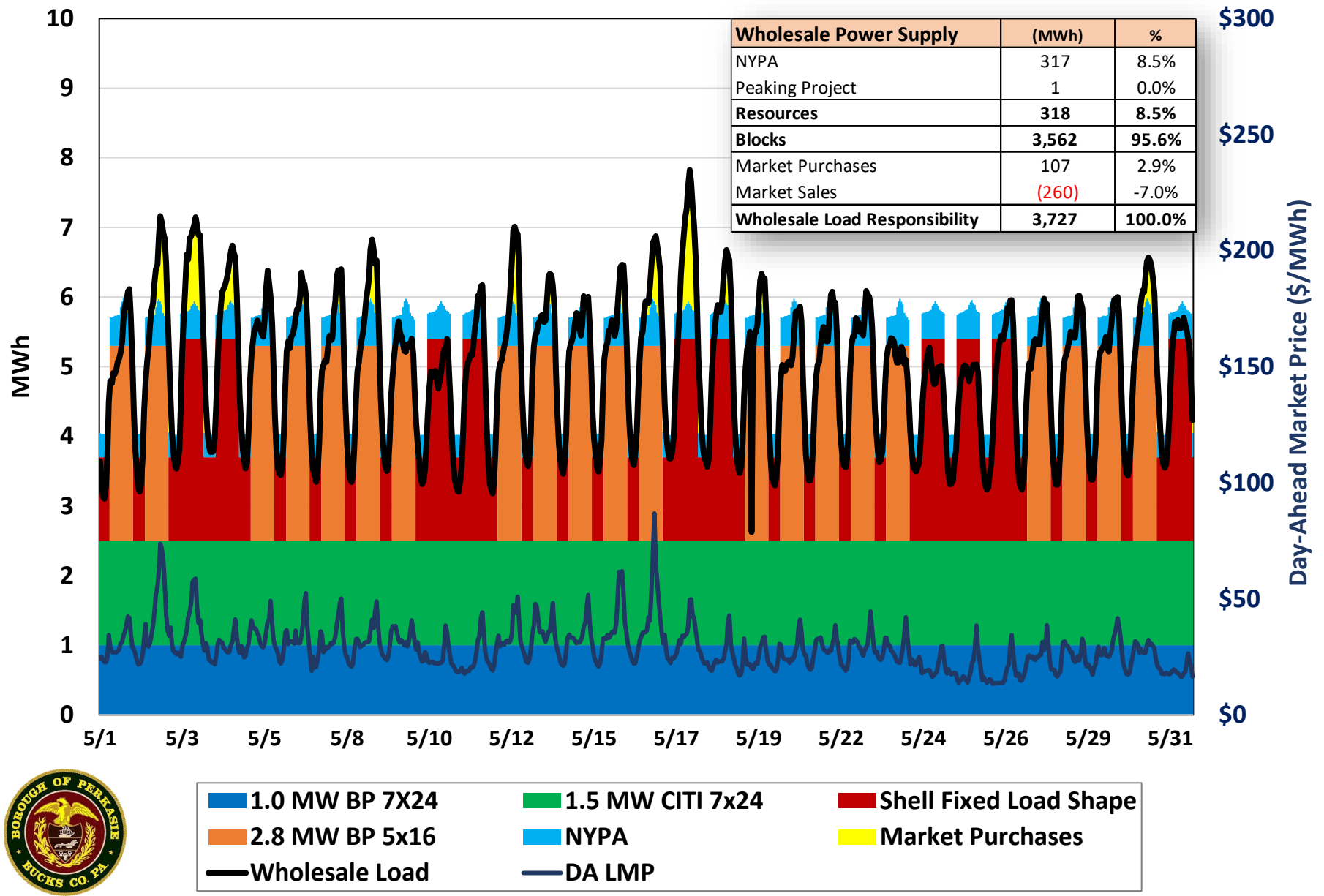
PJM Rates



1/ Excludes PJM Market Interaction Costs

2/ Net RPM is capacity load costs less capacity generation credits

Hourly Perkasio Load Wholesale Power Supply



Borough of Perkasi



2025 Year to Date Summary

All-In Rate Summary

	Resource Cost ¹		Purchased Blocks ¹		Market Purchases ¹		Market Sales ¹		Total Energy Cost		PJM Cost ²		Miscellaneous Costs ³		All-In Rate ⁴		Delta
	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	
	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)	(\$/MWh)
Jan-25	\$170.61	\$162.54	\$47.74	\$51.66	\$67.22	\$112.54	\$41.30	\$26.13	\$54.65	\$64.44	\$19.14	\$22.96	\$1.53	\$1.46	\$75.33	\$88.86	13.53
Feb-25	\$193.15	\$156.21	\$47.52	\$50.35	\$64.65	\$63.15	\$31.79	\$26.77	\$56.78	\$58.36	\$22.07	\$20.26	\$1.56	\$1.43	\$80.40	\$80.05	(0.35)
Mar-25	\$178.21	\$129.58	\$44.70	\$44.72	\$50.09	\$51.60	\$29.86	\$31.17	\$52.99	\$53.32	\$22.75	\$27.94	\$1.56	\$1.62	\$77.30	\$82.88	5.59
Apr-25	\$184.00	\$181.78	\$41.47	\$40.70	\$43.37	\$50.30	\$26.72	\$27.25	\$51.99	\$51.97	\$28.54	\$29.29	\$1.61	\$1.69	\$82.14	\$82.95	0.81
May-25	\$181.38	\$166.93	\$39.83	\$40.59	\$48.02	\$43.97	\$24.55	\$25.38	\$50.55	\$52.54	\$27.73	\$30.01	\$1.60	\$2.10	\$79.88	\$84.65	4.76
Jun-25	\$286.74	-	\$44.57	-	\$54.90	-	\$27.32	-	\$62.56	-	\$35.13	-	\$1.57	-	\$99.25	-	
Jul-25	\$282.61	-	\$49.16	-	\$98.36	-	\$32.25	-	\$66.99	-	\$30.08	-	\$1.54	-	\$98.61	-	
Aug-25	\$276.98	-	\$47.09	-	\$65.93	-	\$38.76	-	\$63.39	-	\$32.07	-	\$1.55	-	\$97.01	-	
Sep-25	\$353.16	-	\$46.41	-	\$56.72	-	\$32.17	-	\$66.13	-	\$40.82	-	\$1.59	-	\$108.55	-	
Oct-25	\$307.95	-	\$36.32	-	\$57.36	-	\$28.56	-	\$57.52	-	\$45.98	-	\$1.61	-	\$105.12	-	
Nov-25	\$318.90	-	\$42.78	-	\$56.50	-	\$29.73	-	\$61.41	-	\$40.27	-	\$1.58	-	\$103.26	-	
Dec-25	\$306.79	-	\$48.53	-	\$58.23	-	\$33.51	-	\$62.41	-	\$31.67	-	\$1.54	-	\$95.61	-	
YTD	\$181.22	\$161.80	\$44.77	\$46.37	\$56.46	\$79.02	\$32.38	\$28.41	\$53.64	\$57.16	\$23.48	\$25.39	\$0.02	\$1.62	\$78.69	\$84.17	\$5.49

1/ Resource, Purchased Blocks and Market Purchase/Sales include applicable Congestion and Losses costs. Each of these categories are weighted by their applicable energy amounts.

2/ Includes NITS Charge, Net RPM Cost, Ancillary Services Cost and ARR/FTRs Credits, Other Transmission Charges, Admin Fees and Load Reconciliation

3/ Includes AMP Service Fees

4/ All-In Rate is based on Total Sales

Borough of Perkasio



2025 Year to Date Summary

Energy Supply Summary (MWh)

	NYPA			Market Purchases		Market Sales	
	Projected	Actual	Capacity Factor ¹	Projected	Actual	Projected	Actual
	(MWh)	(MWh)	(%)	(MWh)	(MWh)	(MWh)	(MWh)
Jan-25	276	343	82%	294	639	(243)	(139)
Feb-25	250	297	79%	435	541	(218)	(157)
Mar-25	277	339	81%	288	115	(163)	(591)
Apr-25	267	267	66%	210	207	(149)	(228)
May-25	277	317	76%	255	107	(100)	(260)
Jun-25	246	-	0%	472	-	(187)	-
Jul-25	247	-	0%	374	-	(419)	-
Aug-25	254	-	0%	275	-	(529)	-
Sep-25	240	-	0%	551	-	(373)	-
Oct-25	277	-	0%	192	-	(165)	-
Nov-25	268	-	0%	263	-	(284)	-
Dec-25	276	-	0%	331	-	(225)	-
YTD	1,347	1,562	77%	1,481	1,609	(873)	(1,375)

1/ The Capacity Factor is based on the actual generation.

Borough of Perkasio



2025 Year to Date Summary

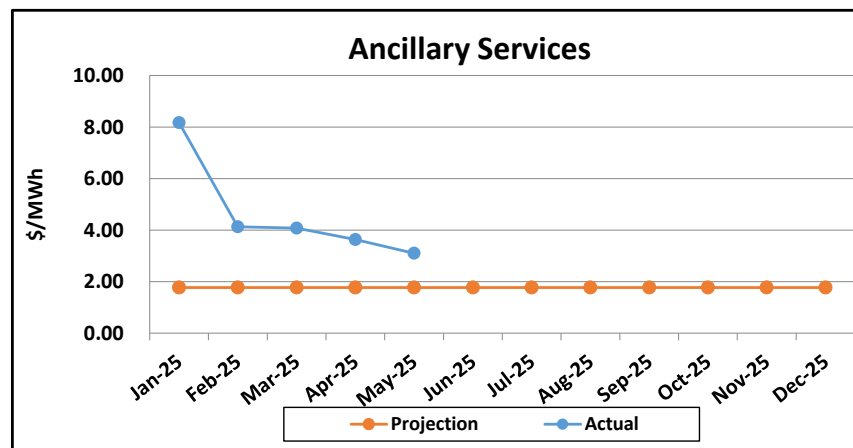
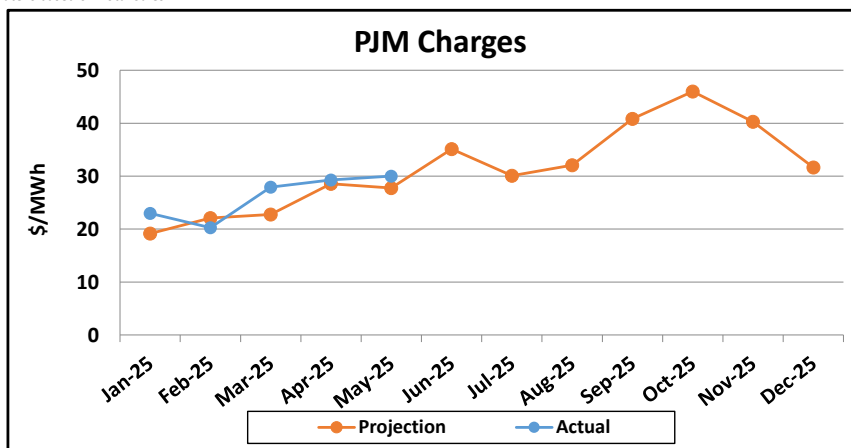
PJM Charge Summary (excl. PJM Market Interaction Costs)

	NITS		Net RPM ¹		ARR/FTR		Ancillary Services/Other ²		Total		Contribution to All-In Rate ³		Delta
	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	Projected	Actual	
	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$000)	(\$/MWh)	(\$/MWh)
Jan-25	87	91	17	18	-	(13)	11	53	114	149	\$19.14	\$22.96	\$3.81
Feb-25	87	82	17	16	-	(12)	9	22	113	108	\$22.07	\$20.26	(\$1.81)
Mar-25	87	91	17	18	-	(4)	9	18	112	123	\$22.75	\$27.94	\$5.19
Apr-25	87	88	17	17	-	(8)	7	14	111	111	\$28.54	\$29.29	\$0.75
May-25	87	91	17	18	-	(9)	7	12	111	112	\$27.73	\$30.01	\$2.27
Jun-25	87	-	81	-	-	-	9	-	177	-	\$35.13	-	-
Jul-25	87	-	81	-	-	-	10	-	178	-	\$30.08	-	-
Aug-25	87	-	81	-	-	-	10	-	178	-	\$32.07	-	-
Sep-25	87	-	81	-	-	-	8	-	175	-	\$40.82	-	-
Oct-25	87	-	81	-	-	-	7	-	175	-	\$45.98	-	-
Nov-25	87	-	81	-	-	-	8	-	176	-	\$40.27	-	-
Dec-25	87	-	81	-	-	-	10	-	178	-	\$31.67	-	-
YTD	436	445	83	86	0	(46)	42	118	561	603	23.48	25.39	1.92

1/ Net RPM is the RPM Cost less the Generator's RPM Credits.

2/ Ancillary services/Other also includes: Admin fees, Load Reconciliation and Other Transmission Charges

3/ The Rate is based on Total Sales



Borough of Perkasio



May 2025

	Projected			Actual			Delta		
	Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)
	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)
Invoice Summary¹									
1. AMP	3,992	\$49.70	\$198,410	3,727	\$55.15	\$205,542	(265.36)	\$5.45	\$7,132
(a) NYPA	277	\$29.18	\$8,074	317	\$25.41	\$8,048	40.11	(\$3.78)	(\$26)
(b) PA Peaking Project	0	-	\$42,104	1.2	-	\$45,033	1.24	-	\$2,929
(c) Purchased Blocks	3,561	\$39.83	\$141,836	3,563	\$40.59	\$144,619	2.50	\$0.75	\$2,783
(d) Miscellaneous Costs ²	3,992	\$1.60	\$6,395	3,727	\$2.10	\$7,841	(265.36)	\$0.50	\$1,445
2. PJM	3,992	\$30.18	\$120,489	3,727	\$29.49	\$109,916	(265.36)	(\$0.69)	(\$10,573)
(a) Market Purchases	255	\$48.02	\$12,222	107	\$43.97	\$4,697	(147.70)	(\$4.05)	(\$7,525)
(b) Market Sales	(100)	\$24.55	(\$2,450)	(260)	\$25.38	(\$6,609)	(160.61)	\$0.83	(\$4,159)
(c) Charges/(Credits) ³	3,992	\$27.73	\$110,717	3,727	\$30.01	\$111,828	(265.36)	\$2.27	\$1,111
3. Total Wholesale Power Costs⁴:	3,992	\$79.88	\$318,898	3,727	\$84.65	\$315,458	(265)	\$4.76	(\$3,441)

1/ Resource, Purchased Blocks and Market Purchase/Sales includes Congestion and Losses costs.

2/ Miscellaneous Costs incl. AMP Service Fees

3/ Includes Net RPM (RPM Charges and RPM Credits) for each Resource

4/Based on Total Sales

Borough of Perkasio



May 2025

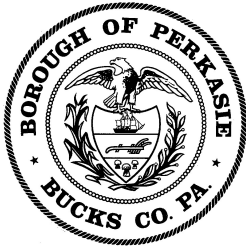
	Projection			Actual			Delta		
	Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)
	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)
AMP									
Resources									
1. NYPA									
2. Fixed Charge	0.6	\$4.13	\$2,309	0.6	\$4.06	\$2,268	0	(0.07)	(\$41)
3. Energy Charge	277	\$19.58	\$5,417	317	\$5.49	\$1,738	40	(14.09)	(\$3,678)
4. Other Adjustments			\$0			\$290	0	0.00	\$290
5. Congestion & Losses	277	\$1.26	\$348	317	\$11.84	\$3,752	40	10.59	\$3,404
6. All in Cost	277	\$29.18	\$8,074	317	\$25.41	\$8,048	40	(3.78)	(\$26)
7. PA Peaking Project									
8. Fixed Charge	4.8	\$1.80	\$8,640	4.3	\$0.00	\$0	(0)	(1.80)	(\$8,640)
9. Energy Charge	0	\$0.00	\$0	1.2	\$315.40	\$391	1	315.40	\$391
10. Congestion & Losses	0	\$0.00	\$0	1.2	\$0.00	\$0	1	0.00	\$0
11. Other Adjustments	4.8	\$6.97	\$33,464	4.3	\$10.33	\$44,642	(0)	3.36	\$11,177
12. All in Cost (\$/kW-mo)	4.8	\$8.77	\$42,104	4.3	\$10.42	\$45,033	(0)	1.65	\$2,929
13. Total - Resources	277	\$181.38	\$50,178	318	\$166.93	\$53,081	41	(14.45)	\$2,903
Purchased Blocks									
14. BP 1.0 MW 7x24 (PPL)									
15. Energy Charge	744	\$34.71	\$25,824	744	\$34.71	\$25,824	0	0.00	\$0
16. Congestion & Losses	744	(\$0.68)	(\$509)	744	(\$0.64)	(\$476)	0	0.04	\$33
17. All in Cost	744	\$34.03	\$25,315	744	\$34.07	\$25,348	0	0.04	\$33
18. BP 2.8 MW 5x16 (PPL)									
19. Energy Charge	986	\$40.91	\$40,321	941	\$40.91	\$38,488	(45)	0.00	(\$1,833)
20. Congestion & Losses	986	(\$2.87)	(\$2,825)	941	(\$1.24)	(\$1,163)	(45)	1.63	\$1,662
21. All in Cost	986	\$38.04	\$37,496	941	\$39.67	\$37,325	(45)	1.63	(\$171)
22. Shell Fixed Load Shape 2x16 (PPL)									
23. Energy Charge	418	\$64.85	\$27,081	464	\$64.85	\$30,090	46	0.00	\$3,009
24. Congestion & Losses	418	\$1.15	\$479	464	(\$0.24)	(\$112)	46	(1.39)	(\$592)
25. All in Cost	418	\$66.00	\$27,561	464	\$64.61	\$29,978	46	(1.39)	\$2,418
26. Shell Fixed Load Shape 5x16 (PPL)									
27. Energy Charge	0	\$64.85	\$0	0	\$64.85	\$0	0	0.00	\$0
28. Congestion & Losses	0	\$0.00	\$0	0	\$0.00	\$0	0	0.00	\$0
29. All in Cost	0	\$0.00	\$0	0	\$0.00	\$0	0	0.00	\$0
30. Shell Fixed Load Shape 7x8 (PPL)									
31. Energy Charge	298	\$64.85	\$19,299	299	\$64.85	\$19,358	1	0.00	\$58
32. Congestion & Losses	298	\$1.15	\$342	299	(\$0.09)	(\$27)	1	(1.24)	(\$368)
33. All in Cost	298	\$66.00	\$19,641	299	\$64.76	\$19,331	1	(1.24)	(\$310)
34. CITI 1.5 MW 7x24 (PPL Resid)									
35. Energy Charge	1,116	\$29.20	\$32,587	1,116	\$29.20	\$32,587	0	0.00	\$0
36. Congestion & Losses	1,116	(\$0.68)	(\$764)	1,116	\$0.04	\$50	0	0.73	\$813
37. All in Cost	1,116	\$28.52	\$31,823	1,116	\$29.24	\$32,637	0	0.73	\$813
38. Total - Purchased Blocks	3,561	\$39.83	\$141,836	3,563	\$40.59	\$144,619	3	0.75	\$2,783

Borough of Perkasio



May 2025

		Projection			Actual			Delta		
		Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)	Billing Unit	Rate	Total Cost / (Credit)
		(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)	(MWh)/(MW)	(\$/MWh) / (\$/kW-mo)	(\$)
Miscellaneous Costs										
39.	AMP Fees	3,992	\$1.60	\$6,395	3,727	\$2.10	\$7,841	(265)	0.50	\$1,445
40.	Adjustment for Pool Power			\$0			\$0	0	0.00	\$0
41.	Total - Miscellaneous Costs	3,992	\$1.60	\$6,395	3,727	\$2.10	\$7,841	(265)	0.50	\$1,445
42.	Total - AMP			\$198,410			\$205,542	0	0.00	\$7,132
PJM Charges										
43.	Market Interaction									
44.	Net Market Purchases	255	\$48.02	\$12,222	107	\$43.97	\$4,697	(148)	(\$4.05)	(\$7,525)
45.	Day-Ahead Purchases				121	\$41.18	\$4,995	121	\$41.18	\$4,995
46.	Balancing Purchases				36	\$33.92	\$1,235	36	\$33.92	\$1,235
47.	Net Market Sales	(100)	\$24.55	(\$2,450)	(260)	\$25.38	(\$6,609)	(161)	\$0.83	(\$4,159)
48.	Day-Ahead Sales				(233)	\$24.02	(\$5,607)	(233)	\$24.02	(\$5,607)
49.	Balancing Sales				(78)	\$32.55	(\$2,535)	(78)	\$32.55	(\$2,535)
50.	NITS	14	\$6.07	\$87,125	10	\$9.22	\$91,325	(4)	\$3.16	\$4,200
51.	Other Transmission Charges	14	\$0.00	\$0	10	\$0.84	\$8,289	(4)	\$0.84	\$8,289
52.	RPM Capacity									
53.	RPM Charge	16	\$1.11	\$17,379	12	\$1.56	\$18,669	(3)	\$0.45	\$1,290
54.	RPM Credit			(\$854)			(\$1,074)			(\$220)
55.	Net RPM			\$16,525			\$17,595			\$1,070
56.	Ancillary	3,992	\$1.77	\$7,066	3,727	\$0.30	\$1,134	(265)	(\$1.47)	(\$5,933)
57.	ARR/FTR Credits	3,992	\$0.00	\$0	3,727	(\$2.32)	(\$8,639)	(265)	(\$2.32)	(\$8,639)
58.	Administration Charges	3,992	\$0.00	\$0	3,727	\$0.57	\$2,125	(265)	\$0.57	\$2,125
59.	True-Up Load Reconciliation			\$0			\$0			\$0
60.	Total PJM Charges	3,992	\$30.18	\$120,489	3,727	\$29.49	\$109,916	(265)	(\$0.69)	(\$10,573)



BOROUGH OF PERKASIE

MEMORANDUM

Date: July 16, 2025

To: Borough Council

From: Harold Stone, Electric Superintendent

Subject: Participation in Review of AMP Tallgrass Waste-to-Heat Power Project

AMP was approached by Tallgrass, a developer of waste-to-heat generation facilities located in Ohio, with projects proposed in Pickaway and Muskingum counties. AMP has reviewed the project economics and determined them to be favorable for member municipalities with needs that align with the generation profile. The AMP Board of Trustees has authorized staff to move forward with a subscription process for a Power Purchase Agreement (PPA) with Tallgrass.

This memo is to inform Borough Council of an opportunity to participate in a joint review of the proposed Tallgrass waste-to-heat power generation project, facilitated through American Municipal Power (AMP), and to request authorization for Perkasio Borough to join the review effort at a small, shared cost.

Municipalities participating in a joint review of the Tallgrass Project include the Boroughs of Chambersburg and Ephrata, as well as several members of the Blue Ridge Power Agency in Virginia. The review is being supported by GDS Associates on behalf of participating members. Our cost share is \$2,500, approximately 5.5% of the total cost. I feel this allows cost effective access to expert technical and legal review, strength in joint evaluation with other municipal electric utilities, and future opportunity to subscribe to long term renewable energy PPA if aligned with Borough needs.

Included in your packet you will find the following information attached:

1. Summary of your power supply along with recommendation for up to **1.3 MW** of Tallgrass.
2. PowerPoint providing overview of Tallgrass Project and PPA
3. Copy of the Tallgrass PPA for the Pickaway County (Columbus) site. It is the same as the Muskingum County site.
4. Schedule between AMP and Member for Tallgrass Project.
5. Sample ordinance / resolution for approval of the Schedule.

Admin

From: Admin
Sent: Friday, July 18, 2025 12:04 PM
To: Admin
Subject: Tallgrass Purchase Power Agreement (PPA) Opportunity for Perkasio
Attachments: Tallgrass PPA Explanation.pptx; Tallgrass WHP Power Purchase Agreement - Columbus (Execution Version 5.22.25).pdf; Perkasio Summary 2025.docx; Perkasio_2027-011393-SCHED-TallGrass Energy Schedule Template.pdf; Perkasio_2027-011393-SCHED-Tallgrass Member Legislation Template.doc

From: Mike Migliore <mmigliore@amppartners.org>
Sent: Monday, June 9, 2025 2:58 PM
To: Andrea Coaxum; Howie Stone
Cc: Member Relations
Subject: Tallgrass Purchase Power Agreement (PPA) Opportunity for Perkasio

AMP was approached by a developer of waste-to-heat power generating facilities located in Ohio. The developer's name is Tallgrass and the sites being developed are in Pickaway and Muskingum counties in Ohio. AMP has evaluated the Tallgrass Projects, and the economics are positive for Members with needs that align with the project's generation profile. Based on that, the AMP Board of Trustees authorized AMP to proceed with the subscription process for Tallgrass power purchase agreement (PPA). The Tallgrass PPA provides for 120 days, through September 22, 2025 for Members to subscribe.

The Tallgrass PPA has been negotiated and executed. The following are the primary negotiated terms:

- Term: Fifteen (15) Years
 - The estimated commercial operations date (COD) is Q1 2027
- Delivery Point: PJM/AEP interface for each project location
- Pricing: Year 1 at \$59.50/MWh with 2% annual escalation for Term. Net energy cost after Project Attributes is approximately \$44.50 / MWh
- Project Attributes: Energy, PJM Installed Capacity, and Green-e RECs

Please see the following attached information:

1. Summary of your power supply along with recommendation for up to **1.3 MW** of Tallgrass.
2. PowerPoint providing overview of Tallgrass Project and PPA
3. Copy of the Tallgrass PPA for the Pickaway County (Columbus) site. It is the same as the Muskingum County site.

4. Schedule between AMP and Member for Tallgrass Project.
5. Sample ordinance / resolution for approval of the Schedule.

Mike Migliore
Vice President of Power Supply Planning
American Municipal Power, Inc.

Cell / Text: 614-395-5974
Work: 614-540-0921
mmigliore@ampppartners.org

1111 Schrock Road
Columbus, Ohio 43229



May 2025

Perkasie Power Supply and Tallgrass Renewable PPA

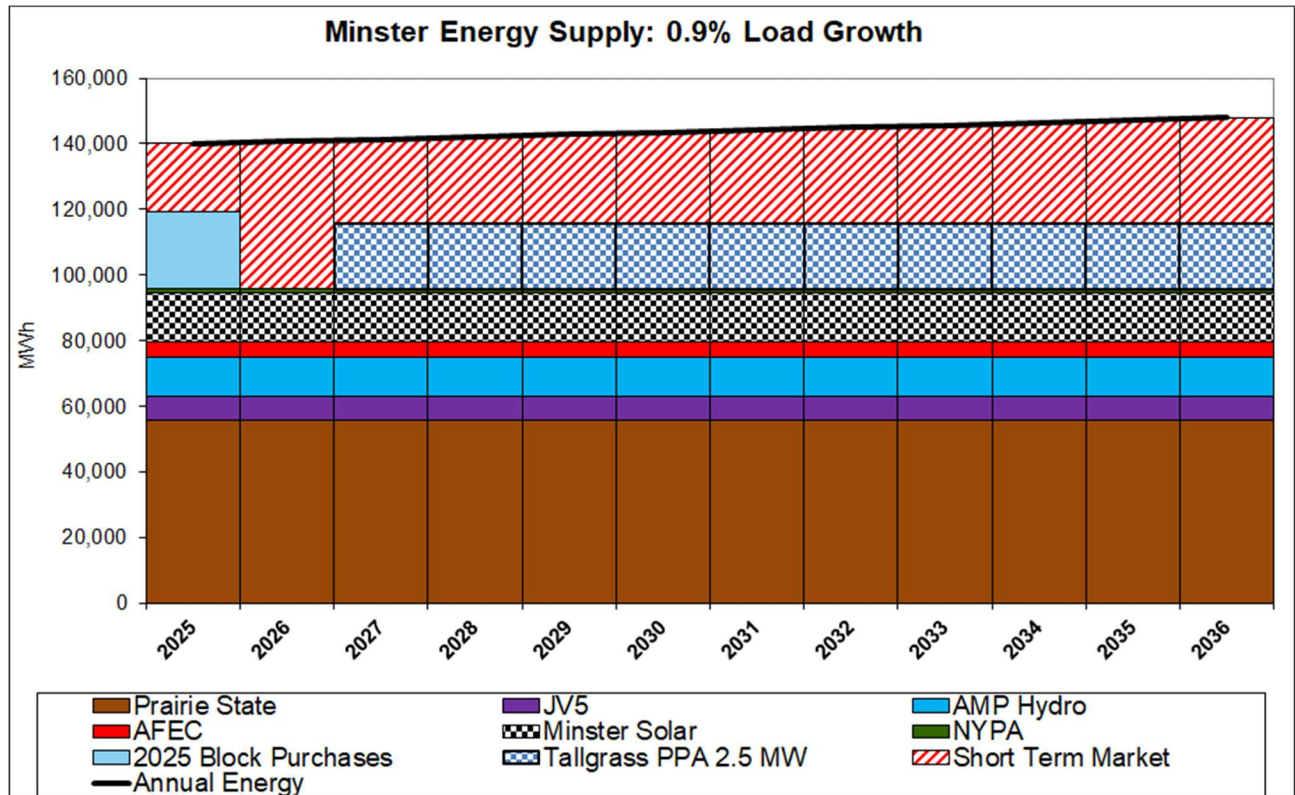
As the electric grid continues to see rapid load growth, and generation supplies struggle to keep up, AMP has been exploring opportunities to provide economical, long-term power supply options for members. AMP has negotiated a power purchase agreement (PPA) with Tallgrass Energy Partners for a sixteen-year 23 MW **renewable** base load power supply. Tallgrass will capture exhaust heat from two of their existing compressor stations, located in Asheville and Philo, Ohio, used to maintain pressure on the Rockies Express natural gas pipeline. The captured heat will be used to create a steam-like vapor to spin a turbine generator and generate electricity. The power will be delivered to AMP on the AEP transmission system in PJM on a near 7x24 basis. The fixed price will provide a hedge against energy prices and PJM installed capacity charges.

AMP is recommending that Perkasie participate in the Tallgrass Project (for a share of both sites) for 1.3 MW. The PPA is scheduled to start on January 1, 2027. Since Tallgrass has granted AMP an exclusive opportunity to sign-up for the power through September 20, 2025, the attached Schedule and Ordinance/Resolution between AMP and Perkasie must be returned by then. At the end of the four-month subscription period, AMP will present the recommended prorated MW allocation of the Project to the AMP Board of Trustees for approval, since the Project will likely be oversubscribed.

The attached presentation provides a summary of the Tallgrass Project. Additional information on your existing power supply and how the Tallgrass power fits is included below.

If you would like more information, please call Mike Migliore at 614-540-0921 (mmigliore@amppartners.org) or Craig Kleinhenz at 614-623-7553 (ckleinhenz@amppartners.org).

Perkasie uses approximately 80,000 MWh of energy per year. Perkasie has the following power supplies in place to meet those projected energy needs. Each resource is shown in the chart and described below. The chart also includes a recommended participation amount in the Tallgrass PPA.



ENERGY SUPPLY RECOMMENDATION

AMP recommends a portfolio approach to energy supply as the best way to respond to the volatility (both up and down) that exists in the energy and capacity markets. A portfolio should be made up of three types of power supply products: Base Load, Intermediate and Peaking.

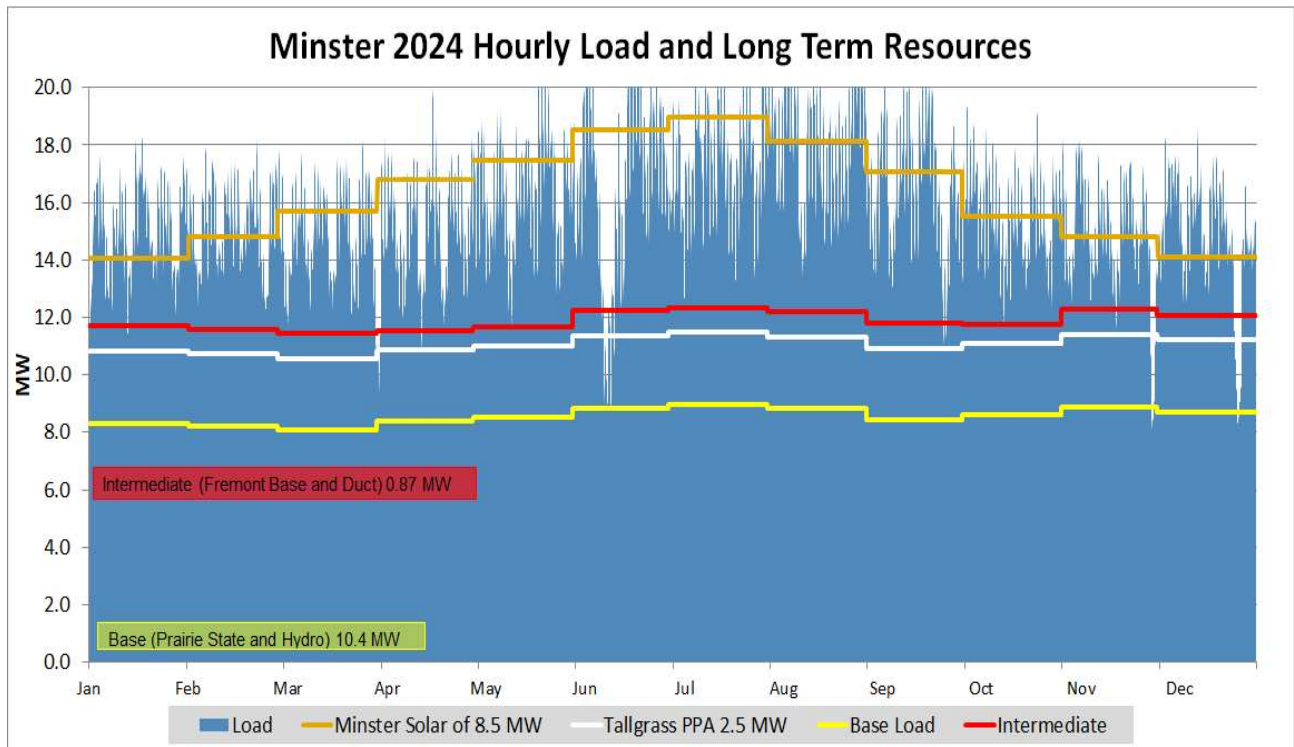
Base Load resources are power supplies that are delivered on a near round-the-clock basis. Prairie State, Hydro, Landfill and Wind facilities provide base load power. **The Tallgrass PPA will be a base load round the clock resource.**

Intermediate resources are power supplies that are typically delivered during what is known as on-peak hours. In the market, on-peak is defined as the 5x16 period (5 days a week, *Monday through Friday* and 16 hours a day, *7 am through 11 pm*). AMP's Fremont combined cycle natural gas plant is considered an intermediate resource.

Peaking resources are supplies that can be delivered over shorter periods when load exceeds the amount of base and intermediate power. AMP typically uses gas turbine, diesel assets or solar for peak power.

TALLGRASS PPA RECOMMENDATION

AMP recommends that Perkasio purchase 1.3 MW from the PPA. This would provide additional baseload power and would provide approximately 5% of Perkasio's annual energy needs and will start in 2027. The chart below shows the Perkasio resource portfolio and how the Tallgrass power would fit in.



DESCRIPTION OF POWER SUPPLY RESOURCES

Prairie State: Perkasio's participation level is 3.981 MW of AMP's 368 MW ownership of Prairie State. The Prairie State plant has a net rated capacity of 1,582 MW and is located in Southern Illinois in MISO. The plant began operation in 2012. Debt collection for the plant is currently scheduled to end in 2043.

OMEGA JV5 Project: Perkasio owns 0.460 MW of the 42 MW project. The OMEGA JV5 Hydro project is made up of two units at the Belleville Hydro plant in PJM and replacement power so that the project delivers 42 MW in every hour. The hydro plant began operation in 1999. Debt collection for the plant is currently scheduled to end in 2029.

Greenup Hydro Project: Perkasio's participation level is 0.251 MW of the 70.2 MW project. The Greenup Hydro project is made up of three units at the Greenup Hydro plant in PJM. The plant began operation in 1982. AMP and member participation in the project started in 2016. Debt on the project will be paid off in 2045.

Meldahl Hydro Project: Perkasio's participation level is 0.383 MW of the 105 MW project. The Meldahl Hydro project is made up of three units at the Meldahl Hydro plant in PJM. The Meldahl hydro project began operation in 2016. Debt on the project will be paid off in 2049.

AMP Hydro Project: Perkasio's participation level is 1.099 MW of the 208 MW project. The AMP Hydro project is made up of two units at the Willow Island Hydro plant in PJM (44.2 MW), three units at the Cannelton Hydro plant in MISO (87.6 MW) and three units at the Smithland Hydro plant in MISO (76.2 MW). The project began operation in 2016. Debt on the project will be paid off in 2049.

Fremont Combined Cycle Project (AFEC): Perkasio's participation level is 2.640 MW of the 675 MW project. The AMP Fremont Energy Center project consists of two gas turbines and a third steam turbine. The base portion of the plant is rated at 512 MW. An additional 163 MW of duct-firing capacity is available from the steam turbine. The Fremont project began operation in 2012. Debt on the project will be paid off in 2043.

AMP Solar Phase II Project: Perkasio's participation level is 1.992 MW of the 58.325 MW project. The Solar Phase II project is made up of 16 behind the meter solar sites. 38.875 MW of the project are from tracker setups, while the remaining 19.45 MW is from fixed panels. All but the 1.305 MW site in Coldwater are located in PJM. Project power purchase agreement with DG AMP Solar will end in 2045.

NYP& Power: Perkasio's allocated level is 0.278 MW from two federal hydro projects in New York (the Niagara Project which began in 1961 and the St. Lawrence Project which began in 1958).

Locust Ridge Wind Project: Perkasio's participation level is 15.900 MW of AMP's purchase of the entire output from the 100 MW project. The Locust Ridge Wind project is located in Northeast Pennsylvania. The purchase agreement with AMP will end on September 30, 2025.

Blue Creek Wind Project: Perkasio's participation level is 15.900 MW of AMP's purchase from the 304 MW project. The Blue Creek Wind Farm is located in Northwest Ohio. The purchase agreement with AMP will end on December 31, 2029.

J Aron Summer 2020-2024 Power Purchase: Perkasio has 1.25 MW of 5x16 power through AMP for the months of July and August from 7/1/2020 through 8/31/2024. The power is at a fixed rate of \$32.50 / MWh.

Hamilton 2022-2024 Remaining Requirements: Perkasio purchased remaining requirements through AMP above existing resources at a fixed rate of \$39.75 / MWh. The power purchase agreement expired 12/31/2024.

Perkasio Solar: 2.8 MW nameplate capacity. The solar plant produces approximately 4,000 MWh of energy per year.

OMEGA JV2 Project: Perkasio owns 1.660 MW of the 134.096 MW project. The OMEGA JV2 project is made up of three gas turbines and thirty-four diesel units located in thirteen AMP member systems in PJM. The units are used mainly for peak shaving, which provides savings on PJM transmission and capacity costs. The savings are distributed to participants based on their ownership level of the project. The project began operation in 2002. The project debt has been paid off.

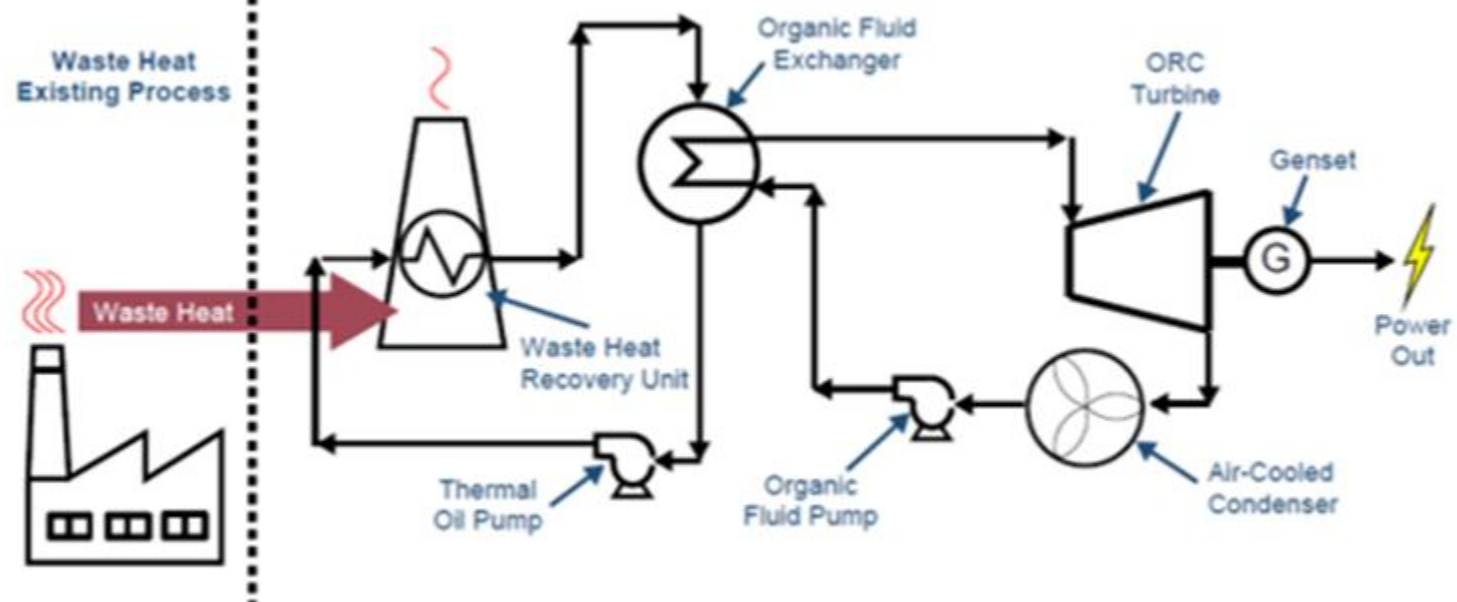
AMP CT Project: Perkasio's participation level is 0.500 MW of the 142 MW project. The AMP CT project is made up of six gas turbines located in three AMP member systems in the FirstEnergy zone of PJM. The units are used mainly for peak shaving, which provides savings on PJM transmission and capacity costs. The savings are distributed to participants based on their percentage contractual level of the project. The project began operation in 2005. The project debt has been paid off.

PA Peak Shaving Project: Perkasio's participation level is 5.40 MW of the 37.8 MW project. The PA Peak Shaving project is made up of 600 kW diesel units located in six sites in the PP&L zone. The units will be used mainly for peak shaving, which providing a savings of PJM transmission and capacity costs. The savings will then be used to pay for the majority of the debt service. Debt pay off is expected to be near 2030.

RTO Peak Shaving Project: Perkasio's participation level is 1.000 MW of the 55.8 MW project. The RTO Peak Shaving project is made up of 540 kW diesel units located in eight sites in FirstEnergy, Penelec and PP&L zones. The units will be used mainly for peak shaving, which providing a savings of PJM transmission and capacity costs. The savings will then be used to pay for the majority of the debt service. Debt pay off is expected to be near 2032.

AMP Waste Heat Recovery Power Purchase Agreement (PPA)

June 2025



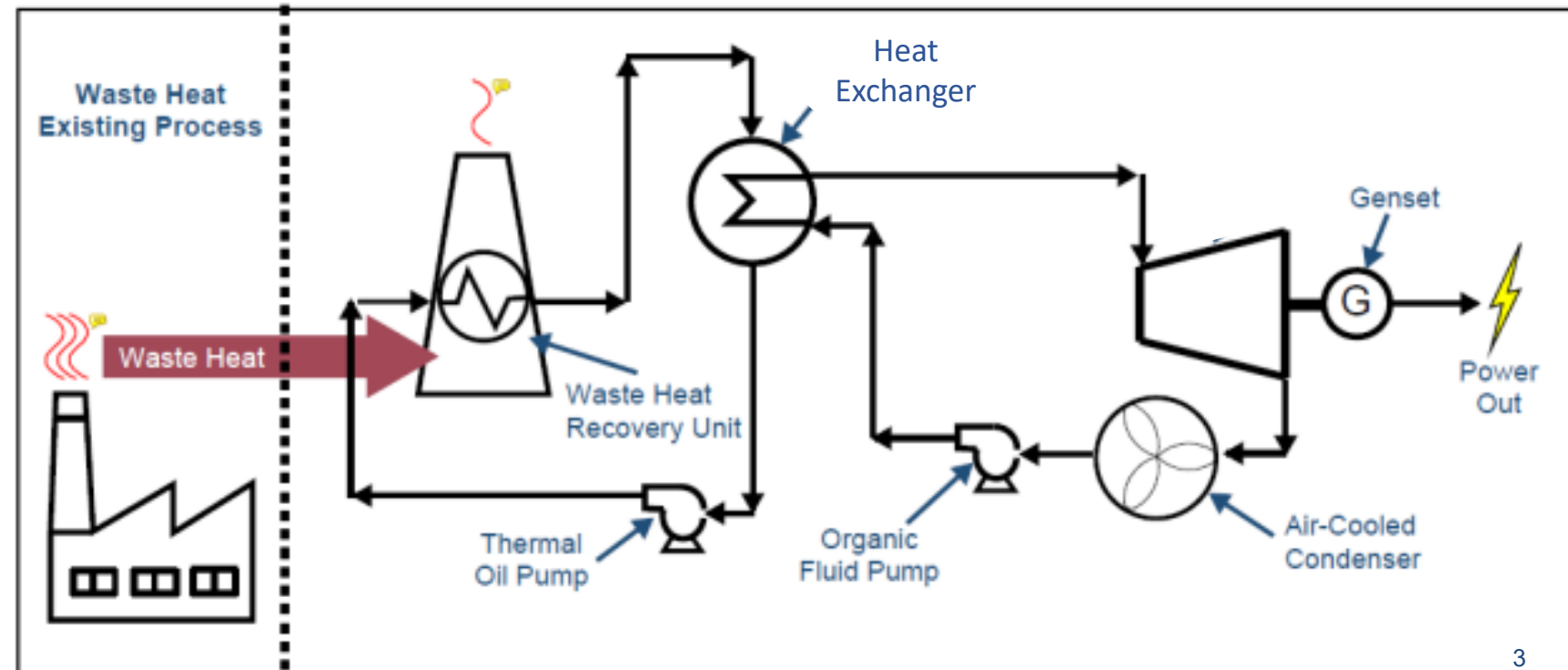
Waste Heat to Power Overview

- Tallgrass, owner of the Rockies Express Pipeline (REX) is developing power projects that convert waste heat at REX compressor stations to baseload, emissions free power.
- The projects utilize a process similar to a combined cycle plant, which is a proven technology to utilize otherwise waste heat into useful electric energy



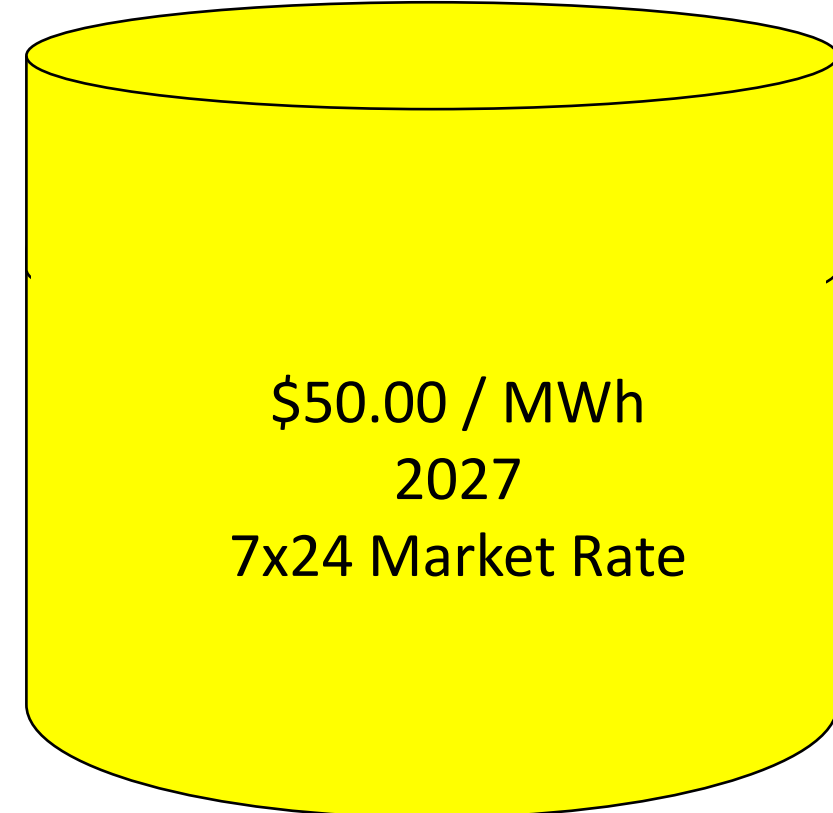
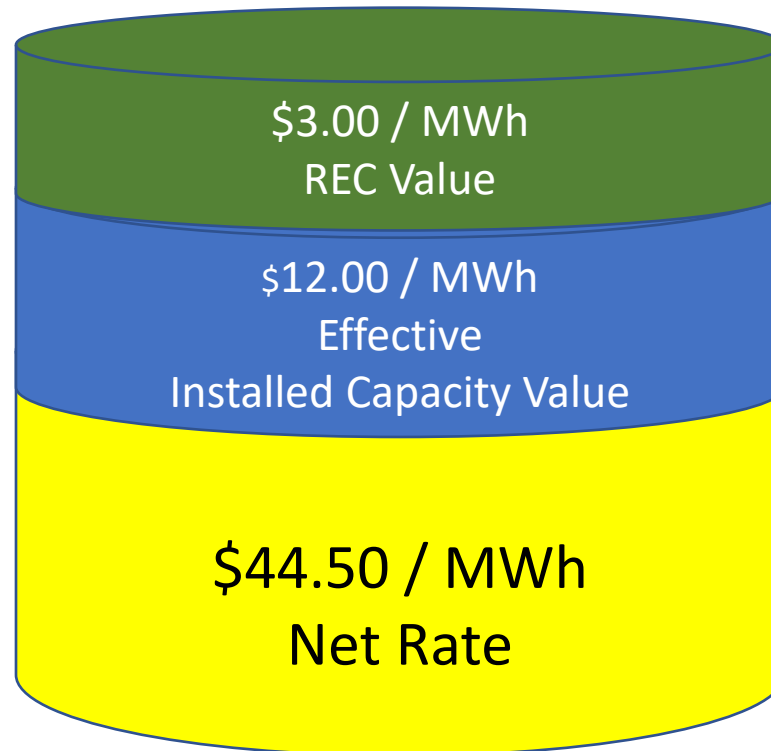
Waste Heat to Power PPAs

- Tallgrass offering two waste heat to power projects in Ohio [Chandlersville/Philo (Muskingum County) and Ashville/Columbus (Pickaway County)], totaling 22.74 MW.
- 16-year term from January 2027 through 2042.
- PPA similar to other Wind, Landfill and Solar PPAs. AMP will not own the facility. We will only pay supplier for energy produced.
- 2027 price of \$59.50/MWh.
- (Escalating 2% annually)
- Price includes: Energy
- PJM Installed Capacity
- Environmental Attributes
 - (RECs / carbon offsets)

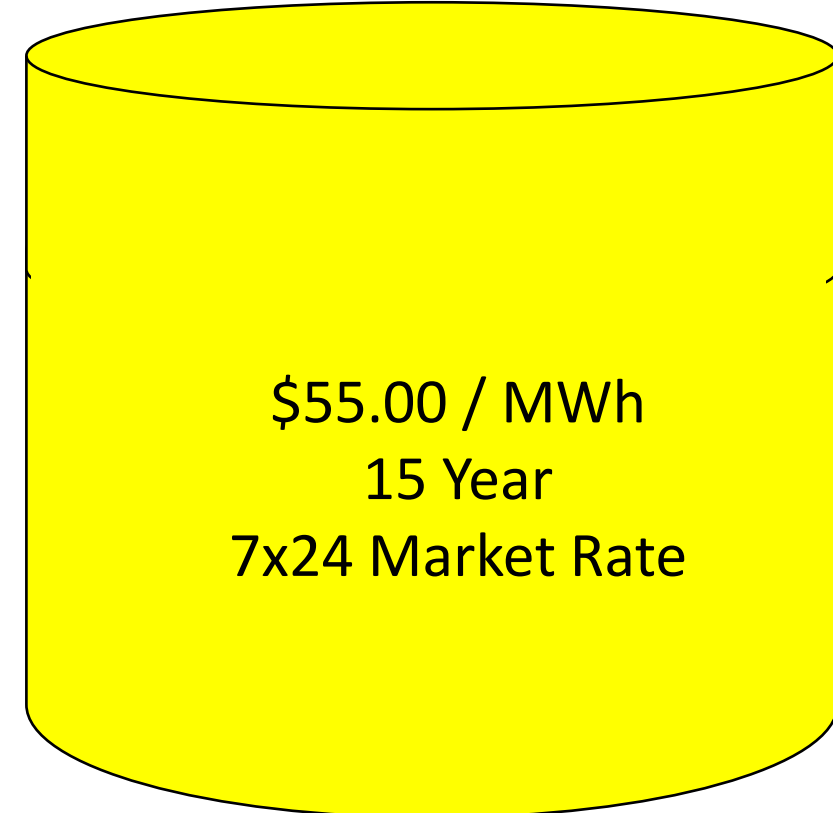
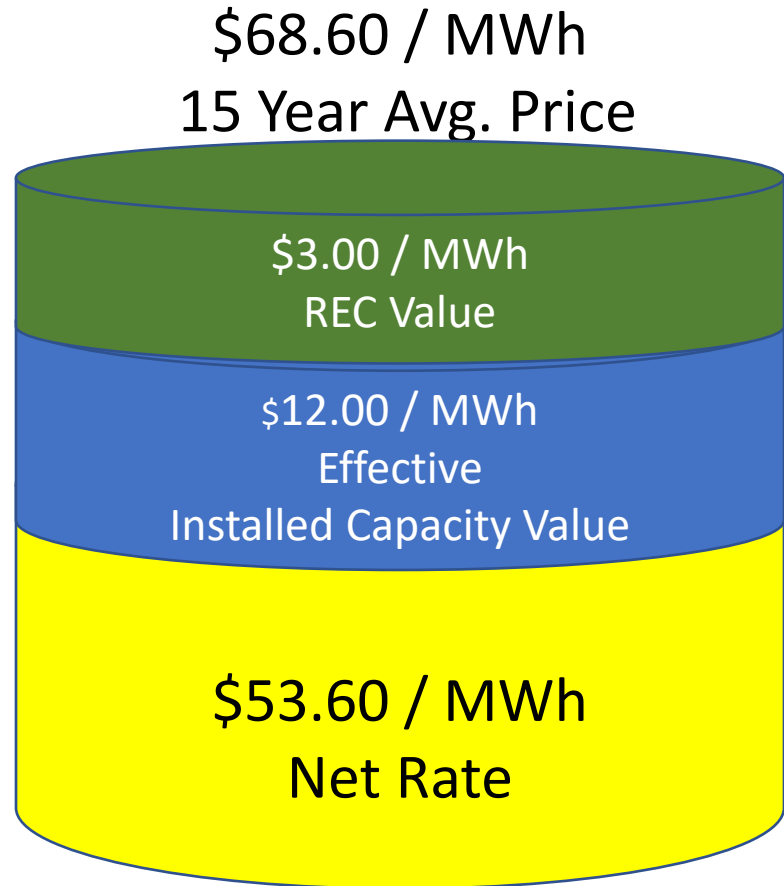


2027 Net Cost of TallGrass Energy

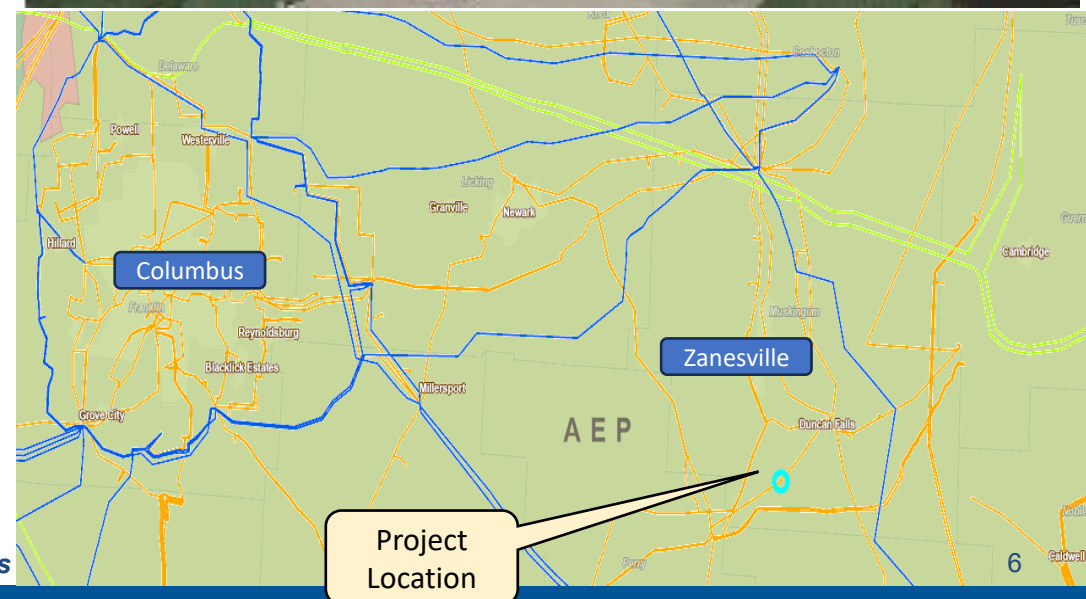
\$59.50 / MWh



15 Year Avg. Net Cost of TallGrass Energy

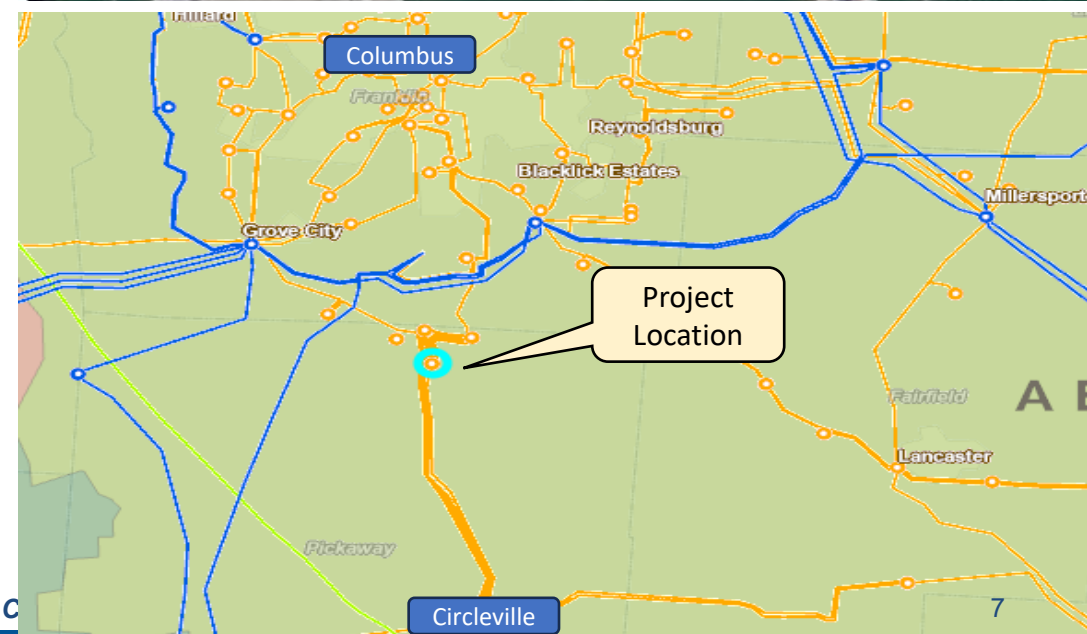


- 9.84 MW Waste Heat to Power
- Located in Muskingum County, Ohio
- Connected to Guernsey-Muskingum 12kV distribution with wheeling agreement to deliver to AMP at PJM interface (AEP 138kV – Cannelville Station)
- Tallgrass delivers to PJM interface
 - Historical congestion to A/D Hub has been slightly negative.
- Expected annual energy of 82,000 MWh



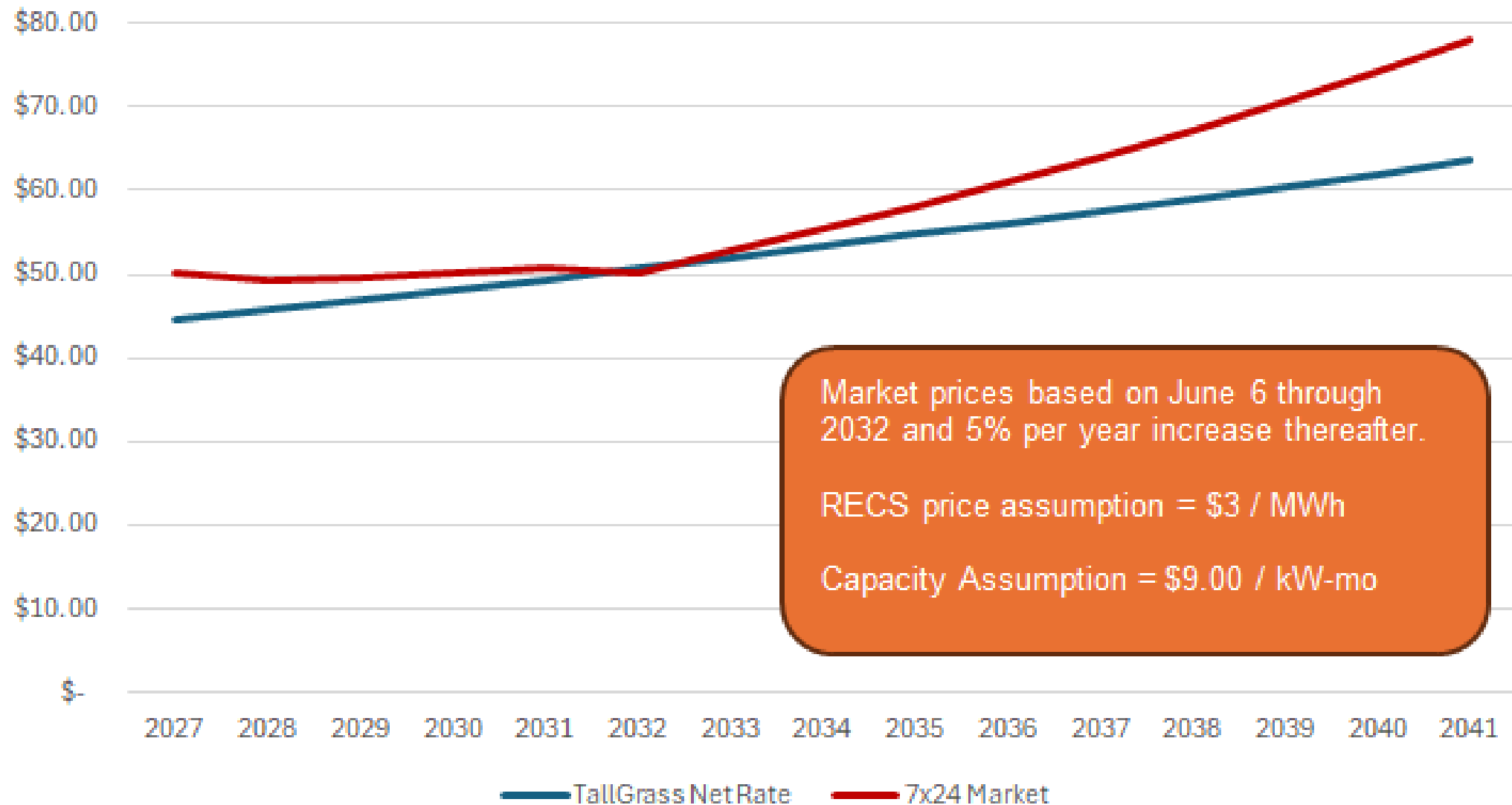
Columbus Community Power

- 12.9 MW Waste Heat to Power
- Located in Pickaway County, Ohio
- Connected to South Central Power 69kV distribution with wheeling agreement to deliver to AMP PJM interface (AEP 138kV – Lockbourne Station)
- Tallgrass delivers to PJM interface
 - Historical congestion to A/D Hub has been approximately $-\$0.50 / \text{MWh}$.
- Expected annual energy of 105,000 MWh



- Assumed \$9.00 / kW-mo or \$9,000 / MW per month
 - \$108,000 per 1 MW per year
- PJM effective load carrying capability (ELCC) expected at 91%
 - \$98,681 per each MW per year
- Effective Capacity Value
 - $\$98,681 \times 22.74 \text{ MW} = \$2,244,000$ per year
 - Divided by 187,000 MWh
 - = \$12 / MWh

TallGrass Net Rate vs. 7x24 Market



TALLGRASS COLUMBUS COMMUNITY POWER, LLC POWER PURCHASE AGREEMENT

This Power Purchase Agreement, with an effective date of May 22, 2025, is between, Tallgrass Columbus Community Power, LLC ("Seller"), a Delaware limited liability company, and American Municipal Power, Inc. ("Buyer"), an Ohio nonprofit corporation (each, a "Party" and collectively, the "Parties").

WITNESSETH

WHEREAS, Seller is engaged in the development, operation and sale of electric energy produced by a waste heat to power electric generation facility;

WHEREAS, Buyer is a non-profit corporation organized and existing under the laws of the State of Ohio and owns and operates facilities or otherwise arranges for the generation and transmission of electric capacity and energy, and furnishes power supply and other related services on a cooperative nonprofit basis for the mutual benefit of its Members as defined herein; and

WHEREAS, The Parties desire to establish terms and conditions upon which Seller has agreed to sell and supply and Buyer has agreed to buy and take delivery of, the electric energy, capacity and the Environmental Attributes (as defined below) produced by the waste heat to power facility located at the 1472 Ett Noecker Road, Ashville, OH 43103.

NOW THEREFORE, Seller and Buyer agree:

ARTICLE 1 DEFINITIONS

- 1.1. **Agreement** means this Tallgrass Columbus Community Power, LLC Power Purchase Agreement.
- 1.2. **Business Day** means any day other than Saturday, Sunday or a day on which the Federal Reserve Bank is authorized or required to be closed.
- 1.3. **Buyer Condition Precedent** shall have the meaning set forth in Article 5.1.
- 1.4. **Capacity** means 12.9 MW.
- 1.5. **Capacity Credits** means the capacity attributes of the Facility in connection with PJM (or PJM's successor).
- 1.6. **Commercial Operation Date** means the date, if such date should occur, that (i) Seller has obtained all governmental approvals and permits for the commercial operation of the Facility, (ii) the interconnection facilities necessary to allow Seller to deliver the Electric Energy to the Delivery Point have been placed into service, and (iii) the Facility has been placed into service.
- 1.7. **Contract Price** means the price at which Seller agrees to sell and Buyer agrees to buy Electric Energy, Capacity and Environmental Attributes pursuant to this Agreement, as specified on Exhibit A of this Agreement.
- 1.8. **Credit Support** means cash or the reasonable equivalent to cash, a surety bond, or a letter of credit from a bank reasonably acceptable to the Party receiving the Credit Support.
- 1.9. **Delivery Point** means the point where the distribution system wheeling the Facility's Products interconnects with the transmission system of PJM. Energy shall be delivered by Seller to Buyer at the PJM LMP Node listed in Exhibit B.

1.10. **Effective Date** means May 22, 2025.

1.11. **Electric Energy** means the electric energy expressed in MWhs (or kWhs) of the character that passes through transformers and transmission wires where it eventually becomes alternating current, sixty (60) hertz electric energy delivered at nominal voltage.

1.12. **Environmental Attributes** means environmental characteristics that are attributable to the Electric Energy produced by the Facility, including: environmental attributes, or credits; credits towards achieving local, national or international renewable portfolio standards; green tags; renewable energy credits; greenhouse gas or emissions reductions, credits, offsets, allowances or benefits; actual SO₂, NO_x, CO₂, CO, Carbon, VOC, PM₁₀, mercury, and other emissions avoided; and any and all other green energy or other environmental benefits associated with the generation of Electric Energy from the Facility. Such Environmental Attributes shall be expressed in megawatt hours (MWh) or, as applicable in the case of emissions credits, in tonne equivalent or other allowance measurement. Environmental Attributes do not include Tax Benefits or Electric Energy. As used herein, "Environmental Attributes" shall mean all Environmental Attributes, if any, existing as of the Effective Date or in the future during the term of this Agreement pursuant to any applicable law, regulation, voluntary regime, or otherwise, and that may be conveyed, and measured, verified or calculated, resulting from the Electric Energy generated by the Facility.

1.13. **Extended Term** shall have the meaning set forth in Article 3.1.

1.14. **Facility** means the waste heat to power project located at 1472 Ett Noecker Road, Ashville, Ohio.

1.15. **Force Majeure** means an earthquake, storm, lightning, flood, tsunami, backwater caused by flood, fire, explosion, act of the public enemy, epidemic, interruption of firm transmission or distribution system services relied upon and without a reasonable source of substitution to make deliveries hereunder, acts of God, war, riot, civil disturbances, strike, labor disturbances, labor or material shortage, national emergency, restraint by court order or other public authority or governmental agency, the denial, suspension, expiration or termination or delay in obtaining any permit required in order to construct or operate the Facility, or any related site, the adoption of any change in any federal, state or local law, permit, license or approval applicable to the Facility or any related site, or the imposition of any material conditions on the issuance or renewal of any permit, license or approval that materially adversely affects the operation of the Facility or other similar causes beyond the control of the Party affected which causes such Party could not have avoided by exercise of due diligence and reasonable care. Nothing contained herein shall be construed to require a Party to settle any strike, lockout, work stoppage or other industrial disturbance or dispute in which it may be involved or to take an appeal from any judicial, regulatory or administrative action.

1.16. **GCOD** is defined in Article 3.2.

1.17. **GCOD Damage Cap** means two million dollars (\$2,000,000).

1.18. **Interest Rate** means, for any date, the lesser of (a) the per annum rate of interest equal to the prime lending rate as may from time to time be published in The Wall Street Journal under "Money Rates" on such day (or if not published on such day on the most recent preceding day on which it is published), plus two percent (2%) and (b) the maximum rate permitted by applicable law.

1.19. **Initial Term** shall have the meaning set forth in Article 3.1.

1.20. **Investment Grade** means a rating by Moody's at or above Baa3, a rating by S&P at or above BBB-, or a rating by Fitch at or above BB-.

1.21. **Maximum Contract Quantity** shall be 12,900 kW.

1.22. **Member(s)** means any of the municipal utilities that are Buyer's members and that purchase wholesale energy from Buyer.

1.23. **Metering Equipment** shall have the meaning set forth in Article 6.1 hereof.

1.24. **PJM** means PJM Interconnection LLC, a regional transmission organization.

1.25. **Products** means the Electric Energy, Capacity, ancillary services, and Environmental Attributes.

1.26. **Protective Equipment** shall have the meaning set forth in Article 8.2 hereof.

1.27. **Prudent Industry Practice** means any of the practices, methods and acts engaged in or approved by, with respect to Buyer, a significant portion of the electric utility industry and, with respect to Seller, a significant portion of the developers and operators of renewable energy generating facilities, during the relevant time period, or any of the practices, methods and acts which, in the exercise of reasonable judgment in light of the facts known at the time the decision was made, could have been expected to accomplish the desired result at a reasonable cost consistent with good business practices, reliability, safety and expedition. Prudent Industry Practice is not intended to be limited to the optimum practice, method, or act to the exclusion of all others, but rather to be acceptable practices, methods, or acts generally accepted in the region.

1.28. **Replacement Energy** means Electric Energy in an amount not to exceed the Capacity in one hour.

1.29. **Seller Conditions Precedent** shall have the meaning set forth in Article 5.1.

1.30. **Seller Credit Entity** means Tallgrass Energy Partners, LP.

1.31. **Tax Benefits** means credits against income or other taxes based on the tax basis in any portion of the Facility or energy production from any portion of the Facility, as well as any other tax benefits or other similar financial incentives, whether federal, state or otherwise, resulting from construction, ownership, operation, maintenance or other use of the Facility, including the Investment Tax Credit, Production Tax Credit, the Clean Electricity Production Credit set forth in 26 USC § 45Y and similar tax credits, depreciation deductions, and grants similar to those provided in Section 1603 of the American Recovery and Reinvestment Act of 2009.

1.32. **Term** shall have the meaning set forth in Article 3.1.

ARTICLE 2

TRANSMISSION SERVICE AND COSTS, CHARGES AND EXPENSES

2.1. Dependence on Member Agreements.

(a) The Parties acknowledge and agree that Buyer intends to resell the Electric Energy purchased pursuant to this Agreement to its Members under similar terms and conditions, provided, however, Buyer will not assign this Agreement to its Members.

(b) Nothing in this Agreement shall create any obligation for Seller to develop and construct any Facility or to sell any minimum quantity of Electric Energy or Environmental Attributes to Buyer hereunder.

2.2. **Transmission Service.** Seller shall be responsible for making arrangements for transmitting the Electric Energy to the Delivery Point, and Buyer shall be responsible for making arrangements to accept the Electric Energy at the Delivery Point and to transmit the Electric Energy from the Delivery Point to the location of any subsequent use of the Electric Energy after the Delivery Point.

2.3. **Costs, Charges and Expenses.** Seller shall be responsible for any and all costs, charges and expenses including any taxes or fees imposed on, or associated with, the delivery of the Electric Energy and transmission and/or distribution service up to and including the Delivery Point. Buyer shall be responsible for any and all costs, charges, and expenses imposed on, or associated with, the Electric Energy and transmission service from and after the Delivery Point.

ARTICLE 3 TERM

3.1. **Term.** The term of this Agreement shall commence on the Effective Date and continue through December 31, 2042 (the "Initial Term"). Buyer shall have the right to extend the Initial Term by one additional five (5) year period (the "Extended Term" and together with the Initial Term the "Term") by giving Seller notice in writing not less than three hundred sixty-five (365) days before the end of the Initial Term.

3.2. **Guaranteed Commercial Operation Date.** If the Commercial Operation Date does not occur prior to June 2, 2028, as such date may be extended pursuant to this Section 3.2, (the GCOD"), Buyer or Seller shall have the right to terminate this Agreement. Upon termination pursuant to this Section 3.2, each Party shall be relieved of any further obligations hereunder and neither Party shall have any liability to the other except as set forth in Section 9.3. The GCOD shall be extended on a day for day basis in the event (i) of Force Majeure, (ii) of an extension, pursuant to Section 5.1, of the timeframe to satisfy or waive the Condition Precedent, (iii) of a delay caused by supply chain delays or labor shortages, but only to the extent not caused by Seller's fault or failure to exercise reasonable diligence, and (iv) the Wholesale Market Participant Agreement between Seller and PJM is not executed, but only to the extent not caused by Seller's fault or failure to exercise reasonable diligence.

ARTICLE 4 SCHEDULING

4.1 Energy Scheduling.

(a) Buyer shall be responsible for scheduling of the Electric Energy into PJM, provided that Seller will be required to use commercially reasonable efforts to provide to Buyer a projected hourly output schedule for all Electric Energy to be made available at the Delivery Point for the next day by 10:00 am EPT each day, or such greater advance notice as reasonably required by the applicable RTO system operator. The forecast of expected Electric Energy deliveries shall be made by Seller in good faith and based on information available to it at such time, but in no event shall such forecast be binding on Seller nor shall Seller be liable for any inaccuracies in such forecast.

In no event shall Buyer have any liability for any inaccuracies, omissions, or failures to identify and report required outage information.

(b) Seller must take commercially reasonable efforts to schedule planned maintenance outages in order to minimize the likelihood that outages occur during PJM peak load periods or PJM Performance Assessment Hours (as defined in the PJM open access transmission tariff). Seller must cooperate with Buyer by providing Buyer projected maintenance outage schedules as plans are developed.

(c) Seller must provide Buyer at least 30 days' notice before decommissioning the Facility. Seller is solely responsible for payment of any PJM penalties as a result of (i) Seller's decommissioning of the Facility without 30 days' notice, or (ii) such other reckless, willful or wanton actions that interrupt the generation of Electric Energy, where such removal or actions are not consistent with Prudent Industry Practice.

ARTICLE 5 PURCHASE AND SALE AND CREDIT

5.1 Conditions Precedent. The obligations and agreements of Buyer in this Agreement are subject to Buyer entering into binding agreements with one or more of its Members to purchase the Electric Energy from Buyer, as set forth in Article 2.1 (the "Buyer Condition Precedent"). The obligations and agreements of Seller in this Agreement are subject to: (i) Seller finalizing definitive agreements for the design, engineering, construction and procurement of equipment necessary for the Facility and (ii) Seller obtaining all Board of Director and/or management approval(s) that Seller deems necessary, in its sole discretion, to fulfill its obligations under this Agreement (the "Seller Conditions Precedent"). If Buyer has not satisfied or waived the Buyer Condition Precedent or Seller has not satisfied or waived the Seller Conditions Precedent within one hundred twenty (120) days from the Effective Date, or such longer period of time as the Parties mutual agree to, Seller or Buyer may terminate this Agreement. Upon termination of this Agreement pursuant to this Section 5.1, each Party shall be relieved of any further obligations hereunder.

5.2 Obligation to Purchase and Sell. Buyer shall purchase from Seller and pay for, and Seller shall sell to Buyer, all of the Electric Energy, Capacity and Environmental Attributes generated by the Facility and delivered to the Delivery Point, up to the Maximum Contract Quantity, in accordance with this Agreement at the Contract Price specified in Exhibit A. The Parties acknowledge that the Facility is an intermittent resource and will not produce any guaranteed minimum level of Electric Energy.

5.3 Excess Energy Purchase. For any Electrical Energy delivered to the Delivery Point in any hour in excess of Maximum Contract Quantity, Buyer will pay Seller a price per MWh in accordance with this Agreement at the Excess Energy Rates specified in Exhibit A.

5.4 Environmental Attributes. Seller shall submit an application to register the Facility as a renewable energy generating resource in Ohio; provided, however, if the application is not accepted this Agreement shall remain in full force and effect, and the Parties shall work together to agree to a mutually acceptable alternative to the Ohio renewable energy credit program. Seller shall deliver to Buyer clear and unencumbered title to one hundred percent (100%) of the Environmental Attributes produced by Facility during the Term. The Parties shall timely prepare and execute all documents and shall take all reasonable actions necessary to cause the Environmental Attributes to be delivered in accordance with this Agreement and to vest in the Parties as set out in this Agreement without further compensation, including signing attestation or verification forms reasonably required in order to use, transfer, sell or deal with Environmental Attributes. Seller shall deliver the Environmental Attributes to Buyer by transferring the Environmental Attributes to a PJM-EIS tracking account established and designated by Buyer. If in the future there is a major change in Environmental Attributes (like a change in the RIN markets) both parties would negotiate in good faith an amendment to the contract.

5.5 Installed Capacity. Buyer will have the rights to any PJM, (or PJM's successor's), Capacity Credits available in connection with the Capacity during the Term. In the event of retirement of the Facility prior to the completion of the Term, Seller is responsible for the bookout of Buyer's capacity position.

5.6 PJM Ancillary Services. Buyer's purchase of Products shall entitle Buyer to any and all value and benefits attributable to or associated with such purchase under the PJM Agreements,

including any credits or reductions in charges or obligations for capacity, energy, transmission, ancillary services, operating reserves or other services, that result from or that are attributable to Buyer's receipt of Products into its system.

5.7 **Credit.** In the event Buyer's credit rating decreases below Investment Grade after the Effective Date, Buyer shall provide Seller with Credit Support in an amount equal to six (6) months *multiplied by* the Contract Rate *multiplied by* eight thousand nine hundred MWh per month. In the event the Seller Credit Entity's credit rating is below Investment Grade at the Commercial Operation Date, Seller shall provide Buyer with Credit Support in an amount equal to six (6) months *multiplied by* the Contract Rate *multiplied by* eight thousand nine hundred MWh per month.

ARTICLE 6 METERING EQUIPMENT

6.1 **Metering Equipment.** Seller shall supply, install and maintain metering equipment ("Metering Equipment") suitable for metering the Electric Energy, pursuant to IEEE 1547 guidelines, at or as near as practical to the Facility. Acceptable meter shall be an ION 8600 manufactured by PML, SEL-735, or such other equipment as the Parties may agree from time to time. Seller shall provide Buyer the reasonable opportunity to be present at any time when such metering equipment is to be inspected, tested or adjusted.

Such Metering Equipment shall have a network interface for real time use by Buyer. Seller will install on the Metering Equipment Buyer provided custom programming and configuration. Seller shall be responsible for the maintenance of dedicated communication facilities. Seller shall be responsible for any fees paid for telephone or network access services required to provide Buyer a real time network interface.

6.2 **Buyer's Meters.** Buyer may install at its own cost, its metering equipment at or as near as practical to the Facility, provided that it does so in a manner that its metering equipment does not and will not interfere with the Metering Equipment.

6.3 **Electric Energy Supplied.** The quantity of Electric Energy to be paid for by Buyer will be equal to the quantity of Electric Energy received by Buyer at the Delivery Point measured by the Metering Equipment. If Metering Equipment is measured and found not to be accurate within the 2% tolerance, the Electric Energy to be paid for by Buyer will be measured or determined by (i) other metering equipment if such metering equipment has been proven accurate within two (2) percent; or (ii) if such other metering equipment has not been proven accurate beyond the tolerance referred to above when tested by Seller, or if Buyer has not installed meters, then the amount will be determine by negotiation between Buyer and Seller taking into account the Capacity of the Facility and the level of Electric Energy from the Facility in recent billing periods or other reasonable estimation techniques.

ARTICLE 7 PRICE, BILLING AND PAYMENTS AND RECORDS

7.1 **Price.** Buyer shall pay Seller for all Electric Energy, Capacity and Environmental Attributes received at the Delivery Point pursuant to this Agreement at the Contract Rate set out in Exhibit A, Rate Schedule, which is attached hereto and incorporated into this Agreement by reference.

7.2 Billing. Unless otherwise agreed upon, the billing period for all purchases of Electric Energy under this Agreement shall be the calendar month. Seller shall cause to be prepared and transmitted to Buyer, an invoice showing the delivery to the Delivery Point of such Electric Energy during such billing period in such detail as may be needed for settlement under this Agreement.

7.3 Payments.

All invoices under this Agreement shall be due and payable in accordance with the Party's invoice instructions by the later of the twentieth (20th) Day of each month, or the tenth (10th) Day after receipt of the invoice. If such day is not a Business Day, the Party shall make such payment on the next succeeding Business Day. Each Party will make payments by electronic funds transfer, or by other mutually agreeable method(s), to the account designated by the other Party. Any amounts not paid by the due date will be deemed delinquent and will accrue interest at the Interest Rate, such interest to be calculated from and including the due date but excluding the date the delinquent amount is paid in full.

7.4 Billing Disputes. If either Party, in good faith, disputes an invoice, such Party shall, within the earlier of (i) the date payment is made in any amount less than the invoiced amount as a result of the paying Party disputing all or a portion of the invoiced amount and (ii) twelve (12) months after the receipt of the invoice, provide to the other Party a written explanation of the basis for the dispute, provided that payment of the undisputed portion of any such invoice shall be paid no later than the due date. To the extent any disputed amount is later determined to be properly due and payable, it will be paid within ten (10) days of such determination, together with interest accrued at the Interest Rate from the due date to the date payment is made, if made within ten (10) days of such determination, and if not paid within ten (10) days of such determination, together with interest accrued after such ten (10) day period to the date payment is made at the Interest Rate. To the extent credits are due to Buyer, interest at the Interest Rate calculated from the date of payment to the date of the credit shall be added to such credit.

7.5 Records. The Parties shall keep such records as may be needed to verify the accuracy of any statement, charge, or computation made or otherwise affecting this Agreement. The originals of all such records shall be retained by the Parties for a minimum of three years from the date of the receipt of the last affected invoice, and copies shall be delivered to the other Party to this Agreement upon request.

ARTICLE 8 RELATIVE RESPONSIBILITIES; FORCE MAJEURE

8.1 Relative Responsibilities. Buyer assumes all responsibility for receipt and delivery of Electric Energy on the applicable system(s) from the Delivery Point. Seller assumes all responsibility for delivery of Electric Energy on the applicable system(s) to the Delivery Point. Neither Party assumes responsibility with respect to the construction, installation, maintenance or operation of the systems of the other Party in whole or in part. Neither Buyer nor Seller shall, in any event, be liable to the other for damage or injury to any person or property, whatsoever, arising, accruing or resulting from, in any manner, the receiving, transmission, control, use, application or distribution by the other Party of such Electric Energy except to the limited extent provided for in Article 9.2. Each Party shall use reasonable efforts to maintain its facilities in such condition as required by Prudent Industry Practice and shall take reasonable steps and precautions for maintaining the services agreed to be provided and received under this Agreement.

8.2 Protective Equipment. Each Party shall ensure that all of its facilities required for the purposes of this Agreement are protected by such devices and apparatus as would be installed in accordance with Prudent Industry Practices to prevent any personal injury or damage to property, to ensure the safety of such facilities and to prevent interruptions to services under this Agreement. Neither Party shall be liable to the other Party for any personal injury or damage to property which would have been prevented but for the failure of that other Party to install, operate and maintain its Protective Equipment in accordance with Prudent Industry Practices. Notwithstanding anything in this Agreement to the contrary, neither Party shall be liable to the other Party in any circumstances, for any loss caused by or arising out of power surges, frequency or voltage variations, current imbalances, non-supply of Electric Energy, or the installation, operation or maintenance of the Facility.

8.3 Force Majeure.

(a) The obligations of either Party rendered unable to fulfill any of its obligations under this Agreement (other than to make payments due) by reason of Force Majeure, insofar as such obligations are affected by such Force Majeure, shall be suspended during the continuance thereof but no longer. The Party invoking the Force Majeure shall specifically state the full particulars of the Force Majeure and the time and date when the Force Majeure occurred. Notices given by telephone under this provision shall be confirmed in writing as soon as reasonably possible. Each Party shall use commercially reasonable efforts to provide the other Party with reasonable notice in the event of suspension of service and promptly shall take such action necessary to remove the Force Majeure and recommence service. When the Force Majeure ceases, the Party relying thereon shall promptly give notice thereof to the other Party.

(b) In the event that Buyer is unable to receive the Electric Energy at the Delivery Point due to Force Majeure, Seller shall be entitled to sell all or any portion of such Electric Energy to an entity other than Buyer for the duration of such Force Majeure; provided, however, that Seller must resume delivery of Electric Energy to Buyer within a reasonable period following its receipt from Buyer of notice that the Force Majeure affecting its performance has ended and Buyer is able to resume receipt of the Electric Energy.

ARTICLE 9 DEFAULT AND TERMINATION OF AGREEMENT

9.1 Events of Default. The following occurrences shall constitute Events of Default hereunder:

(a) A Party fails to make when due any payment required under this Agreement (other than payments disputed in good faith) and such failure is not cured within ten (10) days after receipt of notice from the other Party of such failure;

(b) A Party fails to perform any material covenant or obligation set forth in this Agreement, other than the obligation to make a payment when due, if such failure is not cured within thirty (30) days after notice of the failure, which notice sets forth in reasonable detail the nature of the failure; provided however, if the failure is not reasonably capable of being cured within the thirty (30) day cure period specified above, the party will have such additional time as is reasonably necessary to cure the failure (but in no event longer than one hundred eighty (180) days), so long as the party promptly commences and diligently pursues the cure;

(c) A Party:

- (i) makes an assignment for the benefit of its creditors;
- (ii) files a petition or otherwise commences, authorizes or acquiesces in the commencement of a proceeding or cause of action under any bankruptcy or similar law for the protection of creditors, or has such petition filed against it and such petition is not withdrawn or dismissed for sixty (60) days after such filing;
- (iii) becomes insolvent; or
- (iv) is unable to pay its debts when due.

9.2 Remedies. Upon the occurrence of, and during the continuation of an Event of Default, the non-defaulting Party may terminate this Agreement by notice to the other Party, designating the date of termination and delivered to the defaulting Party no less than ten (10) days before such termination date. In addition to the right of termination and without regard to whether the non-defaulting Party elects to terminate the Agreement, all remedies at law and in equity shall be available to the non-defaulting party, subject to the limitation on damages set out in Article 9.3 hereof. In the event of termination pursuant to this Article 9.2, the non-defaulting Party shall be entitled to keep any Credit Support provided hereunder.

9.3 GCOD Damages. Seller achieving the Guaranteed Commercial Operation Date is essential for Buyer to meet its contractual duties to its Members. If Seller fails to achieve the GCOD and Buyer terminates pursuant to Section 3.2, Buyer may cover the breach by purchasing Replacement Energy from a third party and Seller shall pay Buyer the positive difference, if any, between the cost of the Replacement Energy and the Contract Price, up to the GCOD Damage Cap. Seller will not be responsible for paying the positive difference between the Replacement Energy and the Contract Price if the delay is due to any circumstances attributable to the Buyer (or any person or entity directly or indirectly controlled by Buyer, excluding the Seller) or when such delay has not resulted in any damage to the Buyer.

9.4 Limitation on Damages. Notwithstanding anything in this Agreement to the contrary, neither Party shall be liable to the other Party for consequential, incidental, punitive, exemplary or indirect damages, by statute, in tort or contract, under any indemnity provision or otherwise; provided, however, that to the extent that one Party is entitled to indemnification from the other Party as a result of a third party claim, any damages awarded to such third party (direct, indirect, consequential or otherwise) shall be deemed to be direct damages of the Indemnified Party for which the Indemnifying Party shall be liable. It is the intent of the Parties that the limitations herein imposed on remedies and the measure of damages be without regard to the cause or causes related thereto, including the negligence of any party, whether such negligence be sole, joint or concurrent, or active or passive. To the extent any damages required to be paid hereunder are liquidated, the parties acknowledge that the damages are difficult or impossible to determine, or otherwise obtaining an adequate remedy is inconvenient and the damages calculated hereunder constitute a reasonable approximation of the harm or loss.

9.5 Indemnification. Each Party (the "Indemnifying Party") shall indemnify and hold harmless the other Party (the "Indemnified Party") from and against any liability, loss, cost, expense and damage because of injury or damage to persons or property resulting from, or arising out of the negligence or willful misconduct of the Indemnifying Party or its agents, servants or employees, in the use of the Indemnifying Party's facilities or the production or flow of Electric Energy by and

through its facilities, except to the extent such injury or damage results from the negligence or willful misconduct of the Indemnified Party, its agents, servants, or employees.

9.6 Responsibility for Compliance. Each Party shall be responsible for its own compliance with all applicable laws and regulations, including those relating to the environment, and each Party shall hold the other Party harmless from any liability, loss, cost or expense, including reasonable attorney's fees, arising out of its failure to comply with such laws and regulations; provided however, that Buyer is solely responsible for any and all Capacity Performance penalties (as defined in the PJM open access transmission tariff) incurred or bonuses received under the relevant PJM capacity market rules in effect for the applicable period that are attributed to the Facility during the Term of this Agreement.

ARTICLE 10 TAXES

10.1 General. Each Party shall use reasonable efforts to implement the provisions of and to administer this Agreement in accordance with their intent to minimize taxes so long as no Party is materially adversely affected by such efforts. Each Party, upon written request of the other, shall provide a certificate of exemption or other reasonably satisfactory evidence of exemption if either Party is exempt from taxes, and shall use reasonable efforts to obtain and cooperate with obtaining any exemption from or reduction of tax.

10.2 Applicable Taxes. Seller shall be responsible for all applicable taxes in supplying Electric Energy to the Delivery Point(s). Buyer shall have responsibility for such taxes only to the extent that they are included in the Contract Price. Unless otherwise specified in this Agreement or applicable amendments hereto, Seller shall have no responsibility for taxes applicable to the Maximum Contract Quantity beyond the Delivery Point.

ARTICLE 11 WAIVERS

11.1 Waivers. Any waiver at any time by any Party of its rights with respect to a default under this Agreement, or any other matter under this Agreement, shall not be deemed a waiver with respect to any subsequent default of the same or any other matter. Any delay, less than the statutory period of limitations, in asserting or enforcing any rights under this Agreement, shall not be deemed a waiver of such rights.

ARTICLE 12 ASSIGNMENT OF AGREEMENT

12.1 Assignment of Agreement.

(a) This Agreement shall be binding upon and shall inure to the benefit of the successors and permitted assigns of the Parties. This Agreement shall not be assigned to a third person by a Party without the written consent of the other Party, which consent shall not be unreasonably withheld or delayed. Notwithstanding the foregoing, either Party may, without the need for further consent, (a) transfer or assign this Agreement as security for loans or advances secured by a mortgage on all or substantially all of the assets of such Party or (b) transfer or assign this Agreement to any person succeeding to all or substantially all of the assets of such Party utilized in connection with the performance of such Party's obligations under this Agreement, whether by

merger or otherwise, so long as such person (x) shall, as a part of such succession, have assumed all of the obligations of the transferor under this Agreement and (y) has a credit rating equivalent to or greater than assignor. In addition, Seller may assign this Agreement to any affiliate without the consent of Buyer. Any assignment that requires the consent of the other party but which is made without the required consent shall be void and of no effect against the non-consenting Party.

(b) In the event of a transfer or assignment of this Agreement as security interest by Seller to a financial institution or other secured lender of Seller or Facility, Buyer shall, at the request of Seller, provide such a financing party with the documentation that is normal for such assignments. Buyer's sole obligation is limited to the terms and conditions of this Agreement and attachments.

(c) Notwithstanding the foregoing, no assignment or transfer under this Agreement may be made that may adversely affect the tax status of the other Party or its financing without the prior written consent of the affected Party.

(d) Buyer may from time to time assign the right to receive all or a portion of the Electric Energy that would otherwise be delivered to Buyer hereunder. In connection with any such assignment, Buyer and Seller agree to execute an assignment agreement to be developed. For the avoidance of doubt, Buyer will remain responsible for all its obligations under this Agreement related to such assigned Electric Energy, including (i) the obligation to pay for such Electric Energy to the extent the assignee thereof does not do so and (ii) any damages associated with such assignee's failure to take any such Electric Energy.

ARTICLE 13 MISCELLANEOUS

13.1 Prudent Industry Practices. The Parties shall discharge all obligations under this Agreement in accordance with Prudent Industry Practices.

13.2 Cooperation. The Parties shall work together cooperatively (a) to assist one another in procuring and maintaining all necessary approvals and consents for the development, construction and operation of Facility hereunder and (b) to reasonably consider such amendments hereto that may be required to facilitate Seller's financing of the Facility.

13.3 Computation of Time. In computing any period of time prescribed or allowed by this Agreement, the day of the act, event, or default from which the designated period of time begins to run shall be excluded but the last day of such period shall be included, unless it is a Saturday, Sunday, or legal holiday, in which event the period shall run until the end of the next Business Day which is not a Saturday, Sunday, or legal holiday.

13.4 Article Headings Not To Affect Meaning. The descriptive headings of the Articles and paragraphs of this Agreement have been inserted for convenience only and shall not modify or restrict any of the terms and provisions thereof.

13.5 Severability. In the event that any of the terms, covenants, or conditions of this Agreement or the application of any such term, covenant, or condition shall be held invalid as to any person or circumstance by any court having jurisdiction, all other terms, covenants or

conditions of this Agreement and their application; shall not be affected thereby, but shall remain in full force and effect unless a court holds that the provisions are not separable from all other provisions of this Agreement.

13.6 Amendments. This Agreement may be amended only by mutual agreement of the Parties, which amendment shall be in writing.

13.7 Notices Relating to Provisions of this Agreement. Any formal notice, demand or request provided for in this Agreement shall be in writing and shall be deemed properly served, given or made if delivered (a) in person, on the day of delivery, (b) by e-mail to the email address set forth below, twenty-four (24) hours following delivery thereof, or (c) by either registered or certified mail, postage prepaid, on the third day, addressed to the following specified persons:

Seller: Tallgrass Columbus Community Power, LLC
Address: 5956 Sherry Lane, Suite 6000
Dallas, TX 75225

Email: Justin Campbell
Attention: justin.campbell@tallgrass.com

With a copy to: **Tallgrass Energy, LP**
Address: 370 Van Gordon Street
Lakewood, CO 80228

Email: legal.notices@tallgrass.com
Attention: Legal Department

Buyer: American Municipal Power, Inc.
Address: 1111 Schrock Road, Suite 100
Columbus, Ohio 43229

Email: psullivan@ampppartners.org
Attention: Chief Operating Officer

With a copy to: **American Municipal Power, Inc.**
Address: 1111 Schrock Road, Suite 100
Columbus, Ohio 43229

Email: lmcaster@ampppartners.org
Attention: SVP and General Counsel for Regulatory Affairs

13.8 Change in Notice Recipient. Either Party may, from time to time, change such designated officer or the address thereof by giving written notice to the other Party.

13.9 Representations and Warranties. Except as otherwise provided below, on the Effective Date, Seller represents and warrants to Buyer, and Buyer represents and warrants to Seller, as follows:

(a) It is duly organized, validly existing and in good standing under the laws of the jurisdiction of its organization or incorporation and is in good standing and qualified to do business in each jurisdiction in order to be able to legally perform its obligations under this Agreement.

(b) It has all necessary corporate power and authority to execute, deliver and perform its obligations hereunder.

(c) Its execution, delivery and performance of this Agreement (i) has been duly authorized by all necessary company action, (ii) does not violate any of the terms or conditions of (x) its governing documents, (y) any contract to which it is a Party (or result in acceleration of any amounts owed or otherwise adversely affect its rights or obligations under such a contract) or (z) any applicable law currently in effect having applicability to such Party or its assets (subject to, in the case of Seller as the representing Party, obtaining any permits that are not yet required) and (iii) does not result in, or require, the creation or imposition of any mortgage, deed of trust, pledge, lien, security interest or other charge or encumbrance of any nature (other than as may be contemplated by this Agreement) upon or with respect to any of the properties of such Party, in the case of each clauses (ii)(y), (ii)(z) and (iii), to the extent such violation or creation or imposition could reasonably be expected to have a material adverse effect on such Party's ability to perform its obligations under this Agreement or on the business, operations or financial condition of such Party.

(d) This Agreement has been validly executed and delivered on behalf of such Party and constitutes the legal, valid and binding obligation of such Party enforceable against such Party according to its terms, except as the enforceability of this Agreement may be limited by (i) bankruptcy, insolvency, reorganization or other similar laws affecting the enforcement of creditors' rights generally and (ii) general principles of equity whether considered in a proceeding in equity or at law.

(e) There is no pending or (to its knowledge) threatened action, suit, litigation, arbitration or administrative proceeding that could reasonably be expected to impede or limit such Party's ability to perform its obligations under this Agreement or on the business, operations or financial condition of such Party.

(f) It is sophisticated and experienced in matters relating to the subject of this Agreement (and has been advised by persons (other than the other Party) sophisticated and experienced in matters relating to the subject of this Agreement), is acting for its own account, has made its own independent decision to enter into this Agreement based on its own judgment that this Agreement is appropriate and proper for it, and it is not and will not be relying on any information or analyses provided by the other Party in so doing and is capable of assessing the merits of and understanding, and has assessed and understands and accepts, the terms, conditions and risks of entering into this Agreement.

ARTICLE 14 GENERAL PROVISIONS

14.1 Complete Agreement. This Agreement (including the Exhibits incorporated herein and any subsequent amendments) shall constitute the full and complete agreement of the Parties with respect to the subject matter hereof, and supersedes all prior or contemporaneous representations, statements, negotiations, understandings and inducements with respect to the subject matter hereof.

14.2 Forward Contract. The Parties acknowledge and agree that this Agreement constitutes a "forward contract" within the meaning of the United States Bankruptcy Code.

14.3 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Ohio as if fully performed within the State of Ohio.

14.4 Counterparts. This Agreement may be executed and delivered in counterparts, each of which shall for all purposes be treated as the original hereof and all of which shall constitute a single agreement.

14.5 Costs. Each party shall bear and is responsible for its own costs (including without limitation legal costs) in connection with the negotiation, preparation, execution, completion and carrying into effect of this Agreement.

14.6 Confidentiality. Except as otherwise provided herein, this Agreement, the terms set forth herein and all information disclosed by each Party to the other Party in connection with this Agreement and the negotiations preceding this Agreement are confidential and the Parties agree not to disclose such terms other than as set forth herein; provided that (a) each Party may disclose the terms hereof to its Affiliates and its and their respective officers, employees, agents, investors, lenders, accountants, attorneys and other advisors that have a bona fide need to know such information (collectively "Representatives"), (b) Seller may disclose the terms hereof to governmental entities having jurisdiction for the purposes of obtaining governmental authorizations; and (c) each Party may disclose such information, including the terms of this Agreement to the extent required to be disclosed pursuant to applicable laws (including securities laws of any jurisdiction and rules and regulations of any applicable stock exchange). Each Party shall be responsible for any breach of confidentiality by any of its Representatives. In the event that disclosure occurs pursuant to subsection (c) of this Article 14.6, the disclosing Party will use commercially reasonable efforts to obtain confidential or protected treatment of such information or limit the scope of disclosure to the extent practicable. In the event this Agreement is terminated pursuant to the terms and conditions hereof or otherwise by mutual agreement of the Parties, then this Article 14.6 shall survive for a period of two (2) years from the effective date of such termination.

14.7 Communications, Public Relations. Each party agrees to provide to the other, for prior approval, copies of any press releases, website articles and the like that relate to this Agreement. Notwithstanding anything in this Article 14.6 to the contrary, Seller shall be permitted to make public announcements or press releases regarding the Facility generally or other announcements regarding the Facility, without Buyer's consent, so long as such press releases and announcements do not include any statements or information regarding this Agreement or Buyer's identity as a purchaser of products from the Facility. The Parties also agree, to the extent necessary or convenient to mutually negotiate and agree on any consents or licenses regarding service marks, trademarks or copyrighted materials necessary to facilitate the provisions of this Article and the prior approvals referred to in this Article shall be deemed to constitute such consents for the limited purpose of the materials so approved.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed by their proper officers respectively, being hereunto duly authorized, to be effective as of the Effective Date.

Tallgrass Columbus Community Power, LLC

APPROVED AS TO FORM:

DocuSigned by:
Justin Campbell
042958407E0E4AF...

By:_____

By:_____

AMERICAN MUNICIPAL POWER, INC.

APPROVED AS TO FORM:

DocuSigned by:
Pam Sullivan
E423FF7AA816413...

By:_____

By:_____

EXHIBIT A
RATE SCHEDULE

Contract Price:

2027:	\$59.50 / MWh
2028:	\$60.69 / MWh
2029:	\$61.90 / MWh
2030:	\$63.14 / MWh
2031:	\$64.40 / MWh
2032:	\$65.69 / MWh
2033:	\$67.00 / MWh
2034:	\$68.34 / MWh
2035:	\$69.71 / MWh
2036:	\$71.10 / MWh
2037:	\$72.53 / MWh
2038:	\$73.98 / MWh
2039:	\$75.46 / MWh
2040:	\$76.96 / MWh
2041:	\$78.50 / MWh
2042:	\$79.99 / MWh

Excess Energy Rate: Hourly Real Time LMP at the PJM AEP Dayton Hub.

EXHIBIT B
DELIVERY POINT LMP

The Delivery Point pursuant to Section 1.9 shall be the

_____ LMP

_____ PJM PNode ID

BOROUGH OF PERKASIE, PENNSYLVANIA

2027 WASTE HEAT ENERGY SCHEDULE

AMP Contract No. 2027-011393-SCHED

A Schedule to

American Municipal Power, Inc.

and

BOROUGH OF PERKASIE, PENNSYLVANIA

Master Service Agreement No. C-8-2008-6536

WHEREAS, the Borough of Perkasie, Pennsylvania ("Municipality") and American Municipal Power, Inc., ("AMP") have entered into a Master Services Agreement ("MSA") under which certain services may be provided, pursuant to schedules entered into between Municipality and AMP; and

WHEREAS, AMP will enter into Tallgrass Waste Heat Energy Power Purchase Agreements with Tallgrass Muskingum Community Power, LLC and Tallgrass Columbus Community Power, LLC (collectively, "Tallgrass") (the "Waste Heat Power Agreements") whereby AMP will purchase up to approximately 22.74 megawatts ("MW") of capacity and associated energy for a period of sixteen (16) years with an option for an additional five (5) year extended term, pursuant to the terms and conditions set forth therein; and

WHEREAS, the Waste Heat Power Agreements provide, among other things, an opportunity for the Municipality to receive from AMP capacity, energy and Environmental Attributes (as defined therein) from the waste heat electricity facilities located in Pickaway County, Ohio and Muskingum County, Ohio through this schedule to the MSA (the "2027 Waste Heat Energy Schedule").

NOW THEREFORE, in consideration of the mutual covenants and obligations set forth in this Agreement, the Parties agree as follows.

SECTION 1 - TERM

The term of this 2027 Waste Heat Energy Schedule shall be coterminous with the Waste Heat Power Agreement as defined therein; provided, however, that Municipality may extend the term for one additional five year period (the "Extended Term") with approval from Municipality's Authorized Representative, and further provided that Municipality's obligation to purchase and AMP's obligation to deliver capacity, energy and Environmental Attributes pursuant to this 2027 Waste Heat Energy Schedule are both contingent on the performance of Tallgrass pursuant to the Waste Heat Power Agreements.

SECTION 2 - SERVICES

AMP agrees to procure as Seller, pursuant to (and its obligations hereunder are specifically dependent upon) the Waste Heat Power Agreements, output up to approximately 22.74 MW of capacity, associated energy in megawatt-hours ("MWh"), and the Environmental Attributes for the benefit of participating Municipalities, including Municipality (the "Contract Amount"). Municipality agrees to take and pay for such capacity, energy and Environmental Attributes on a *pro rata* basis where and as available pursuant to the Waste Heat Power Agreements. Such *pro rata* amounts to be determined by multiplying the Municipality's percentage Contract Amount, as set forth on Exhibit B hereto, times the actual capacity and energy available from time to time under the Waste Heat Power Agreements.

SECTION 3 - DELIVERY POINT

The Delivery Point for this 2027 Waste Heat Energy Schedule shall be the "Delivery Point" as defined in the Waste Heat Power Agreements, which is the point(s) where project power is delivered into AEP's transmission system at 138 kV, unless the same is modified in writing by the Parties. There may also be a Secondary Delivery Point, or Points of Delivery. Municipality may change the Secondary Delivery Point(s) set forth on Exhibit D with AMP's consent, such consent not to be unreasonably withheld, provided that transmission to any modified Secondary Delivery Point shall be pursuant to appropriate Federal Energy Regulatory Commission ("FERC") tariffs at Municipality's expense, including the costs of any/all required ancillary services.

SECTION 4 - SCHEDULING

A. AMP shall cooperate with the Municipality to schedule the capacity and energy to a Secondary Delivery Point as set forth in Exhibit D.

B. Notwithstanding any other provision of this 2027 Waste Heat Energy Schedule and the MSA, Municipality shall, when available, take and pay for the Waste Heat-generated capacity, energy and Environmental Attributes.

SECTION 5 - DEPENDENCE ON WASTE HEAT POWER AGREEMENT

Municipality recognizes that AMP's ability to supply Waste Heat-generated capacity, energy and Environmental Attributes under this 2027 Waste Heat Energy Schedule is dependent upon AMP's ability to arrange for the same pursuant to the Waste Heat Power Agreements. Additionally, Municipality recognizes that AMP entered into the Waste Heat Power Agreements primarily for the benefit of Municipality and the other Members of AMP and that AMP, pursuant to the Waste Heat Power Agreements, has certain rights as well as certain obligations. Accordingly, Municipality agrees to cooperate with AMP in such a manner as to facilitate AMP's performance of its obligations thereunder and releases AMP from any liability due to Tallgrass's failure to perform.

SECTION 6 - RATES, CHARGES AND BILLING

A. Capacity, energy and Environmental Attributes made available pursuant to this 2027 Waste Heat Energy Schedule shall be charged at the base rates specified in the Waste Heat Power Agreements for the term of the Waste Heat Power Agreements as shown on Exhibit A and the costs set forth in Sections 6 (B) and (C) hereof, and the Capacity and Energy Rate Schedules as the same may be modified by AMP from time to time and pursuant to the billing provisions herein and in the MSA;

B. The net of the following costs shall be included as a component of a uniform rate adjustment to be charged hereunder for energy delivered or made available to Municipality: any ancillary service, congestion and marginal loss charges by PJM Interconnection, L.L.C. ("PJM") or any other applicable Regional Transmission Organization ("RTO"), an appropriate allocation of AMP's energy control center, metering and other common costs of AMP reasonably allocable to the Waste Heat Power Agreement in the rates set forth on Exhibit A ("Rate Adjustment"). This creates a Project Energy Rate for the 2027 Waste Heat Energy Schedule consisting of the charges in Exhibit A as adjusted as set forth in this Section 6 (see Exhibit E – Example Project Energy Rate Calculation). The Municipality shall also be responsible for any additional ancillary service, congestion or marginal loss charges to its Secondary Delivery Point.

C. In addition to the other compensation to be paid to AMP pursuant to this 2027 Waste Heat Energy Schedule, Municipality shall also pay the AMP Energy Control Center Charge and the Service Fee B specified in the MSA (currently at a rate of \$0.00058 / kWh for Service Fee B).

D. If AMP, pursuant to the Waste Heat Power Agreement, must pay any Capacity Performance penalties received by PJM that are attributed to the Waste Heat Gas Electric Facilities (as defined in the Waste Heat Power Agreements), AMP shall pass the cost of such penalty through to Municipality and Municipality shall pay such penalty on a *pro rata* basis. Municipality's *pro rata* amount due shall be determined by multiplying the Municipality's percentage Contract Amount times the actual penalty amount for which AMP is responsible.

If AMP, pursuant to the Waste Heat Power Agreements, receives any Capacity Performance bonuses received by PJM that are attributed to the Waste Heat Gas Electric Facilities, AMP shall pass the bonus through to Municipality on a *pro rata* basis. Municipality's *pro rata* share shall be determined by multiplying the Municipality's percentage Contract Amount times the actual bonus amount received by AMP.

SECTION 7 – INSTALLED CAPACITY CREDIT

Municipality will receive a pro-rata share of the net available Installed Capacity/RPM credits/charges (if any) from PJM.

SECTION 8 –ENVIRONMENTAL ATTRIBUTES

All Environmental Attributes available to AMP under the Waste Heat Power Agreement **will** be monetized by AMP at Municipality's direction and credited *pro rata*, to the Municipality. Such *pro rata* amounts to be determined by multiplying the Municipality's percentage Contract Amount times the actual Environmental Attributes available to AMP from time to time under the Waste Heat Power Agreements. Alternatively, in the event that Municipality wishes to represent the energy supplied hereunder as "renewable," at the written direction of Municipality, AMP may directly credit or retire the Environmental Attributes upon Municipality's direction through submission of the form in Exhibit C. Municipality may change its election at any point during the Term by providing written notice to AMP through the form in Exhibit C.

[Signature page follows.]

IN WITNESS WHEREOF, the Parties understand and agree to the terms and conditions contained herein and agree to be bound thereby.

**BOROUGH OF PERKASIE,
PENNSYLVANIA**

AMERICAN MUNICIPAL POWER, INC.

BY: _____

BY: _____

NAME: _____

Jolene M. Thompson
President/CEO

TITLE: _____

DATE: _____

DATE: _____

APPROVED AS TO FORM:

APPROVED AS TO FORM:

BY: _____
Municipality's Legal Counsel

BY: _____
Lisa G. McAlister
SVP and General Counsel

EXHIBIT A

RATE SCHEDULE for WASTE HEAT ENERGY*

Contract Price*:

2027:	\$59.50 / MWh
2028:	\$60.69 / MWh
2029:	\$61.90 / MWh
2030:	\$63.14 / MWh
2031:	\$64.40 / MWh
2032:	\$65.69 / MWh
2033:	\$67.00 / MWh
2034:	\$68.34 / MWh
2035:	\$69.71 / MWh
2036:	\$71/10 / MWh
2037:	\$72.53 / MWh
2038:	\$73.98 / MWh
2039:	\$75.46 / MWh
2040:	\$76.96 / MWh
2041:	\$78.50 / MWh
2042:	\$79.99 / MWh

*Reflects only those amounts that AMP will pay to Tallgrass. Service fees, or other applicable charges will have to be supplied and added.

EXHIBIT B

Capacity Schedule

	<u>kW</u>	<u>%</u>
Amount Of Total Capacity Under Waste Heat Agreements	22,740	100%
Contract Amount Of Municipality's Capacity	XXXX	XX%

EXHIBIT C

Environmental Attributes

Form is needed to be completed in the event of a change in the Municipality's election. In the event that a form is not submitted, then AMP will sell Municipality's pro-rata share of Environmental Attributes and return proceeds of sale to Municipality.

For the years 2027 through 2042 plus any Extended Term, Municipality elects the following actions be taken in regard of the Municipality's pro-rata share of Environmental Attributes available under the Waste Heat Power Agreement:

_____ For the period _____ Municipality requests that AMP credit Municipality's pro-rata share of Environmental Attributes to Municipality's PJM GATS account.

_____ For the period _____ Municipality requests that AMP sell Municipality's pro-rata share of Environmental Attributes and return proceeds of sale to Municipality.

BOROUGH OF PERKASIE, PENNSYLVANIA

SIGNED BY: _____

DATE: _____

EXHIBIT D
SECONDARY DELIVERY POINTS

[TO COME]

EXHIBIT E

EXAMPLE 2027 WASTE HEAT SCHEDULE RATE CALCULATION

2027 Example Rate

Base Energy, Capacity and Environmental Attributes Rate = \$59.50 / MWh

PJM Operating Reserves = \$0.10 / MWh (estimated)

AMP Energy Control Center charge = \$0.65 / MWh (estimated)

Sale of RECs = (\$3.00 / MWh) (estimated)

PJM Installed Capacity credit = (\$11.80 / MWh) (estimated)

Final Project Energy Rate (example) - \$45.45 / MWh

Service Fee B = \$0.58 / MWh

BOROUGH OF PERKASIE, PENNSYLVANIA

[ORDINANCE/RESOLUTION] NO. _____

**TO APPROVE THE FORM AND AUTHORIZE THE EXECUTION OF
2027 WASTE HEAT ENERGY SCHEDULE WITH
AMERICAN MUNICIPAL POWER, INC.
AND TAKING OF OTHER ACTIONS IN CONNECTION THEREWITH**

WHEREAS, the Borough of Perkasia, Pennsylvania ("Municipality") owns and operates an electric utility system for the sale of electric capacity and associated energy for the benefit of its customers; and

WHEREAS, in order to satisfy the electric capacity and energy requirements of its electric utility system, Municipality has heretofore purchased, or desires to purchase in the future, economical, reliable and environmentally sound capacity and energy and related services from, or arranged by, American Municipal Power, Inc. ("AMP"), of which Municipality is a Member; and

WHEREAS, AMP is a nonprofit corporation, organized to own and operate facilities, or to provide otherwise, for the generation, transmission or distribution of electric capacity and energy, or any combination thereof, and to furnish technical services on a cooperative, nonprofit basis, for the mutual benefit of AMP members ("Members"), such Members, including Municipality, being political subdivisions that operate, or whose members operate, municipal electric utility systems; and

WHEREAS, Municipality, acting individually, and through AMP with other political subdivisions of this and other states that own and operate electric utility systems jointly, endeavors to arrange for reliable, environmentally sound and reasonably priced supplies of electric capacity and energy and related services for ultimate delivery to its customers; and

WHEREAS, it is efficient and economical to act jointly in such regard; and

WHEREAS, Municipality has previously entered into a Master Services Agreement with AMP, AMP Contract No. C-8-2008-6536 (the "MSA"), which contemplates that Municipality may enter into various schedules for the provision of capacity and associated energy and related services from AMP to Municipality; and

WHEREAS, certain Members, including Municipality, have determined that they can utilize additional sources of reliable and economical wind-generated electric capacity and energy on a long-term basis, and have requested that AMP arrange for

the same by acquiring interests through a purchased power agreement (PPA) in certain wind energy facilities; and

WHEREAS, in furtherance of this purpose, AMP has entered into purchase power agreements (“Waste Heat Power Agreements”) with Tallgrass Muskingum Community Power, LLC and Tallgrass Columbus Community Power, LLC, (“Tallgrass”) under the terms of which AMP will purchase and Developer will supply and sell up to 22.74 MWac of capacity and associated energy and environmental attributes from the Waste Heat Energy generation projects located in PJM footprint; and

WHEREAS, it is necessary and desirable for Municipality to enter into a schedule to the MSA to provide for an additional source of capacity, energy and environmental attributes; and

WHEREAS, through approval and execution of the 2027 Waste Heat Energy Schedule authorized below, Members now have the right, but not the obligation, to authorize and request AMP to acquire capacity and energy through the Waste Heat Power Agreements; and

WHEREAS, prior to the adoption of this [[Ordinance/Resolution](#)] AMP has (i) informed Municipality of the terms of the 2027 Waste Heat Energy Schedule; (ii) provided Municipality the opportunity to review the anticipated form of the Waste Heat Power Agreements; and (iii) offered representatives of Municipality the opportunity to ask such questions, review data and reports, conduct inspections and otherwise perform such investigations with respect to, as applicable, the acquisition of capacity and energy and the terms and conditions of the 2027 Waste Heat Energy Schedule authorized below as Municipality deems necessary or appropriate in connection herewith; and

WHEREAS, Municipality requests and authorizes AMP to explore an arrangement whereby AMP may prepay all or a portion of AMP's obligations to purchase energy, capacity and environmental attributes at some point during the term of the Waste Heat Power Agreements and finance the prepayment on behalf of Municipality through the issuance of bonds by AMP in order to achieve additional savings on the capacity, energy and environmental attributes derived from the Waste Heat Power Agreements that AMP can pass through to Municipality (“Prepay Agreement”) subject to the additional requirements set forth in the 2027 Waste Heat Energy Schedule.

WHEREAS, after due consideration, Municipality has determined it is reasonable and in its best interests to proceed as authorized herein below and requests and authorizes AMP to acquire capacity and energy from the Developer upon the terms and conditions set forth in the Waste Heat Power Agreements.

NOW, THEREFORE, BE IT [[ORDAINED/RESOLVED](#)] BY THE COUNCIL OF THE BOROUGH OF PERKASIE, PENNSYLVANIA:

SECTION 1. That the 2027 Waste Heat Energy Schedule between Municipality and AMP, substantially in the form attached hereto or on file with the Clerk, including Exhibits thereto, is approved, and the Authorized Representative of Municipality, identified below, is hereby authorized to execute and deliver the 2027 Waste Heat Energy Schedule with such changes as the Authorized Representative may approve as neither inconsistent with this [Ordinance/Resolution] nor materially detrimental to the Municipality, his or her execution of the 2027 Waste Heat Energy Schedule to be conclusive evidence of such approval. For purposes of this [Ordinance/Resolution], Municipality's Authorized Representative is: [REDACTED].

SECTION 2. That the Authorized Representative is hereby authorized to (i) acquire under the 2027 Waste Heat Energy Schedule, authorized above, a Contract Amount as defined in that Schedule of up to 1.3 MW, without bid; and (ii) authorize Municipality to extend the term of the 2027 Waste Heat Energy Schedule for an extended five year period; and (iii) elect whether Environmental Attributes will be credited to Municipality's PJM GATS account or sold with the proceeds returned to Municipality; and, (iv) make any determinations and approvals required thereunder, if any, as the Authorized Representative shall deem necessary and advisable.

SECTION 3. If any section, subsection, paragraph, clause or provision or any part thereof of this [Ordinance/Resolution] shall be finally adjudicated by a court of competent jurisdiction to be invalid, the remainder of this [Ordinance/Resolution] shall be unaffected by such adjudication and all the remaining provisions of this [Ordinance/Resolution] shall remain in full force and effect as though such section, subsection, paragraph, clause or provision or any part thereof so adjudicated to be invalid had not, to the extent of such invalidity, been included herein.

SECTION 4. That this [Ordinance/Resolution] shall take effect at the earliest date allowed by law.

SECTION 5. That it is found and determined that all formal actions of this [Council/Board of Public Affairs] concerning and relating to the passage of this [Ordinance/Resolution] were taken in conformance with applicable open meetings laws and that all deliberations of this [Council/Board of Public Affairs] and of any committees that resulted in those formal actions were in compliance with all legal requirements including any applicable open meetings requirements.

[PA ONLY] SECTION 6. Pursuant to 53 P.S. § 47402-A and 53. P.S. § 47505-A, competitive bidding is not required for Municipality's purchase of capacity and associated energy and environmental attributes through the Blue Creek Wind Schedule.

(Please contact AMP's General Counsel to discuss any changes to this draft.)



PJM

INTERCONNECTION

INC.



PJM

Inside Lines

PJM Capacity Auction for 2026/2027 Delivery Year Opens

July 9, 2025

PJM Interconnection opened the bidding window today, July 9, for its auction to procure capacity for the June 2026 to May 2027 Delivery Year.

The bidding window will close on July 15, and results will be reported on July 22 after 4 p.m. Eastern.

PJM's capacity market, called the Reliability Pricing Model, secures the appropriate amount of power supply resources needed to meet predicted energy demand ahead of the delivery year.

Learn more about the capacity market at the [PJM Learning Center](#).

PA Environment Digest Blog

An Update On Environmental Issues In Pennsylvania
Edited By: David E. Hess
Former Secretary, PA Department of Environmental Protection

WEDNESDAY, JULY 9, 2025

PJM Interconnection Opens Next Electric Capacity Auction Bidding Window Of July 9 to 15 For 2026-27 Electric Delivery; Hold Your Breath!

On July 9, the [PJM Interconnection announced](#) it has opened the next electricity capacity auction bidding window of July 9 to 15 that will help determine electric prices throughout its 13 state and District of Columbia footprint that includes Pennsylvania.

The auction is to procure electric generating capacity for the June 2026 to May 2027 delivery year.

The results will be reported on July 22 after 4:00 p.m. Eastern.

[Click Here for the PJM announcement.](#)

What Can We Expect?

[John Quigley](#), Senior Fellow at the [Kleinman Center for Energy Policy](#) at the University of Pennsylvania, said, "I think we should brace ourselves for continued high energy prices and more cost increases.

"PJM remains overly dependent on fossil fueled generation.

"Solar and battery storage today are still well under 10% of generation system-wide, and the clean energy interconnection backlog persists.

"On top of that, the recently passed Federal reconciliation bill alone will raise Pennsylvania electricity costs by a projected 8% over the next four years and will intentionally constrain renewable generation growth and boost the most expensive generation of all - coal.

"Unconstrained LNG exports will raise domestic natural gas prices by at least 30% by 2050, further increasing electricity costs.

"Plus, there's a backlog on new gas turbines that stretches well into the 2030's, and tariffs will make all construction more expensive.

"So, electricity prices are going nowhere but up."

Changes From July 2024 Auction

PJM's last capacity auction in July 2024 produced a capacity price of \$269.92/MW-day for delivery in 2025-26, a 933% increase over the \$28.92 MW-day cost for delivery in the 2024-25 auction. [Read more here.](#)

The biggest change in the auction process since then was as a result of a lawsuit by Gov. Shapiro against PJM which resulted in putting a



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About Me

[David E. Hess](#)

This Blog is a companion to www.PAEnvironmentDigest.com, the weekly online newsletter and a product of PA Environment News LLC. I can be contacted by sending email to:

PaEnviroDigest@gmail.com. I served as Secretary of the Pennsylvania Department of Environmental Protection from 2001 to 2003, Executive Deputy at DEP from 1995 to 2001, as staff to the PA Senate Environmental Committee and various positions in the former Department of Environmental Resources, working

new floor and cap on electricity bids that can be accepted by PJM. [Read more here.](#)

[Utility Dive reported](#) the Federal Energy Regulatory Commission approved a price cap of \$325/MW-day and a floor of \$175/MW-day in the settlement.

PJM Fast Tracked Power Projects

In May, the PJM Interconnection released the list of 51 power projects it has selected with hopes to bring online by 2030 to provide more than 9,300 MW of reliable capacity through the Reliability Resource Initiative. [Read more here.](#)

PJM choose 22 projects generating 5,095 MW in Virginia; 9 projects generating 3,363 MW in Ohio; 7 projects generating 1,201 MW in Pennsylvania; 5 projects generating 550 MW in New Jersey; 4 projects in Illinois generating 398 MW; 2 projects in Maryland generating 554 MW; 1 project in Kentucky generating 786 MW and 1 project in West Virginia. [Read more here.](#)

New PA Data Center Demand

Demand for electricity has increased since July 2024 as a result of new A.I. and data center announcements.

On July 9, Reuters reported the PJM electric grid is “under strain as data centers and A.I. chatbots consume power faster than new plants can be built.” [Read more here.](#)

On July 7, the US Department of Energy released a report on grid reliability saying the growth of electric generation is not keeping up with demand and that generation must match the needs of A.I. data center demands. [Read more here.](#)

Seven major announcements by Amazon, Homer City Redevelopment, Liberty Energy, TECfusions, Constellation Energy, Rich Pike LLC and KDI Wyalusing Power LLC in the last few months highlight A.I. demand in Pennsylvania.

Amazon said it will invest \$20 billion in data center development in Pennsylvania, starting in Bucks and Luzerne counties. [Read more here.](#)

As part of that deal, Talen Energy agreed to sell Amazon 1.9 GW of power from the Susquehanna Nuclear Plant in Luzerne County for its exclusive use that would otherwise be going onto the grid. [Read more here.](#)

The 3,200 acre former Homer City coal-fired power plant campus is being converted to a data center complex powered by a new 4.4 GW natural gas-fired power plant in Indiana County. [Read more here.](#)

The developers said 25% of the power generated at the site may be turned back to the electric grid for use by “ordinary people.” [Read more here.](#)

TECfusions announced the acquisition of 1,395 acres in Upper Burrell, Westmoreland County for a data center project, known as TECfusions Keystone Connect. The project will transform the shuttered office and industrial site into a state-of-the-art data center campus, with plans for 3 gigawatts of natural gas-fired power generation capacity to be deployed over six years. [Read more here.](#)

[Liberty Energy Inc.](#), [Imperial Land Corporation](#) and [Range Resources – Appalachia, LLC](#) announced a strategic alliance to support the development of a state-of-the-art power generation facility of up to 1 GW in size within the [Fort Cherry Development District](#) in Robinson Township, Washington County. [Read more here.](#)

Rich Pike LLC announced plans to build 30+ data centers in Clifton and Covington Townships, Lackawanna County pulling 1.5 GW of power from local PPL power lines. [Read more here.](#)

The KDI Wyalusing Power LLC has applied for an Air Quality Permit for a 218 MW natural gas-fired power plant dedicated to only providing power to a data center with an unknown owner in Wyalusing Township, Bradford County on a site originally proposed for an LNG gas processing plant. [Read more here.](#)

And the deal that kicked things off-- the Constellation Energy restart of the Three Mile Island Nuclear Power Plant to feed Microsoft

on environmental issues for over 40 years.

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data centers-- recently said it will start generating power by 2027, earlier than anticipated. [Read more here.](#)

Power Plant Purchases

The sale of other individual power plants in Pennsylvania intended for the use or hoping for the use of those A.I. and data centers is also taking electric generation away from the grid and ["ordinary" users](#) and being reserved for particular customers.

[The Associated Press reported](#)-- "Looking for a quick fix for their fast-growing electricity diets, tech giants are increasingly looking to strike deals with power plant owners to plug in directly, avoiding a potentially longer and more expensive process of hooking into a fraying electric grid that serves everyone else."

Vistra Corp announced it will acquire 2.6 GW natural gas-fired power plants, including two plants in Pennsylvania totalling 1,478 MW of capacity with the intent, in part, of meeting data center demand. [Read more here.](#)

NRG is purchasing the LS Power 2.4 GW generating portfolio, including five natural gas power plants in Pennsylvania with 2,436 MW of capacity. NRG said the peaking plants in the mix may be converted to baseload plants, again with the intent to feed data centers. [Read more here.](#)

The Canadian firm Bifarms Ltd is buying Stronghold Digital Mining and the Scrubgrass and Panther Creek coal waste power plants which were already dedicated for cryptocurrency operations, as are other coal waste plants. [Read more here.](#)

Dependent On One Fuel

The Independent Fiscal Office issued its [latest Pennsylvania Electricity update](#) that reports the electricity grid is dependent on one fuel for 59% of the state's electricity generation-- natural gas-- followed by nuclear power-- 31.9%, coal-- 5.4% and 3.7% from other sources. [Read more here.](#)

The price of natural gas-generated electricity is subject to the whims of international natural gas prices, as Russia's war in Ukraine very clearly demonstrates.

The increase in LNG gas exports is also linking domestic natural gas prices more firmly to international markets LNG is sold into, raising electric bills and gas prices here at home. [Read more here.](#)

The North American Electric Reliability Corp. pointed out again last winter, natural gas generation is threatened by ongoing concerns about extreme weather events impacting production and delivery. [Read more here.](#)

What About 'Ordinary People'?

On May 12, PA Senate and House Committees held hearings on how the rapid increase in demand for electricity to power data centers filled with computers is impacting the price and availability of electricity for "ordinary people" on the regional electric grid operated by the PJM Interconnection. [Read more here.](#)

Jason Staneck, Executive Director for Governmental Services at PJM, told the committees the unprecedented increases in demand for electricity they are seeing-- "It's not people."

"Number one head and shoulders above any other customer is data centers. So it's for everything from bitcoin mining, to generative artificial intelligence, to cloud computing, to just maintaining the consumption of all the devices, the average household now has 21 connected devices."

"And we see that everywhere, it's become a global arms race for A.I."

Rep. Danilo Burgos (D-Philadelphia), Majority Chair of the House Consumer Protection, Technology & Utilities Committee, said-- "You stated [PJM] that people aren't the problem, but yet somehow people continue to carry the load of the payments."

"Our communities like mine and Rep. Ryncavage and across Pennsylvania are going to be hurt with this increase of demand in the

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future, and I hope that the PJM will consider-- reconsider the way they allow projects to come online.

"Being as though what you stated that either it was lack of financing, or what other excuses that private entities came up with [for not bringing new electric generation online], hopefully will not happen in the future because our communities cannot afford it."

Sen. Gene Yaw (R-Lycoming), Majority Chair of the Senate Environmental Resources and Energy Committee, shared his concerns about the impact on "ordinary people."

"One of the issues that we've talked about is, I want to encourage generation capacity here, but I also want to serve the ordinary people, like everybody here.

"A.I. and data centers are great. I encourage them if we can find a way that they... and what they seem to be doing now is, they're enhancing their own power, so that they have a reliable source, they do it themselves.

"If we have some incentive for generation to come here, I want to make sure that generation goes to the, I can't think of a better word saying other than to say the ordinary people, the residential customers, and that they, quite honestly, can't take advantage of some incentive to come here and build for the limited use of an A.I. center.

"We're looking at that, and we're concerned about that."

[Click Here to read more.](#)

Stay Tuned!

On July 22 after 4:00 p.m. Eastern, we should learn how all these issues will impact the new PJM electricity capacity auction.

Resource Links - PA Electric Grid:

- Rise Of The Machines: [PA Senate, House Members Express Concern That Demand For Power To Run Computers Is Impacting The Price And Availability Of Electricity For 'Ordinary People'](#) [PaEN]
- House Committee [Told PA Needs An Energy Policy, Doing Nothing Means We Are Going To Run Out Of Power: Overreliance On One Fuel-- Gas-- Is Raising Electricity Prices](#) [PaEN]
- Gov. Shapiro [Announces Amazon Plans To Invest \\$20 Billion In Pennsylvania For A.I. Data Center Infrastructure; Amazon Told PUC It Has Net-Zero Carbon Emissions Goal By 2040](#) [PaEN]
- Spotlight PA: [Costs Of Amazon's \\$20 Billion Promise To Build Data Centers In PA Unknown: Impact On Electricity Supply, Power Costs To Consumers, Tax Revenue Forfeit](#)
- DEP Invites [Comments On Air Quality Permit For 72 - 2.5 MW Diesel-Fired Emergency Generators At New Amazon Data Services Center In Bucks County](#) [PaEN]
- PA Elected Officials, [Consumer, Clean Energy Advocates Demand Electric Grid Operator PJM Act To Hold Down Electricity Costs](#) [PaEN]
- PUC Urges [Electricity Customers To Start Shopping, Conserve Energy To Help Avoid Impact Of June 1 Rate Increases Of Between 5% and 16% On Most Electric Bills](#) [PaEN]
- PJM Interconnection: [51 Generation Projects, 9.3 GW To Move Forward To Address Near-Term Electricity Demand Growth-- 39 Upgrades, 12 New Construction](#) [PaEN]
- PJM [Releases List Of 51 Fast Tracked Power Projects To Provide 9.3 GW Of Power-- 7 In PA With Power Potential Of 1.2 GW](#) [PaEN]
- PUC Hearing [On Data Center Growth Impacts Finds 30-40% Of Utility Demand Could Be From Data Centers; Concerns About Stranded Costs: Major Commitments To Net-Zero Carbon Emissions Energy Use](#)
- PPL [Residential Electric Price To Compare To Increase To 12.491 Cents/kWh On June 1, Up From 10.771 Cents-- 15.9%](#) [PaEN]
- North American [Electric Reliability Corp. Files Proposed Cold Weather Standard To Improve Reliability For Natural Gas-fired, Other Electric Generators](#) [PaEN]
- PUC House [Budget Hearing: We Aren't Going To Build Our Way Out Of Electric Generation Shortfalls On PJM Grid; We Need To Diversify Our Generation Sources](#) [PaEN]

[Gov. Shapiro Announces Investment In Pittsburgh-Ba...](#)

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[DEP Posted 70 Pages Of Permit-Related Notices In J...](#)

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[Oil & Gas Methane Pollution Reduction Testimony: S...](#)

[Oil & Gas Methane Pollution Reduction Testimony: K...](#)

- PUC [Invites Stakeholder Comments On The Issue Of The Adequacy Of Electricity Supplies In Pennsylvania](#) [Background On Issue] [PaEN]
- 30 Stakeholder [Comments Received By PUC On Adequacy Of Electricity Supplies In Pennsylvania: Increasing Natural Gas Power Plant Reliability To 90-95% Would Mean No Imminent Capacity Problem](#) [PaEN]
- Gov. Shapiro [Launches Legislative Push for 'Lightning Plan' To Build More Energy Projects, Speed Up Permitting, Lower Costs, Create Jobs For Pennsylvanians](#) [PaEN]
- House, Senate [Members Introduce Gov. Shapiro's 'Lightning' Energy Plan To Lower Energy Costs, Create Jobs, Protect Pennsylvania From Global Energy Instability](#) [PaEN]
- PA Ranks [49th In US For Renewable Energy Growth: Delays In Adding Clean Energy To The Grid Will Cost Electric Ratepayers Billions](#) [PaEN]
- New Report: [Fixing PJM's Broken Electric Generation Approval Process Can Lower Energy Costs, Create Jobs Across The Mid-Atlantic](#) [PaEN]
- DEP [Releases 2024 Climate Change Action Plan Update: 2024 Climate Impacts Assessment Report](#) [PaEN]
- Pennsylvania's [Electric Grid Is Dependent On One Fuel To Generate 59% Of Our Electricity: Market Moving To Renewables + Storage](#) [PaEN]
- Gov. Shapiro [Reaches Agreement With PJM To Prevent Unnecessary Price Hikes And Save Consumers Over \\$21 Billion On Utility Bills](#) [PaEN]
- Gov. Shapiro: [FERC Approves Settlement With PJM To Prevent Unnecessary Prices Hikes, Save Consumers Over \\$21 Billion On Electric Bills](#) [PaEN]
- PA Senate [Republican Leader: 'Every Consumer Of Electricity In This Commonwealth Is Going To Pay More:' 'What You're Going To Face Is Going To Be Really Unpleasant'](#) [PaEN]
- PJM Electricity [Auction Price 9 Times Higher Than Previous Auction-- \\$269.92/MW-Day For 2025/26 Delivery Compared To \\$28.92/MW-Day In 2024-25: Extreme Weather Risk Big Factor](#) [PaEN]

Related Articles This Week:

- PJM Interconnection [Opens Next Electric Capacity Auction Bidding Window Of July 9 to 15 For 2026-27 Electric Delivery: Hold Your Breath!](#) [PaEN]
- US Dept. Of Energy [Releases Report On Electric Grid Reliability, Security Saying Generation Growth Must Match Needs Of A.I. Data Centers: But What About 'Ordinary People'?](#) [PaEN]
- ReImagine Appalachia [Hosts July 15-16 In-Person Workshop On Applying For RISE PA Industrial Decarbonization, Energy Efficiency Grants In Pittsburgh](#) [PaEN]
- DEP [Approves Permit For 400 MW, 2,716 Acre Mineral Basin Solar Energy Project On Abandoned Mine Land In Clearfield County](#) [PaEN]

NewsClips:

- Reuters: [PJM, America's Largest Power Grid, Is Struggling To Meet Demand From A.I.; Electricity Bills Are Projected To Surge 20% This Summer](#) [PDF of Article]
- WESA - Rachel McDevitt: [As More A.I. Data Centers Connect To PA's Electric Grid, Some Worry Prices Will Spike](#)
- Financial Times: [US Utilities Plot Big Rise In Electricity Rates As Data Centre Demand Booms](#)
- Bloomberg: [Electric Bills In US Set To Rise As Utility Requests For Rate Hikes To Accommodate A.I. Data Center Demands Double](#)
- DEP Invites [Comments On An Air Quality Permit For A Proposed 218 MW Natural Gas Power Plant For A Data Center In Bradford County: Site Originally Proposed For An LNG Gas Facility](#) [PaEN]
- Scranton Times: [Developer Looks To Build 30+ Data Centers In North Pocono Using 1.5 GW Of Power In Lackawanna County](#)
- Wall Street Journal: [Can Pittsburgh's Old Steel Mills Be Turned Into An A.I. Hub?](#) [PDF of Article]
- Philadelphia Business Journal: [Massive 6 Million Square Foot Data Center Proposed In New Castle, Delaware](#)
- Chesapeake Bay Journal - Karl Blankenship: [Amazon Building 2 New Data Centers In Pennsylvania](#)

- [Oil & Gas Methane Pollution Reduction Testimony: B...](#)
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- [The Derrick: Aqua Pennsylvania Details \\$5.5 Millio...](#)
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- [US Dept. Of Energy Releases Report On Electric Gri...](#)
- [ReImagine Appalachia Hosts July 15-16 In-Person Wo...](#)

-- TribLive: [Judge Halts Demolition Of Homer City Power Plant Over Contractor Dispute](#)

-- Pittsburgh Business Times: [Dispute Arises Between Contractors Over Demolition At Homer City Data Campus Redevelopment](#)

-- Utility Dive: [Ohio Regulators Approve Special AEP Data Center Interconnection Rules, Lifts AEP Moratorium On Connecting New Centers](#)

-- The Allegheny Front - Reid Frazier: [PA Leaders, President To Meet At Carnegie Mellon On Natural Gas, Data Centers As A.I. Threatens To Worsen Climate Change](#) [July 15]

-- Pittsburgh Business Times: [Pittsburgh Summit To Showcase Intersection Of Energy, A.I. And Policy](#) [July 15]

-- Post-Gazette - Chloe Jad/Anyia Litvak: [A Critical Energy And A.I. Summit Is Coming To Pittsburgh July 15: Is The City Ready For Its Close-Up?](#)

-- Post-Gazette: [Gov. Shapiro To Attend McCormick's Energy, A.I. Summit In Pittsburgh](#)

-- Post-Gazette: [PA US Sen. McCormick In The Spotlight As He Brings Focus On PA Energy, A.K. To Pittsburgh](#)

-- TribLive: [President's Participation In Energy Summit At Carnegie Mellon Met With Backlash](#)

-- Reuters: [EIA Forecasts Record Power Use In 2025, 2026 As Natural Gas Generation Slides, Renewables Increase](#)

-- US Dept. Of Energy [Releases Report On Electric Grid Reliability, Security Saying Generation Growth Must Match Needs Of A.I. Data Centers: But What About 'Ordinary People'?](#) [PaEN]

-- Utility Dive: [DOE Report: Load Growth, Plant Retirements Could Drive 100X Increase In Blackouts By 2030; Clean Energy Advocates Say It Likely Exaggerates The Risk](#)

-- Bloomberg: [US DOE Report Warns Of Blackouts In Precursor To Help Coal](#)

-- E&E News: [US DOE Plays Out Worst-Case Scenarios For Electric Grid In Report Viewed As Groundwork For Order On Coal, Gas Power Plants To Support A.I. Data Centers](#)

-- Utility Dive: [PJM Market Monitor Urges FERC To Set Conditions On NRG Energy's Plan To Buy 13GW In Gas-Fired Generation From LS Power To Avoid Market Abuses](#)

-- S&P Global: [US Power Sector Ramps Up Fossil Fuel Investments; 106 GW Planned For 197 Sites](#)

-- Reuters: [President Calls Wind, Solar Energy Bad For Power Grid; Texas Shows Otherwise](#)

-- White House: [President Issues Executive Order To Eliminate Subsidies For 'Unreliable' Green Energy Sources Like Wind, Solar; Implement Foreign Entity Of Concern Restrictions](#)

-- Reuters: [President's Executive Order Seeks To End To Wind And Solar Energy Subsidies](#)

[Posted: July 9, 2025] [PA Environment Digest](#)

Posted by [David E. Hess](#) at [4:58 PM](#)

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BOROUGH OF PERKASIE
Building and Codes Department
Permit Issued For : June 2025

Permit	Parcel	Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
1 BU/PB 20-1053	33013035	Alterations		398 Essex Ct	\$199.50		Closed		06/18/2025
					\$199.50				

Building : Commercial

Permit	Parcel	Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
2 25-0382	33005456-008	Commercial Garage	HG Properties 10 LP	44 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
3 25-0392	33005456-013	Commercial Garage	HG Properties 10 LP	54 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
					\$1,025.44	\$9.00			

Building : Residential

Permit	Parcel	Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
4 25-0358	33005381	Residential Additions or Enclosures	Tom Hamburger Builders INC	250 W MARKET ST	\$1,368.73	\$4.50	PENDING PAYMENT	05/22/2025	06/23/2025
5 25-0361	33010253	Residential Roofing	NEALMAN CONSTRUCTION	307 KENT LA	\$139.50	\$4.50	ACTIVE	05/27/2025	06/03/2025
6 25-0366	33005456-006	Residential Deck/Patio	HG PROPERTIES 85, LP	40 N EIGHTH ST	\$266.00	\$4.50	ACTIVE	06/05/2025	06/12/2025
7 25-0369	33005321	Residential Roofing	TIMOTHY SCHAFFER ROOFING	28 S FOURTH ST	\$139.50	\$4.50	APPROVED	06/09/2025	06/12/2025
8 25-0370	33013004-005	Residential Interior Alterations	WELLS & SONS CHIMNEY	509 COUNTRY POINTE CIR	\$717.50	\$4.00	APPROVED	06/09/2025	06/12/2025
9 25-0377	33005633	Residential Roofing	UNITY EXTERIORS / TIM NASE	423 RACE ST	\$139.50	\$4.50	ACTIVE	06/12/2025	06/12/2025
10 25-0378	33005632	Residential Roofing		421 RACE ST	\$139.50	\$4.50	APPROVED	06/12/2025	06/23/2025
11 25-0381	33005456-008	Residential New Residential Structure	HG Properties 10 LP	44 N EIGHTH ST	\$1,553.04	\$4.50	PENDING PAYMENT	06/13/2025	06/30/2025
12 25-0384	33005456-009	Residential Garage	HG Properties 10 LP	46 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
13 25-0386	33005456-010	Residential Garage	HG Properties 10 LP	48 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
14 25-0388	33005456-011	Residential Garage	HG Properties 10 LP	50 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
15 25-0390	33005456-012	Residential Garage	HG Properties 10 LP	52 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
16 25-0394	33005456-014	Residential Garage	HG PROPERTIES 85, LP	56 N EIGHTH ST	\$512.72	\$4.50	PENDING PAYMENT	06/13/2025	06/26/2025
17 25-0395	33010009	Residential Roofing	TIMOTHY SCHAFFER ROOFING	206 E WALNUT ST	\$139.50	\$4.00	APPROVED	06/13/2025	06/23/2025
18 25-0397	33007009-001	Residential Interior Alterations	JUSTIN & THERESA NYCE	1037 N RIDGE RD	\$239.50	\$4.50	PENDING PAYMENT	06/13/2025	06/23/2025
19 APP-250	33-013-035	Residential Roofing	North Star Roofing	398 ESSEX CT	\$139.50	\$4.50	APPROVED	06/06/2025	06/06/2025
					\$7,545.37	\$71.00			

Mechanical : Residential

Permit	Parcel	Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
20 25-0373	33007052-016	Residential Repair	CHRISTIAN HEATING, COOLING, PLUMBING & ELECTRIC	638 HIGHLAND DR	\$139.50	\$4.50	APPROVED	06/09/2025	06/12/2025

21	25-0375	33009144	Residential	Repair	HORIZON SERVICES	302 HAMPTON CIR	\$239.50	\$4.50	OPEN	06/09/2025	06/12/2025
22	25-0398	33006326	Residential	Alteration		502 HUNTERS RUN	\$139.50	\$4.50	PENDING PAYMENT	06/13/2025	06/23/2025
							\$518.50	\$13.50			

Plumbing : Residential

Permit	Parcel		Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
23 25-0374	33010092	Residential	Repair	J.KIDD PLUMBING HEATING AND COOLING	425 E WALNUT ST	\$139.50	\$4.50	APPROVED	06/09/2025	06/12/2025
						\$139.50	\$4.50			

STREET OPENING : Residential

Permit	Parcel		Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date	
24	25-0400	33014061	Residential	ROAD CUT	SCOTT GRAHAM	121 STRASSBURGER RD	\$300.00		APPROVED	06/23/2025	06/23/2025
25	25-0417	33005111	Residential	ROAD CUT		508 W WALNUT ST	\$150.00		OPEN	06/30/2025	06/30/2025
							\$450.00				

Use and Occupancy : Residential

Permit	Parcel		Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
26 25-0359	33011002	Residential	Commercial U & O	RICHENE R JOHNSON	308 W CALLOWHILL ST	\$150.00		COMPLETED	05/23/2025	06/09/2025
						\$150.00				

Zoning : Commercial

Permit	Parcel	Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
27 25-0338	12009200-001	Commercial Sign - Permanent	GREG FELD- KC SIGN CO	0 W BLOOMING GLEN DR	\$200.00		APPROVED	05/07/2025	06/05/2025
					\$200.00				

Zoning : Residential

Permit	Parcel		Work Desc	Applicant	Work Location	Permit Fee	UCC	Status	App. Date	Issue Date
28	25-0380	33010113	Residential	Shed	JACHIM MICHAEL / ASHLEY	16 VIRGINIA AVE	\$100.00	APPROVED	06/12/2025	06/12/2025
29	25-0399	33007077	Residential	Shed	BROWN BRUCE E & STACY R	641 SHADYWOOD DR	\$100.00	OPEN	06/23/2025	06/23/2025
30	25-0403	33006126	Residential	Shed	JOHN & RENEE HESSLER	821 POPLAR ST	\$100.00	OPEN	06/24/2025	06/24/2025
							\$300.00			

Total Permit Fees:

\$10,528.31

Total State UCC:

\$98.00

June Report Service Request and Complaint Calls								
Department	Request Number	Status	Entered Date	Closed Date	Service Issue	Service Descr	Action Date	Last Action Taken
CODE ENFORCEMENT	25-521	CLOSED	03/18/2025	06/23/2025	OTHER	Phone call received from Chief Schurr, resident drove van through garage.	06/23/2025	Building permit application submitted for repairs.
CODE ENFORCEMENT	25-588	CLOSED	05/15/2025	06/24/2025	abandoned vehicles		06/24/2025	Completed site inspection Truck was removed from the property.
CODE ENFORCEMENT	25-615	CLOSED	06/09/2025	06/13/2025	TREES	DEAD/ DISEASED TREE	06/13/2025	Completed site inspection from street. Tree is overgrown but does not seem dead or dangerous.
CODE ENFORCEMENT	25-616	CLOSED	06/10/2025	07/17/2025	OTHER	This house needs to have the meter base reattached to the side of the home. The wood behind the meter base may be rotted and might need to be replaced before the meter base can be attached.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-617	OPEN	06/10/2025		OTHER	This home needs to have the the pipe reattached to the meter base to fixed the exposed wires. The electric department will help with to temporary turn off the power while the work is being completed if necessary.	07/18/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-618	OPEN	06/10/2025		OTHER	This home needs to have the pipe reattached to the meter base that has exposed the wires. It will also need to have the bush it front of the meter base removed or trimmed away from the meter base to allow access. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-619	OPEN	06/10/2025		OTHER	This home needs to have the meter base reattached. The wood behind the meter base may need to be replaced first if it is to rotted. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-621	OPEN	06/10/2025		OTHER	The home needs to have the meter base reattached. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-622	OPEN	06/10/2025		OTHER	This home needs to have the meter base reattached. The bush will also need to be taken down or trimmed to allow access to the meter. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-623	OPEN	06/10/2025		OTHER	This home needs to have their meter base replaced. It is very rusty and the locking tab has rusted off so the meter base cover can no longer be locked in place with a meter seal. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.

CODE ENFORCEMENT	25-624	OPEN	06/10/2025		OTHER	This home needs to have the meter base reattached. The clasp is very rusty so they may need to replace the meter base. Also the wood behind the meter base may be rotted as well. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-625	OPEN	06/10/2025		OTHER	This home needs to have the meter base reattached to the home. The wood may be rotten behind and may need to be replaced. The electric department will help to temporary turn off the power while the work is being completed if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-627	OPEN	06/10/2025		OTHER	This house has a double meter base. The meter base on the right has a jaw on the bottom that is very loose and needs to be replaced. I installed a temporary jaw clip to help keep in closed, but this is just temporary and will need to be fixed. The electric department can help with turning off the power for the repairs to be made if necessary.	07/17/2025	Letter sent to Property Owner.
CODE ENFORCEMENT	25-630	CLOSED	06/11/2025	07/14/2025	HIGH GRASS/WEEDS	Grass and Weeds / Skunks/ rodents	07/14/2025	Resident has been mowing the property on a regular basis now.
CODE ENFORCEMENT	25-636	OPEN	06/13/2025		OTHER	This home needs to have its service entry cable and meter base replaced. The neutral is in bad condition and the insulation on the wires is cracked. This needs to be replaced sooner than later.	7/17/2025	Letter sent to resident
CODE ENFORCEMENT	25-637	OPEN	06/13/2025		OTHER	Illegal advertising signs. Inspection and follow up.	07/10/2025	Letter was sent out to tenant and property owner.
CODE ENFORCEMENT	25-641	OPEN	06/17/2025		TREES	*** . After talking with Jason, learned ownership changed in Nov '24. (Electric billing changed at that time) New owner called 6/16/25 and asked that her trees not be cut/trimmed by the Borough anymore. This is one that we believe the Borough originally planted around the town center area many years ago and has "twinkle lights" hung/maintained by the Borough as well. I spoke to Harold regarding this, and he mentioned there were questions about this topic before, but not sure what the resolve was. I spoke to resident on 6/17/25 and let her know that I didn't believe the town center trees were scheduled to be cut again this year, but would make a note of her request, and someone would reach back out if there was further discussion needed.	7/8/2025	Will need to discuss and research Town Center Improvement plans and tree easements.

CODE ENFORCEMENT	25-645	OPEN	06/18/2025		OTHER	This is the business Lablecraft. They need to replace their service entry wire for their three phase service. The wires are in bad condition with the insulation cracking and falling off. They may also want to replace the meter base as it is also very old.	7/18/2025	Letter sent to resident
CODE ENFORCEMENT	25-647	OPEN	06/19/2025		VEGETATION	This home needs to have the bush trimmed or removed to allow access to the meter base to replace all 4 meters.	7/18/2025	Letter sent to resident
CODE ENFORCEMENT	25-650	OPEN	06/25/2025		VEGETATION	This home needs to have the bushes trimmed or removed in front of the meter base to allow access to the meter for replacement.	7/18/2025	Letter sent to resident
Electric	25-613	CLOSED	06/03/2025	07/02/2025	TREE TRIMMING	Dead Trees hanging over roadway	07/02/2025	Spoke with resident and told her that the trees would be her responsibility to remove and when she has a contractor ready the contractor could coordinate with Public Works if the road would need to be
Electric	25-610	CLOSED	06/03/2025	06/03/2025	STREET LIGHT REPAIR	The street light in front of 305 N 3rd St is out.	06/03/2025	Crew replaced driver and installed new photo eye. Tested and worked while on scene
Electric	25-635	CLOSED	06/13/2025	06/17/2025	POWER SHORTAGE	About a month ago the saw a flash at the pole/ outside and the power has been weak and lights(flicker) ever since.	06/17/2025	Linemen went out last week when request was received. They saw that the SEU cable is in need of replacement but made a temporary repair in the meantime. Service request 25-636 was sent to code enforcement to notify the h/o and let them know what is needed to be done on their end ASAP
Electric	25-646	CLOSED	06/19/2025	07/01/2025	OTHER	The batteries in the thermostat in the EOC room need to be replaced. Thank you!	07/01/2025	Crew stopped over and changed the batteries on 6/20
PARKS AND REC	25-638	OPEN	06/13/2025		OTHER	Replace ripped basketball net at Kulp Park - it's the net closest to the batting cage. Extra nets are in the building upstairs in the back room next to all the basketball supplies. I also have a stack of boxes when you first walk up the steps by the white board that can be recycled.		
PARKS AND REC	25-643	OPEN	06/18/2025		OTHER	Replace the wood counter at the Kulp Park building snack stand		
PARKS AND REC	25-644	OPEN	06/18/2025		OTHER	Kulp Park Playground: the left slide on the double slide has begun to crack at the bottom	06/27/2025	Slide needs to get replaced Lauren is finding the information for the playground system
PUBLIC WORKS	25-561	CLOSED	04/17/2025	06/10/2025	BOROUGH BUILDNG CLEANING	When someone has a chance, could you please get rid of the old, small TV that was used upstairs to view the downstairs security camera? It may just need to be taken to Perkasio PC & Repair to be recycled. Could someone also please dispose of the old typewriter on the spare desk in the downstairs area? Thank you!	06/10/2025	Removed TV from Megan's ares
PUBLIC WORKS	25-614	CLOSED	06/05/2025	06/10/2025	BOROUGH BUILDING MAINTENANCE	The next time Tom is at Borough Hall, could you please ask him to bring up 1 case of copy paper from the downstairs area to where the big copier/printer is upstairs? Thank you!	06/10/2025	Brought paper upstairs

PUBLIC WORKS	25-628	CLOSED	06/10/2025	06/10/2025	TRASH NOT PICKED UP	Martha called a short time ago to say that her trash (Borough bag) and her neighbor's trash (Borough toter at 13 S. Fifth Street) were never picked up yesterday.	06/10/2025	Picked up missed bag and missed toter
PUBLIC WORKS	25-631	CLOSED	06/11/2025	06/11/2025	OTHER	A resident of Shadywood stopped in this morning to pay her bill and said that the rains have washed away a lot of the new mulch chips on the path near the Community Garden. She asked if they can be replaced (this is her first year with a garden plot and she was very excited about it).	06/11/2025	will look into it
PUBLIC WORKS	25-632	CLOSED	06/12/2025	06/12/2025	DEBRIS	Resident called that some illegal dumped a bed frame at her house and an umbrella at her neighbor's house. Items are a small bedframe and a patio umbrella. This dumping has had happened in the past. I suggested that the resident check if any neighbors had any cameras and call the non-emergency PD number to report the illegal dumping.	06/12/2025	Picked up illegally bump items
PUBLIC WORKS	25-633	CLOSED	06/12/2025	06/12/2025	BOROUGH BUILDING MAINTENANCE	Can I have 12 chairs from the BACK row of either side of the council room moved up to the Park and Rec offices sometime on Friday, 6/13	06/12/2025	Tom is going to take care of it
PUBLIC WORKS	25-642	OPEN	06/17/2025		BOROUGH BUILDING MAINTENANCE	The door at the 7th St exit does not latch if you just let it fall closed. When I arrived for the Council meeting last night it was unlocked. When I left I had to push the door in to make sure it was latched. It needs adjustment so that it latches when someone lets it fall closed.		
PUBLIC WORKS	25-651	CLOSED	06/26/2025	06/27/2025	BOROUGH BUILDING MAINTENANCE	Could you please ask Tom to bring a case of copy paper from the downstairs area to the copier room upstairs, the next time he is at Borough Hall? Thank you!!	06/27/2025	Brought paper upstairs
RECYCLING/TRASH	25-601	CLOSED	05/27/2025	06/10/2025	NO-PICK UP TRASH	Resident just called - she put her trash out last evening, and it has not been picked up yet. She said this is not the first time she's been missed, and she has a lot of trouble walking and putting her trash out. If the guys have already gone through her area, could someone please swing back to pick up her trash? Thank you!	06/10/2025	Resident puts her Borough bag in a none Borough Toter when the truck goes by they do not stop because they think it is a recycling toter. Talk to Ms. Sipe and told her about the problem and ways to get it picked up like taking tha bag out of the toter and just placing the bag on the curb. She doesn't like that idea because she is afraid animals are going to tare the bag open. I told her if it is missed she willl have to
RECYCLING/TRASH	25-608	CLOSED	05/30/2025	06/02/2025	NO-PICK UP TRASH	Borough toter not picked up on Thursday, was out Wed night. Didn't call until today thought maybe a delay with holiday. Says its the 2nd time they haven't picked it up. If she is doing something wrong please let her know. Her name is Macenzie & # 215-593-0084. Told her that it wouldn't be picked up until Monday.	06/02/2025	Picked up missed trash from Toter
RECYCLING/TRASH	25-609	CLOSED	06/02/2025	06/02/2025	NO-PICK UP TRASH	2 boro bags missed being picked up today. Will leave out for pick up.	06/02/2025	Picked up missed bags

RECYCLING/TRASH	25-611	CLOSED	06/03/2025	06/03/2025	NO-PICK UP RECYCLING	Recycling not picked up today. Will leave it out for pickup.	06/03/2025	Picked up missed recycling
RECYCLING/TRASH	25-612	CLOSED	06/03/2025	06/03/2025	NO-PICK UP TRASH	Trash Toter was not picked up.	06/03/2025	Picked up trash from missed toter
RECYCLING/TRASH	25-626	CLOSED	06/10/2025	06/10/2025	NO-PICK UP TRASH	Boro bag missed being picked up today- will leave out for pick up	06/10/2025	Refuse truck was not by when resident called. Bag was picked up when the truck went to their house
RECYCLING/TRASH	25-629	CLOSED	06/11/2025	06/11/2025	NO-PICK UP RECYCLING	Resident called because their recycling was just missed (surrounding neighbors were all picked up), and she asked if someone could come back for it. Thank you!	06/11/2025	Went by residence and did not see any recycling
RECYCLING/TRASH	25-634	CLOSED	06/13/2025	06/23/2025	NO-PICK UP RECYCLING	Cardboard recycling missed. Said neighbors was taken and hers was missed. Please pick up. Thank you!	06/23/2025	picked up missed cardboard
RECYCLING/TRASH	25-639	CLOSED	06/16/2025	06/23/2025	NO-PICK UP TRASH	Perkasie Park Cottage #36 didn't take her Borough green trash bag	06/23/2025	Picked up missed trash
RECYCLING/TRASH	25-640	CLOSED	06/16/2025	06/23/2025	NO-PICK UP TRASH	Boro bag was not picked up, will leave out for pickup.	06/23/2025	Picked up missed trash
RECYCLING/TRASH	25-648	CLOSED	06/19/2025	06/23/2025	NO-PICK UP TRASH	Boro bag not picked up, will leave it out for pick up	06/23/2025	Picked up missed trash
RECYCLING/TRASH	25-649	CLOSED	06/20/2025	06/23/2025	NO-PICK UP RECYCLING	Homeowner called to say that their paper & cardboard has not been picked up yet; she also called because their trash hasn't been picked up yet. When I explained that Fridays are paper & cardboard only, she said that they've lived there since December and have been putting trash & recycling out on Tuesdays & Fridays and it's been getting picked up on both days.	06/23/2025	Picked up missed paper

**PERKASIE BOROUGH
RESOLUTION NO. 2025-34**

**A RESOLUTION OF THE BOROUGH COUNCIL IN AND FOR THE
BOROUGH OF PERKASIE, BUCKS COUNTY, COMMONWEALTH OF
PENNSYLVANIA, APPROVING THE STORMWATER CONTROLS AND
BEST MANAGEMENT PRACTICES OPERATIONS AND
MAINTENANCE AGREEMENT FOR THE RVS CONSTRUCTION LLC –
9 FAIRVIEW AVENUE PROJECT**

WHEREAS, RVS CONSTRUCTION LLC (“Landowner”) is the owner of certain real property in the Borough of Perkasia, identified as Bucks County Tax Parcel No. 33-010-103-001; and

WHEREAS, Landowner submitted a Grading Permit Plan for the Property pursuant to plans entitled Grading Permit Plans for RVS Construction LLC at 9 Fairview Avenue, prepared by Fioravanti, Inc., consisting of nine (9) sheets, dated January 14, 2025, and last revised May 22, 2025; and

WHEREAS, Landowner proposes to construct a single-family dwelling spanning 1939.5 square feet, alongside 1417.9 square feet designated for walkways and driveway area; and

WHEREAS, the Property has been designed with certain stormwater management improvements; and

NOW THEREFORE BE IT RESOLVED, by the Borough Council of the Borough of Perkasia, that the Borough Council hereby approves the Stormwater Controls and Best Management Practices Operations and Maintenance Agreement for the RVS CONSTRUCTION LLC – 9 Fairview Avenue Project, and authorizes the Borough Council President and Borough Manager to execute the Agreement.

THIS RESOLUTION WAS DULY ADOPTED by the Perkasio Borough Council on the
21st day of July, 2025.

ATTEST:

BOROUGH OF PERKASIE:

By: _____
Andrea L. Coaxum, Secretary

By: _____
James Ryder, Council President

Prepared by: Jeffrey P. Garton, Esquire
Begley, Carlin & Mandio, LLP
680 Middletown Boulevard
Langhorne, PA 19047

Return to: Jeffrey P. Garton, Esquire
BEGLEY, CARLIN & MANDIO, LLP
680 Middletown Boulevard
Langhorne, PA 19047

TMP: 33-010-103-001

**STORMWATER CONTROLS AND BEST MANAGEMENT
PRACTICES OPERATIONS AND MAINTENANCE AGREEMENT**

THIS AGREEMENT, made this 27 day of June 2025, between **RVS CONSTRUCTION LLC** (hereinafter referred to as the "Landowner") and the **BOROUGH OF PERKASIE**, a Borough organized and existing under the laws of the Commonwealth of Pennsylvania, located at 620 West Chestnut Street, Perkasié, PA 18944 (hereinafter referred to as the "Borough").

WITNESSETH

WHEREAS, the Landowner is the owner of certain real property, in the Borough of Perkasié, Bucks County, Pennsylvania, identified as Bucks County Tax Map Parcel No. 33-010-103-001 (hereinafter the "Property"); and

WHEREAS, the Landowner submitted a Grading Permit Plan for the Property pursuant to plans entitled Grading Permit Plans for RVS Construction LLC for 9 Fairview Avenue, prepared by Fioravanti, Inc., consisting of nine (9) sheets, dated January 14, 2025 and last revised May 22, 2025; and,

WHEREAS, the Landowner proposes to construct a single-family dwelling spanning 1939.5 square feet, alongside 1417.9 square feet designated for walkways and driveway area;

WHEREAS, the Property has been designed with certain stormwater management improvements; and

WHEREAS, the Stormwater BMP Operations and Maintenance Plan approved by the Borough (hereinafter referred to as the "Plan") for the property identified herein, which is attached hereto as Exhibit "A" and made part hereof, as approved by the Borough, provides for management of stormwater within the confines of the Property through the use of Best Management Practices (BMPs); and

WHEREAS, the Borough, and the Landowner, its successors and assigns, agree that the health, safety, and welfare of the residents of the Borough and the protection and maintenance of

water quality require that on-site stormwater Best Management Practices be constructed and maintained on the Property; and

WHEREAS, for the purposes of this agreement, the following definitions shall apply:

BMP(s) - "Best Management Practices", activities, facilities, designs, measures or procedures used to manage stormwater impacts from land development, to protect and maintain water quality and groundwater recharge and to otherwise meet the purposes of the Municipal Stormwater Management Ordinance, including but not limited to infiltration trenches, seepage pits, filter strips, bioretention, wet ponds, permeable paving, rain gardens, grassed swales, forested buffer, sand filters and detention basins; and

WHEREAS, the Borough requires, through the implementation of the Plan, that the BMPs be constructed and adequately operated and maintained by the Landowner, its successors and assign.

NOW THEREFORE, in consideration of the foregoing promises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The BMPs shall be constructed in accordance with the plans and specifications identified in the Plan.

2. The Landowner shall operate and maintain the BMP(s) as shown on the Plan in good working order acceptable to the Borough and in accordance with the specific maintenance requirements noted on the Plan.

3. The Landowner hereby grants permission to the Borough, its authorized agents and employees, to enter upon the Property, at reasonable times and upon presentation of proper identification, to inspect the BMP(s) whenever it deems necessary. Whenever possible, the Borough shall notify the Landowner prior to entering the Property.

4. In the event the Landowner fails to operate and maintain the BMP(s) as shown on the Plan in good working order acceptable to the Borough, the Borough or its representatives may enter upon the Property and take whatever action is deemed necessary to maintain said BMP(s). This provision shall not be construed to allow the Borough to erect any permanent structure on the land of the Landowner. It is expressly understood and agreed that the Borough is under no obligation to maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the Borough.

5. In the event the Borough, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the Borough for all expenses (direct and indirect) incurred within ten (10) days of receipt of an invoice for same from the Borough.

6. The intent and purpose of this Agreement is to ensure the proper maintenance of the BMP(s) by the Landowner; provided, however, that this Agreement shall not be deemed to create or effect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.

7. The Landowner, its executors, administrators, assigns, and other successors in interests, shall release the Borough's employees and designated representatives from all damage, accidents, casualties, occurrences, or claims which might arise or be asserted against said employees and representatives from the construction, presence, existence, or maintenance of the BMP(s) by the Landowner or Borough. In the event that a claim is asserted against the Borough, its designated representatives or employees, the Borough shall promptly notify the Landowner and the Landowner shall defend, at its own expense, any suit based on the claim. If any judgment or claims against the Borough's employees or designated representatives shall be allowed, the Landowner shall pay all costs and expense regarding said judgment or claim.

8. The Landowner shall inspect the BMP(s) at a minimum of semi-annually to ensure their continued functioning and provide the Borough with a copy of the Inspection Reports which shall be included in the Borough's Annual MS4 Report that is sent to the PADEP.

9. This Agreement shall be recorded at the Office of the Recorder of Deeds of Bucks County, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, its administrators, executors, assigns, heirs and any other successors in interest, in perpetuity.

IN WITNESS WHEREOF, and intending to be legally bound hereby, the parties hereto caused this Amendment to be signed and sealed on the date first upon written.

**LANDOWNER:
RVS CONSTRUCTION LLC**

Witness: _____



BY: _____



Name: PEGIV ALQ2 DASILVA

Title: OWNER

Dated: 06/27/25

**BOROUGH COUNCIL OF
PERKASIE BOROUGH:**

Attest: _____

Andrea L. Coaxum, Manager

By: _____

James Ryder, President

Dated: _____

Dated: _____

COMMONWEALTH OF PENNSYLVANIA

:
:
:
:
:

SS.

COUNTY OF BUCKS

On this, the 27 day of June, 2025, before me, the undersigned officer, personally appeared REGINALDO VARGAS DA SILVA, who acknowledged him/herself to be the OWNER of **RVS CONSTRUCTION LLC**, and that he/she as such REGINALDO VARGAS DA SILVA, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the **RVS CONSTRUCTION LLC** by him/herself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Commonwealth of Pennsylvania - Notary Seal
Shirley M. Hangey, Notary Public
Bucks County
My commission expires October 7, 2027
Commission number 1066250
Member, Pennsylvania Association of Notaries


Notary Public Shirley M. Hangey

My Commission Expires: 10/07/2027

COMMONWEALTH OF PENNSYLVANIA :

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COUNTY OF BUCKS

On this ____ day of _____, 2025, before me, a notary public of the Commonwealth of Pennsylvania, personally appeared **JAMES RYDER**, known to me (satisfactorily proven) to be the person whose name is subscribed to the within instrument on behalf of **PERKASIE BOROUGH**, and acknowledged that he executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public

My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA :

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COUNTY OF BUCKS

On this ____ day of _____, 2025, before me, a notary public of the Commonwealth of Pennsylvania, personally appeared **ANDREA L. COAXUM**, known to me (satisfactorily proven) to be the person whose name is subscribed to the within instrument on behalf of **PERKASIE BOROUGH**, and acknowledged that she executed the same for the purposes therein contained.

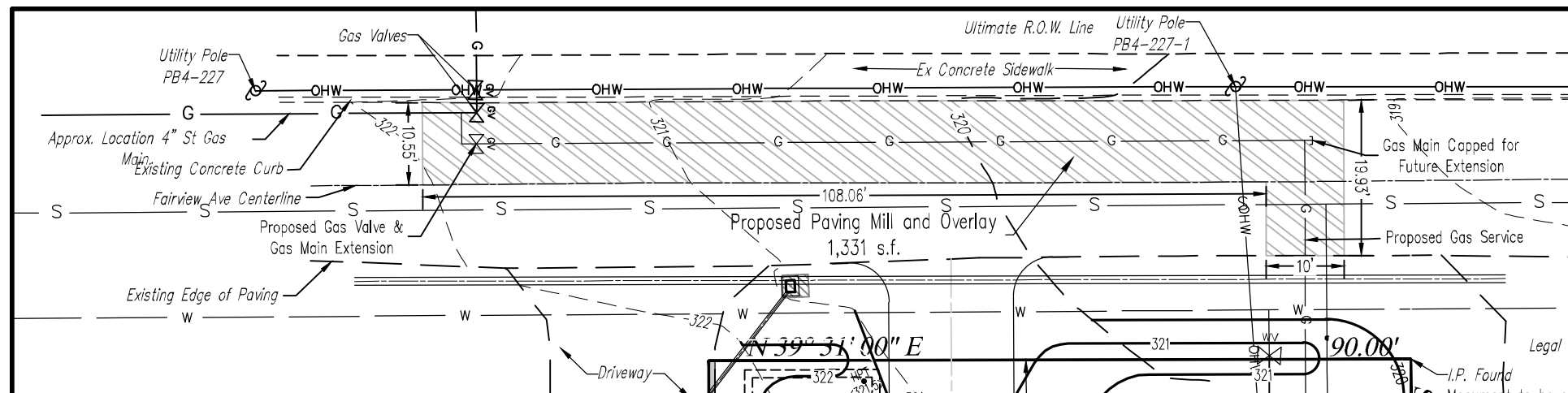
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public

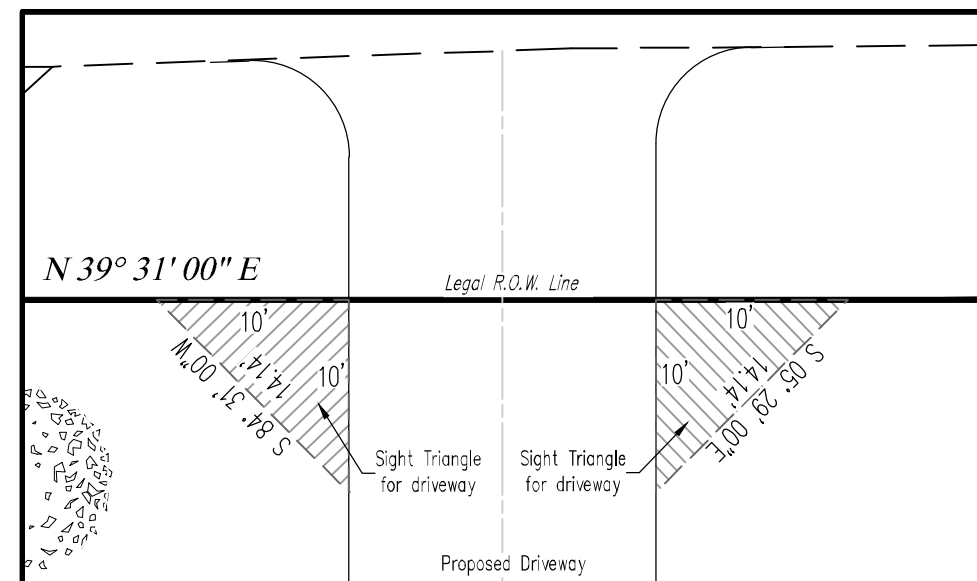
My Commission Expires:

EXHIBIT “A”

Stormwater BMP Operations and Maintenance Plan



Scale: 1" = 20'



Scale: 1" = 10'

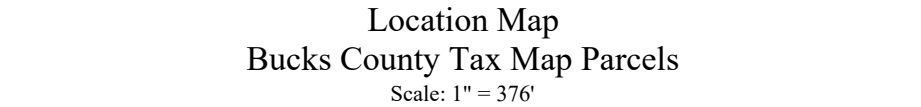
Maximum Lot Coverage:

$$\frac{(\text{Dwelling } 1,980.33 \text{ s.f.} + \text{Deck } 288.0 \text{ s.f.})}{\text{Lot Area } (13,761.27 \text{ s.f.} - 208 \text{ s.f.})} = 0.16736 \quad 16.74\%$$

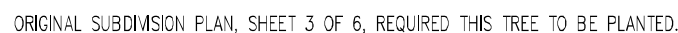
Impervious Surface Coverage:

$$\frac{\text{Impervious Surfaces } 4,242.82 \text{ s.f.}}{\text{Lot Area } 13,761.27 \text{ s.f.}} = 0.308316 \quad 30.83\%$$

I, Michael J. Kelly ON THIS DATE, APRIL 30, 2025
HAS REVIEWED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS
AND CRITERIA OF THE CURRENT PERKASIE BOROUGH STORMWATER MANAGEMENT ORDINANCE.

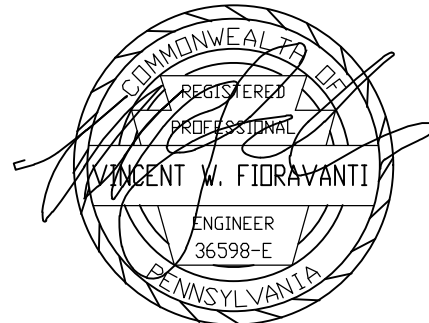
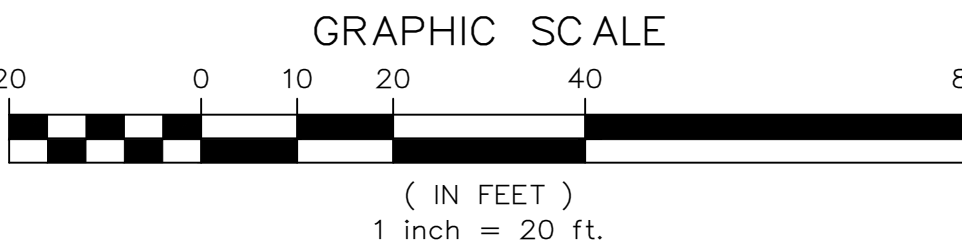


1. ALL GUTTERS SHALL HAVE GUTTER SCREENS INSTALLED.
2. STORM SEWER NOTE:
EXISTING INLET: FIELD STONE BOX
GRADE: BICYCLE SAFE STRUCTURAL STEEL GRATE
GRATE ON GRADE; TG=320.84
12"CMPI INV: ±319.04
4"ROOF DRAIN: 319.04



	EXISTING PROPERTY LINE
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	EXISTING CURB
	EDGE OF EXISTING PAVED ROAD
	EXISTING FENCE
	EXISTING EASEMENT
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING POLES
	EXISTING BUILDINGS
	EXISTING BUILDING SETBACK
	SOILS
	EXISTING PAVED DRIVEWAY
	EXISTING TREE MASS
	EXISTING TREES AND BUSHES TO REMAIN
	EXISTING TREES AND BUSHES TO BE REMOVED
	EXISTING PROPERTY LINE
	PROPOSED MONUMENT/PIN TO BE SET
	PROPOSED RIGHT OF WAY
	PROPOSED CLEAR SIGHT TRIANGLE
	PROPOSED BUILDING SETBACK
	PROPOSED LOT LINE

S-1 PERMIT PLAN
S-2 EXISTING FEATURES PLAN
S-3 EROSION CONTROL PLAN
S-4 EROSION CONTROL SPECIFICATIONS PLAN
S-5 EROSION CONTROL SPECIFICATIONS PLAN
S-6 EROSION CONTROL DETAILS
S-7 STORMWATER DETAILS PLAN
S-8 STORMWATER AND CONSTRUCTION DETAILS PLAN
S-9 UTILITIES PLAN

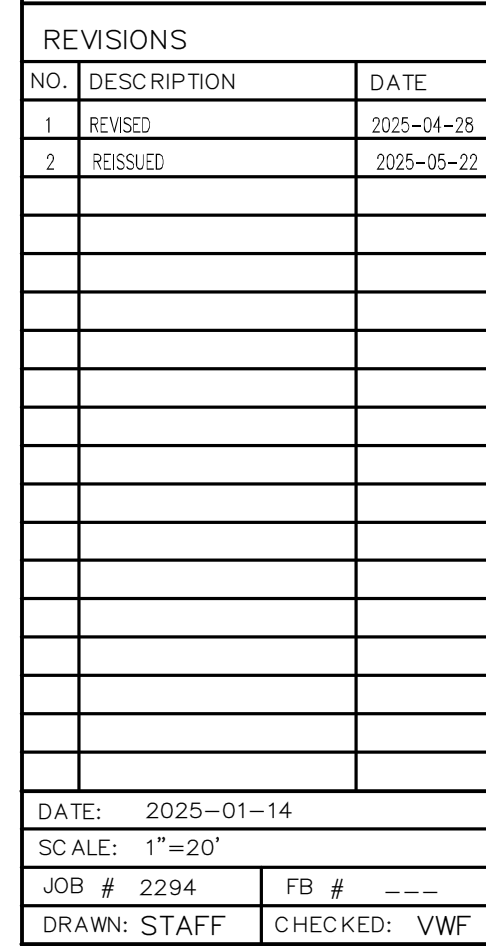
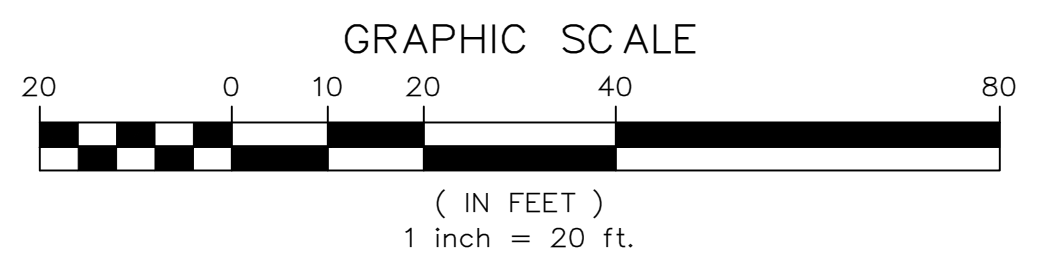
[illegible]

DATE: 2025-01-14	
SCALE: 1"=20'	
JOB # 2294	FB # ---
DRAWN: STAFF	CHECKED: VW

TMP: 33-010-103-001
FAIRVIEW AVENUE
PERKASIE BOROUGH, BUCKS COUNTY
PREPARED FOR:
RVS CONSTRUCTION LLC
615 Avon Road, Philadelphia
Pennsylvania 19116

PERMIT PLAN

SHEET
1 OF 9

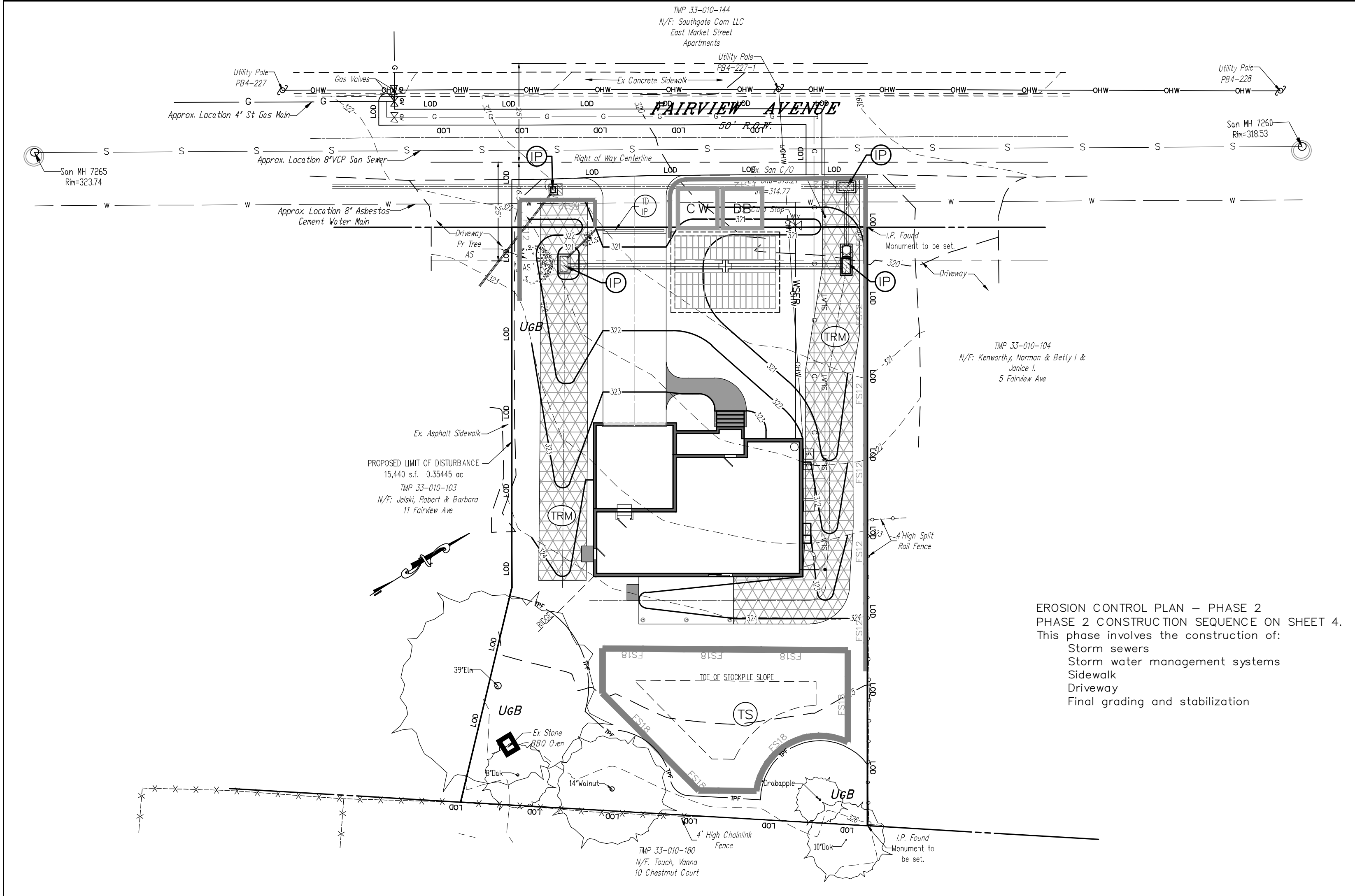
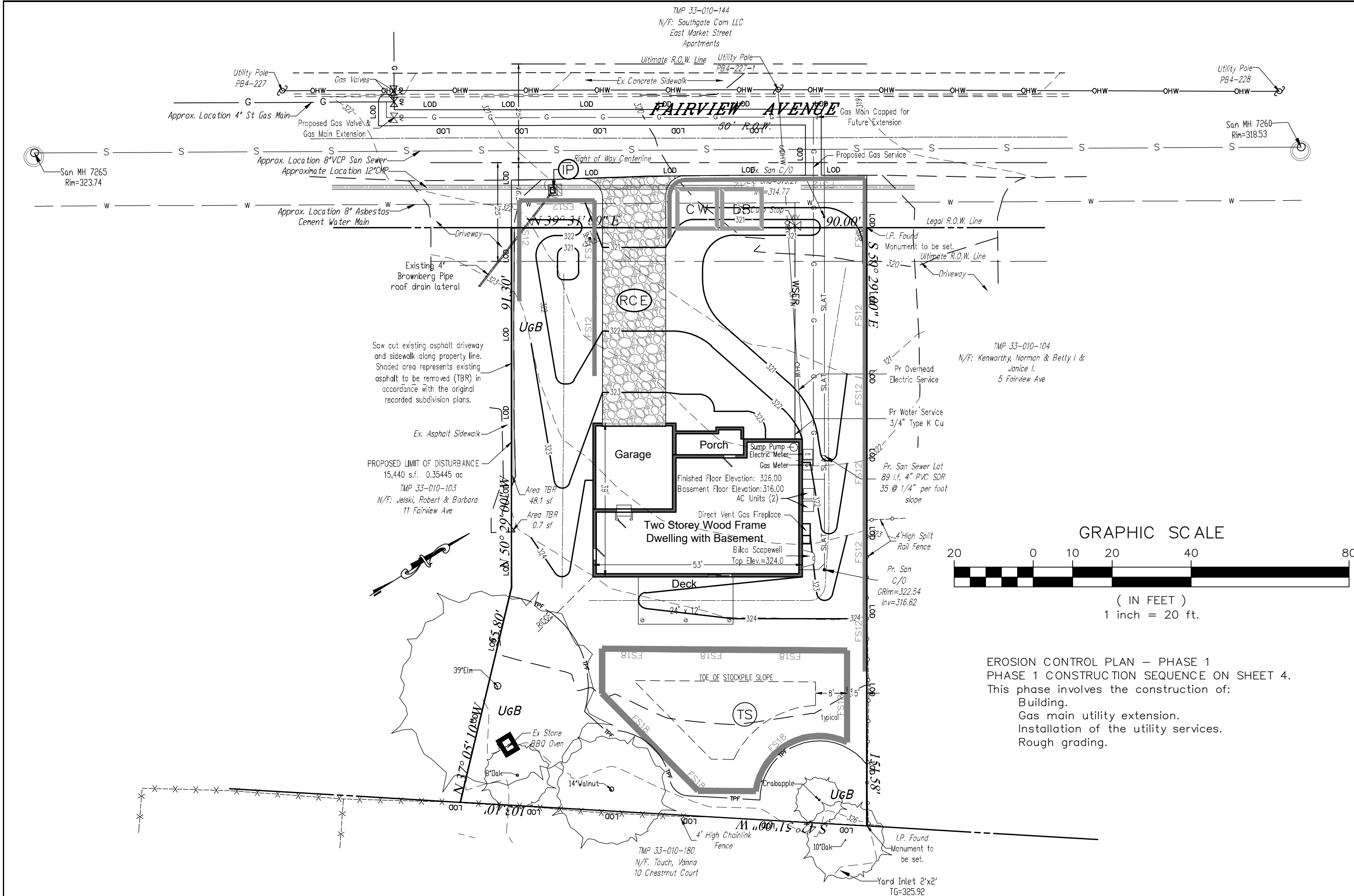


TMP: 33-010-103-001
FAIRVIEW AVENUE
PERKASIE BOROUGH, BUCKS COUNTY
PREPARED FOR:
RVS CONSTRUCTION LLC
615 Avon Road, Philadelphia
Pennsylvania 19116

EXISTING FEATURES PLAN

SHEET
2 OF 9

[illegible]



Before You Dig Anywhere

In PENNSYLVANIA

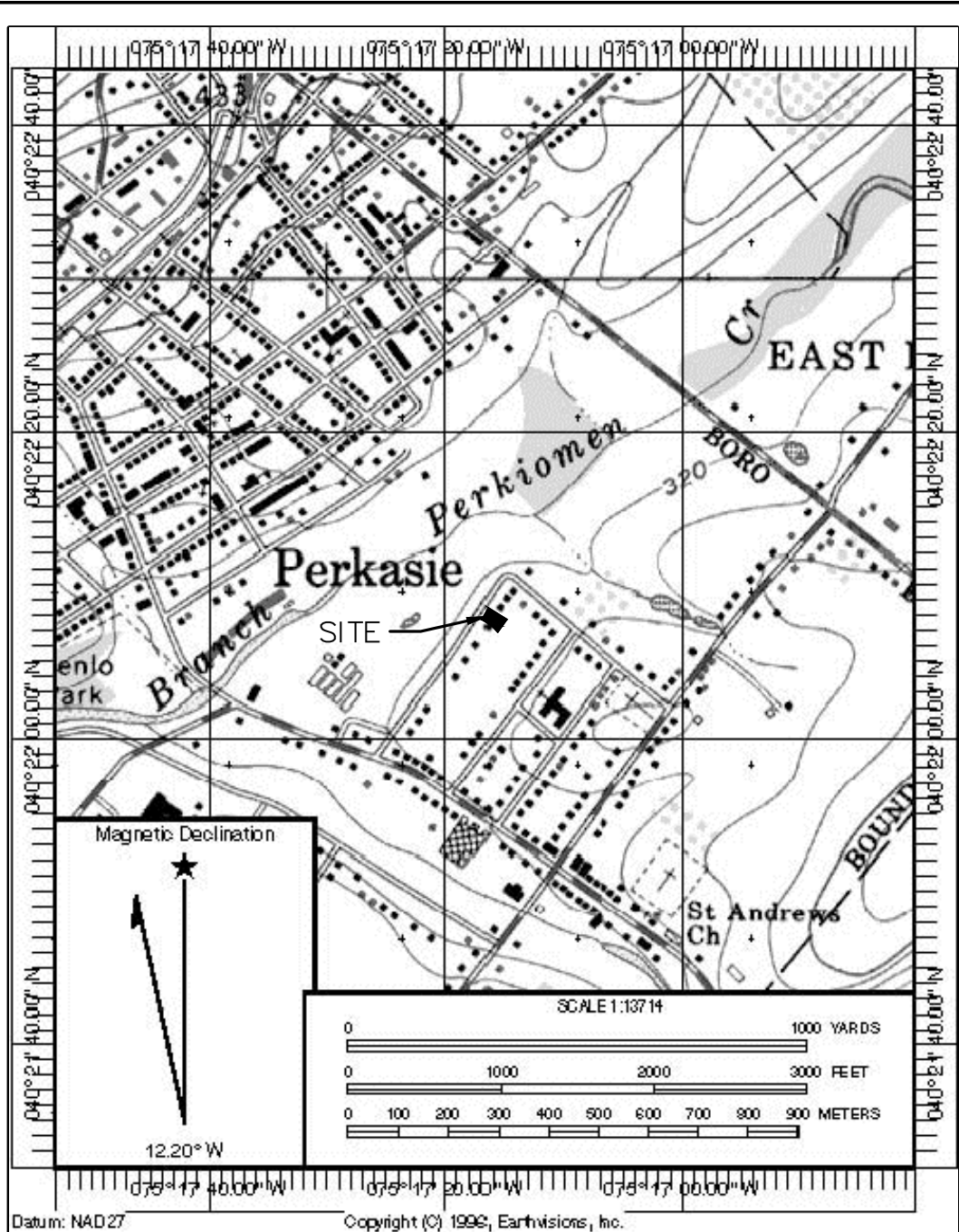
STOP! CALL 1-800-242-1776

PA ONE CALL SYSTEM, INC.

STEP	DESCRIPTION
1	AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN REPAIRER, AND THE MONTGOMERY COUNTY CONSERVATION DISTRICT TO AN ON-SITE MEETING. PLACE ONE CALL TO HAVE UTILITIES MARKED OUT. THE LIMIT OF DISTURBANCE SHALL BE STAKED PRIOR TO THE MEETING.
2	STAKEOUT THE LIMIT OF DISTURBANCE AND THE LOCATION OF THE CONSTRUCTION ENTRANCE. INSTALL THE CONSTRUCTION ENTRANCE AS DEPICTED.
3	INSTALL TREE PROTECTION FENCE AND THE SITE PERIMETER COMPOST FILTER SOCK AS INDICATED. INSTALL INLET PROTECTION OVER THE EXISTING INLET NEAR BASIN 1. LOCATE AND EXCAVATE TO UNCOVER THE EXISTING 12" CMP AT THE BASIN 2 OUTFALL. THE INVERT ELEVATION OF THE EXISTING PIPE WILL NEED TO BE VERIFIED AND REPORTED TO THE SITE ENGINEER IN CASE MODIFICATIONS TO THE INITIAL DESIGN ARE NECESSARY.
4	STRIP AND STOCKPILE TOPSOIL. REMOVE TREE STUMPS AND AND ANY DELETERIOUS MATERIAL ENCOUNTERED. THIS MATERIAL SHOULD BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS.
5	PERFORM CONSTRUCTION OF THE PROPOSED BUILDING. AT THE APPROPRIATE TIME, PERFORM THE GAS MAIN EXTENSION IN AND ACROSS FAIRVIEW AVENUE AND INTO THE SITE. AT THE COMPLETION OF THE GAS MAIN EXTENSION INSTALLATION, THE OFF-SITE DISTURBED AREAS SHALL BE RESTORED AND STABILIZED. INSTALL THE UNDERGROUND SERVICE UTILITIES INTO THE DWELLING.
6	PERFORM BULK SITE GRADING. ROUGH IN SWALES TO DIVERT CONTRIBUTING WATERSHED AWAY FROM BUILDING FOUNDATION EXCAVATION.
7	TEMPORARY STABILIZATION IS REQUIRED ON ALL BARE SOIL AREAS THAT WILL REMAIN UNDISTURBED FOR 4 OR MORE DAYS. SEE BCCD GENERAL NOTE 15.
8	AFTER THE BUILDING HAS BEEN ROOFED AND THE GUTTERS HAVE BEEN INSTALLED, HAVE GUTTER SCREENS INSTALLED. THE EXTERIOR SHELL SHOULD BE COMPLETE. (NO ADDITIONAL TRAFFIC NEEDED FOR THE BUILDING CONSTRUCTION).
9	THIS IS THE END OF THE PHASE I CONSTRUCTION SEQUENCE. AT THIS POINT THERE SHOULD BE NO FURTHER HEAVY CONSTRUCTION NEEDED FOR THE BUILDING. SEE PHASE II CONSTRUCTION SEQUENCE WHICH INCLUDES THE UNDERGROUND STORMWATER MANAGEMENT FACILITY CONSTRUCTION.
	SEE UNDERGROUND STORMWATER MANAGEMENT FACILITY CONSTRUCTION SEQUENCE.

STEP	DESCRIPTION
	PHASE II CONSTRUCTION SEQUENCE START.
10	MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. WORK FOR THE INSTALLATION OF THE UNDERGROUND DETENTION BASIN SHOULD BE SCHEDULED DURING A DRY PERIOD. STORMTANKS CAN BE PRE-ASSEMBLED AND STAGED ON SITE.
	SEE UNDERGROUND STORMWATER MANAGEMENT FACILITY CONSTRUCTION SEQUENCE.
11	INSTALL TRENCH DRAIN AND CONNECT TO THE INLET. SEAL THE INLET WITH AN HDPE SHEET TO PREVENT STORMWATER INFLOW.
	RE-ESTABLISH THE SWALE GRADE UNDER THE DECK. CONSTRUCT THE REAR DECK AND CONCRETE PADS.
12	SPREAD TOPSOIL AND ESTABLISH FINISHED GRADES OVER THE TOP OF BASIN. CONSTRUCT THE FRONT SIDEWALK. PLANT THE STREET TREE. RE-ESTABLISH THE EASTERN SIDE SWALE AND EASTERN FRONT YARD GRADES. THE PERMANENT SWALES SHALL BE LINED WITH TRM, SEEDED AND COVERED WITH AN ECB. STABILIZE WITH PERMANENT VEGETATION AND ECBs TO COMPLETE THE STABILIZATION ON THE EASTERN FRONT AND EAST SIDE YARD. SEE BCCD GENERAL NOTE 16 FOR STABILIZATION CRITERIA. (MINIMIZES CONTAMINATION FROM SILT INTO THE UNDERGROUND BASIN)
	THE EASTERN SIDE AND FRONT YARDS SHOULD BE CONSIDERED AS COMPLETED AT THIS TIME UNTIL THE GROW HAS BEEN ESTABLISHED.
14	EXCESS STOCKPILED SOIL FROM THE REAR OF THE SITE CAN BE REMOVED WITH EGRESS ALONG THE WESTERN SIDE OF THE HOUSE. EXCESS SOIL MATERIAL SHALL BE TRANSPORTED OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS TO AN APPROVED FACILITY. WORKING FROM THE BACK TO WESTERN FRONT OF THE HOUSE, SPREAD TOPSOIL AND RE-ESTABLISH FINISHED GRADES. PLANT THE STREET TREE AND ANY OTHER LANDSCAPING. INSTALL THE TRM IN THE SWALE, SEED AND COVER WITH ECB TO ESTABLISH PERMANENT VEGETATED STABILIZATION. TOUCH UP GRADING. STABILIZE WITH PERMANENT VEGETATION AND COVER ANY DISTURBED AREAS WITH EROSION CONTROL BLANKETS. INLET PROTECTION TO REMAIN IN PLACE UNTIL STABILIZATION IS COMPLETE.
15	PAVE THE NEW DRIVEWAY. SPREAD TOPSOIL ALONG THE EDGES. STABILIZE WITH PERMANENT VEGETATION AND COVER DISTURBED AREAS WITH EROSION CONTROL BLANKETS.
16	A FINAL SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OF THE EROSION AND SEDIMENT CONTROLS. SEE STANDARD E&S PLAN NOTES 30 THRU 32 AND BCCD NOTE 16.

TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS																				
SYMBOL	SOIL DESCRIPTION	LOCATION	HYDRO GROUP	CUTBANKS CAVE	CORROSI- VE TO CONCRETE / STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/ HYDRIC INCLUSIONS	LOW STRENGTH/ LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK- SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS	RESOLUTION OF LIMITATIONS
UgB	URBAN LAND-ABBOTTSTOWN COMPLEX, 0 TO 8 PERCENT SLOPES ABBOTTSTOWN SERIES LISTED	SITE	D	X	C/S		X		X	X	X	X	X	X	X			X		See Below
				1 TRENCH SHORING REQUIRED 2 PLASTIC PIPE SPECIFIED FOR STORM SEWER 4 SILT SOXX PROPOSED, IMMEDIATE STABILIZATION REQUIRED 6 PROPOSED LOD AT HIGHER ELEVATIONS 7 SOILS PREVIOUSLY DISTURBED - NOT AN ISSUE 8 3:1 MAX OR FLATTER SLOPES PROPOSED				9 INFILTRATION TESTING CONDUCTED 10 INSPECTIONS TO MONITOR BACKFILLS 11 TOPSOIL TO BE OBTAINED FROM OTHER AREAS IF NEEDED 12 SUITABLE STONE BASE UNDER PAVEMENTS 16 INFILTRATION TESTING CONDUCTED												



STEP	DESCRIPTION
1	EXISTING PROPERTY LINE
2	EXISTING 1 FOOT CONTOUR
3	EXISTING 5 FOOT CONTOUR
4	EXISTING CURB
5	EDGE OF EXISTING PAVED ROAD
6	EXISTING FENCE
7	EXISTING EASEMENT
8	EXISTING STORM SEWER
9	EXISTING SANITARY SEWER
10	EXISTING WATER MAIN
11	EXISTING POLES
12	EXISTING BUILDINGS
13	EXISTING BUILDING SETBACK
14	PROPOSED WATER SERVICE
15	PROPOSED SANITARY SEWER LATERAL
16	PROPOSED ROOF DRAIN LATERAL
17	PROPOSED NPDES PROJECT BOUNDARY
18	PROPOSED LIMIT OF DISTURBANCE
19	PROPOSED TREE PROTECTION FENCE
20	PROPOSED COMPOST FILTER SOCK 12"
21	PROPOSED COMPOST FILTER SOCK 18"
22	PROPOSED CONSTRUCTION ENTRANCE
23	PROPOSED DIRTBAQ DEWATERING STATION
24	PROPOSED CONCRETE WASHOUT STATION
25	PROPOSED INLET PROTECTION
26	PROPOSED TRENCH DRAIN INLET PROTECTION
27	PROPOSED TURF REINFORCEMENT MAT
28	PROPOSED EROSION CONTROL BLANKET

STEP	DESCRIPTION
1	EXCAVATE BASIN TO THE PROPER INVERT ELEVATION AND AN UNCOMPACTED SUBGRADE FREE FROM ROCKS AS SHOWN ON THE PLANS.
2	INSTALL THE IMPERVIOUS MEMBRANE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. INSTALL THE GEOTEXTILE FABRIC, STONE, STORM SEWERS AND CONCRETE STRUCTURES, AND STORMTANKS IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. FINISH THE UNDERGROUND DETENTION BASIN CONSTRUCTION. USE UTILITY MARKER TAPE TO MARK THE EDGES AND CORNERS OF THE BASIN. INLETS SHOULD BE COVERED TO PREVENT ANY INFLOW.
3	SEE CONSTRUCTION SEQUENCE PHASE II, STEP 11.

EROSION AND SEDIMENTATION CONTROL PLAN

SHEET 3 OF 9

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED	2025-04-28
2	REVISED	2025-05-22

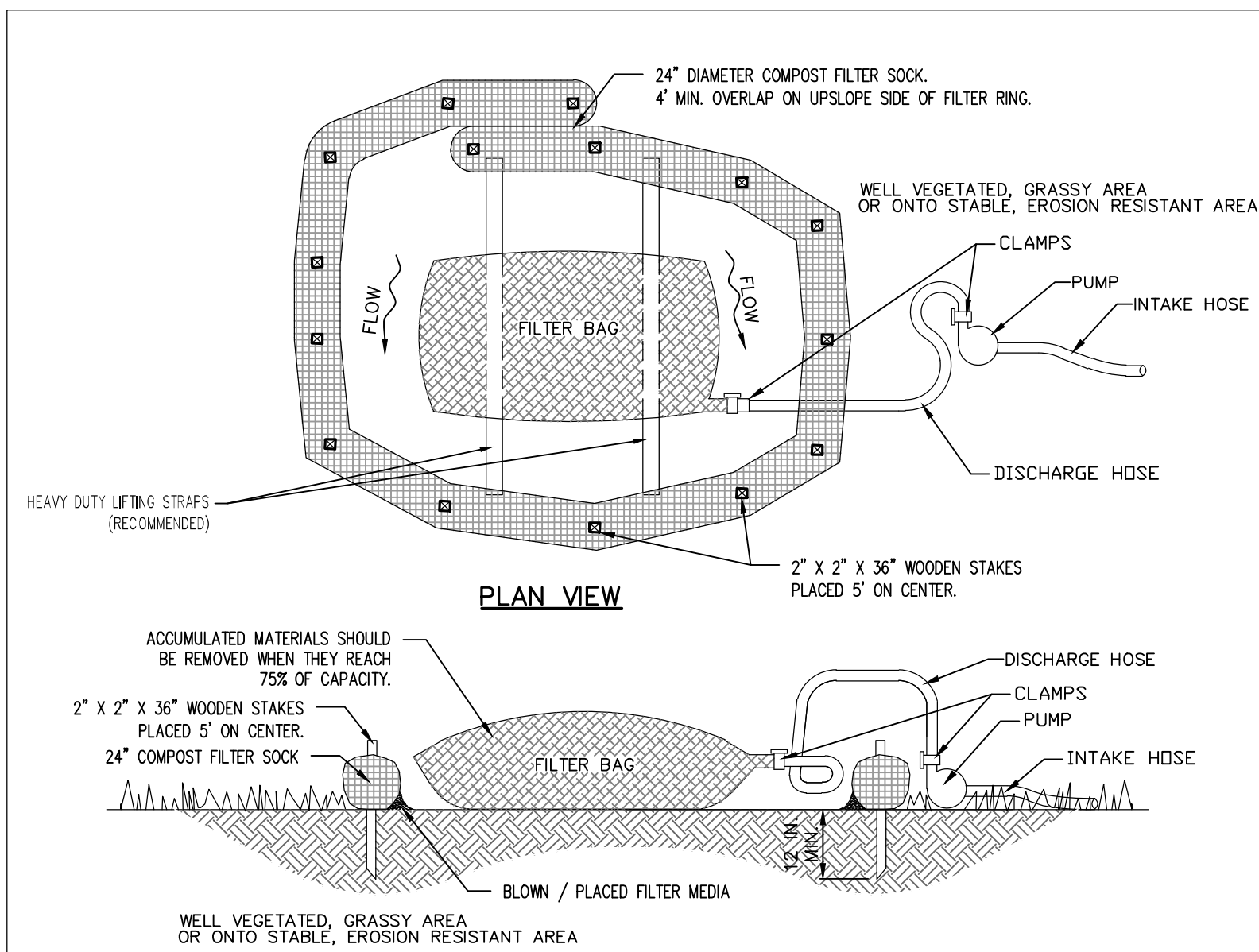
DATE: 2025-01-14
SCALE: 1"=20'
JOB # 2294 FB # ---
DRAWN: STAFF CHECKED: VWF

U.S.G.S. Location Map Telford Quad

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- EXISTING CURB
- EDGE OF EXISTING PAVED ROAD
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING POLES
- EXISTING BUILDINGS
- EXISTING BUILDING SETBACK
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER LATERAL
- PROPOSED ROOF DRAIN LATERAL
- PROPOSED NPDES PROJECT BOUNDARY
- PROPOSED LIMIT OF DISTURBANCE
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- PROPOSED COMPOST FILTER SOCK 12"
- PROPOSED COMPOST FILTER SOCK 18"
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED DIRTBAQ DEWATERING STATION
- PROPOSED CONCRETE WASHOUT STATION
- PROPOSED INLET PROTECTION
- PROPOSED TRENCH DRAIN INLET PROTECTION
- PROPOSED TURF REINFORCEMENT MAT
- PROPOSED EROSION CONTROL BLANKET

FIORAVANTI, INC.
CIVIL ENGINEERS & LAND SURVEYORS
618 STREET ROAD * SOUTHAMPTON, PA 18966
(215) 322 * 2143



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4984	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

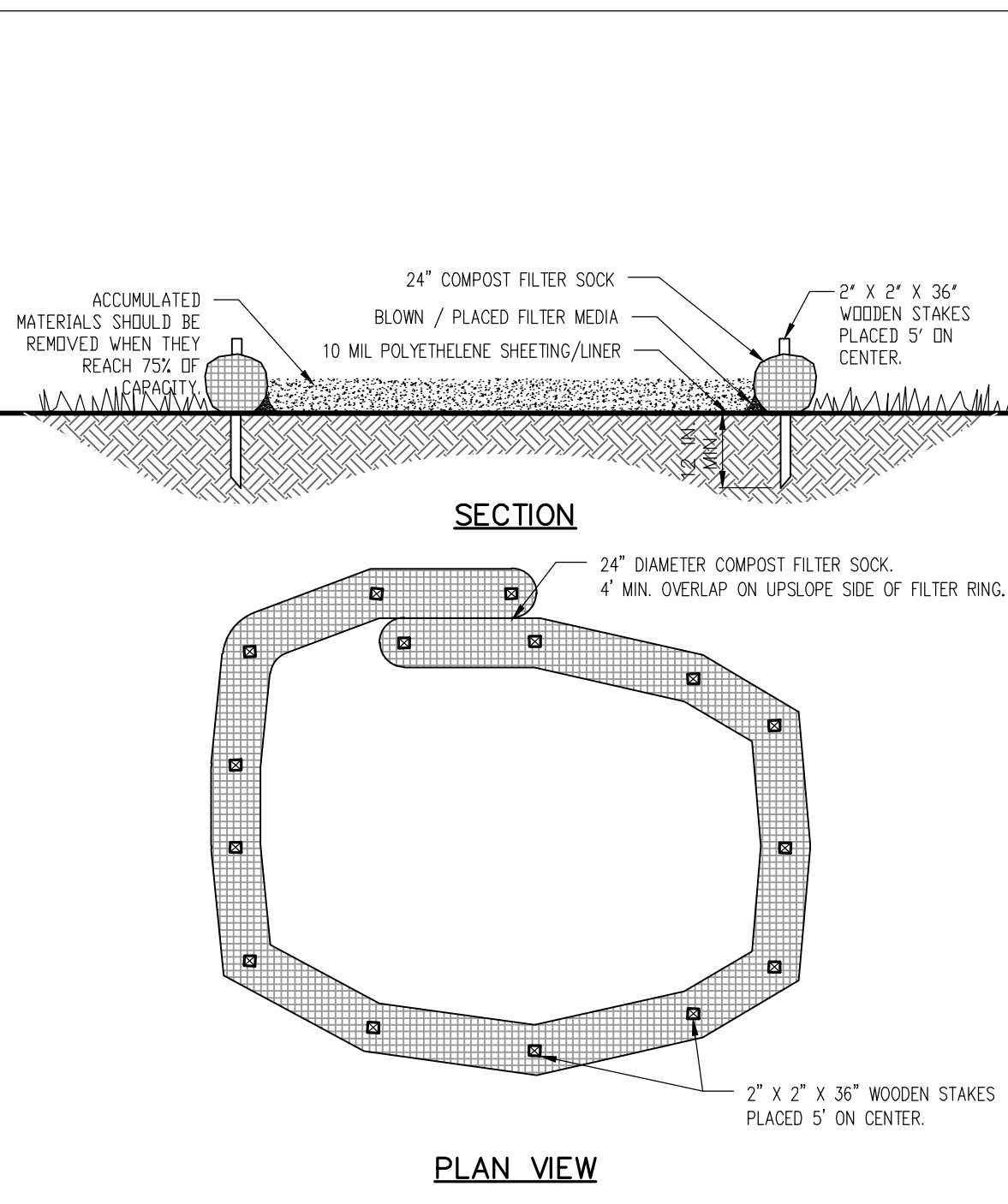
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

ABACT Construction Detail #3-16
Pumped Water Filter Bag
(NOT TO SCALE)



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. 18 INCH DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24 INCH DIAMETER SOCKS IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE. LOCATE WASHOUT AREAS AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, WATER BODIES, STEEP SLOPES. WASHOUT AREAS MUST BE SIGNED AS NECESSARY TO ENSURE THAT CONCRETE TRUCK DRIVERS UTILIZE THE PROPER AREA.

AN IMPERVIOUS LINER, (10 MIL THICKNESS WITH NO HOLES OR TEARS) SHALL BE PLACED IN THE AREA UNDER THE COMPOST FILTER SOCK TO PREVENT LEACHING OF LIQUIDS INTO THE GROUND.

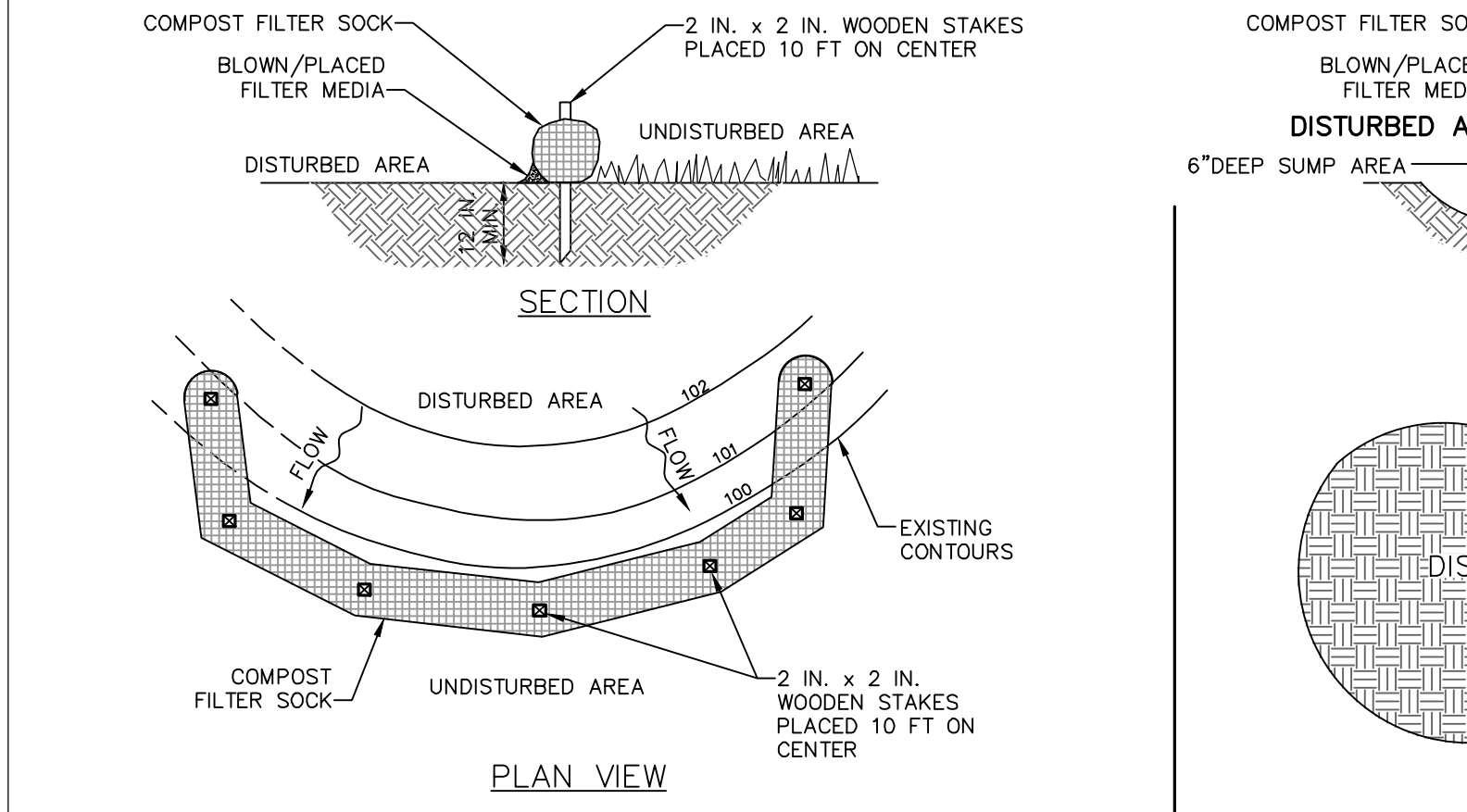
MINIMUM CONTAINMENT VOLUME = 6 CUBIC FEET FOR EVERY 10 CUBIC YARDS OF CONCRETE POURED DURING CLEANOUT INTERVAL.

WASHOUT WASTES INTO THE PIT WHERE THEY CAN SET, BE BROKEN UP, AND THEN DISPOSED OF. BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED OF TO REDUCE POTENTIAL FOR POLLUTION TO SURFACE AND GROUND WATERS.

ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

Standard Construction Detail #3-18
COMPOST FILTER SOCK WASHOUT
NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

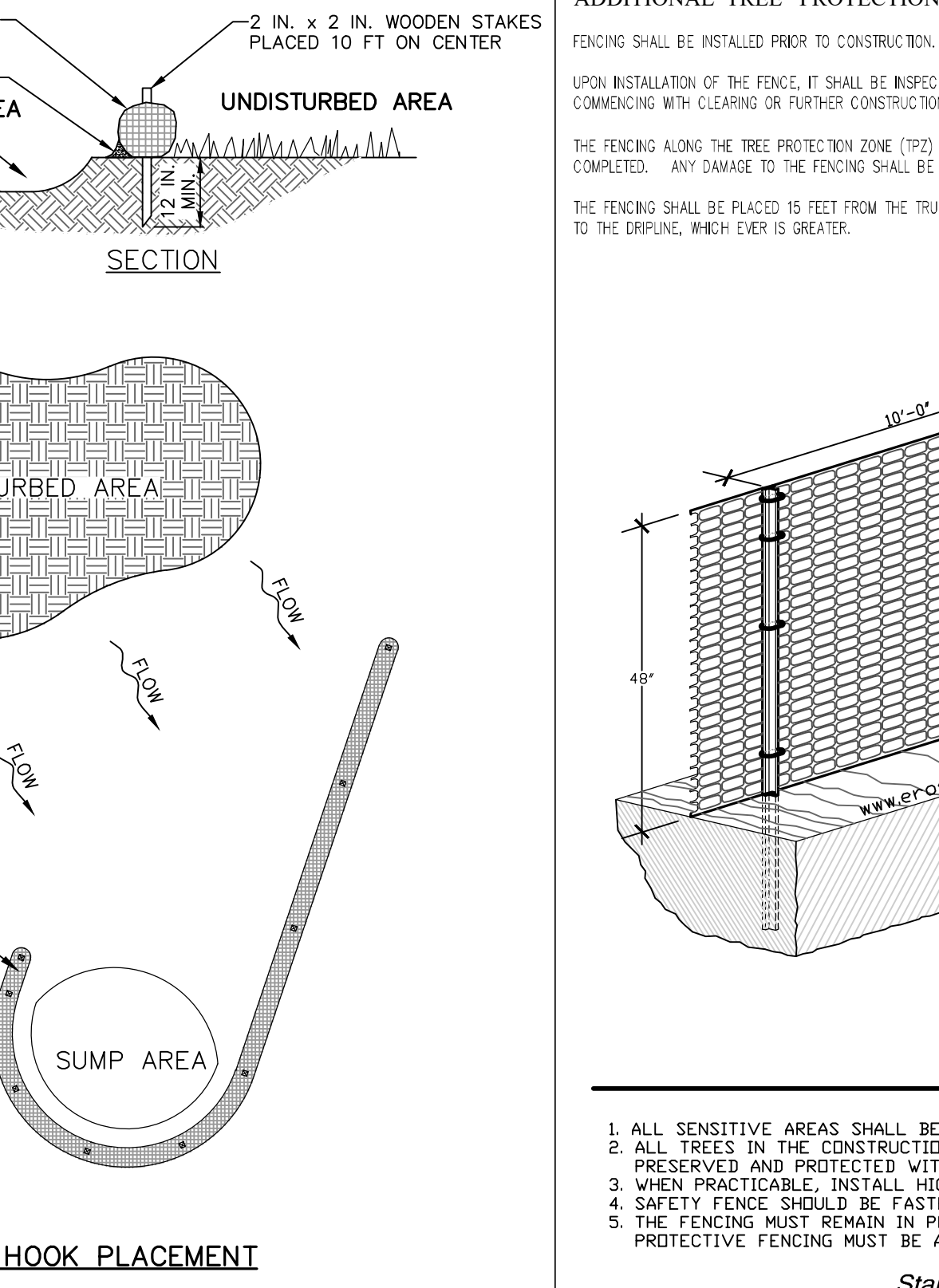
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

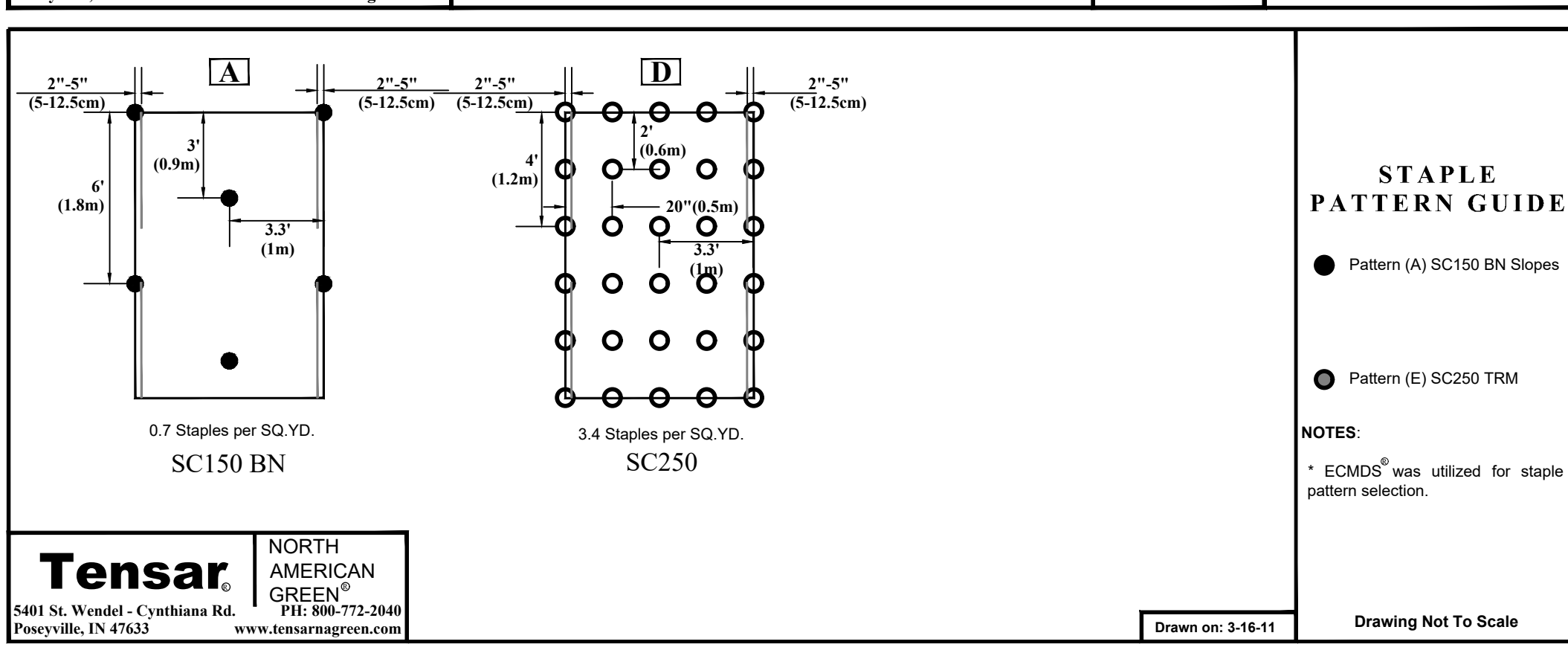
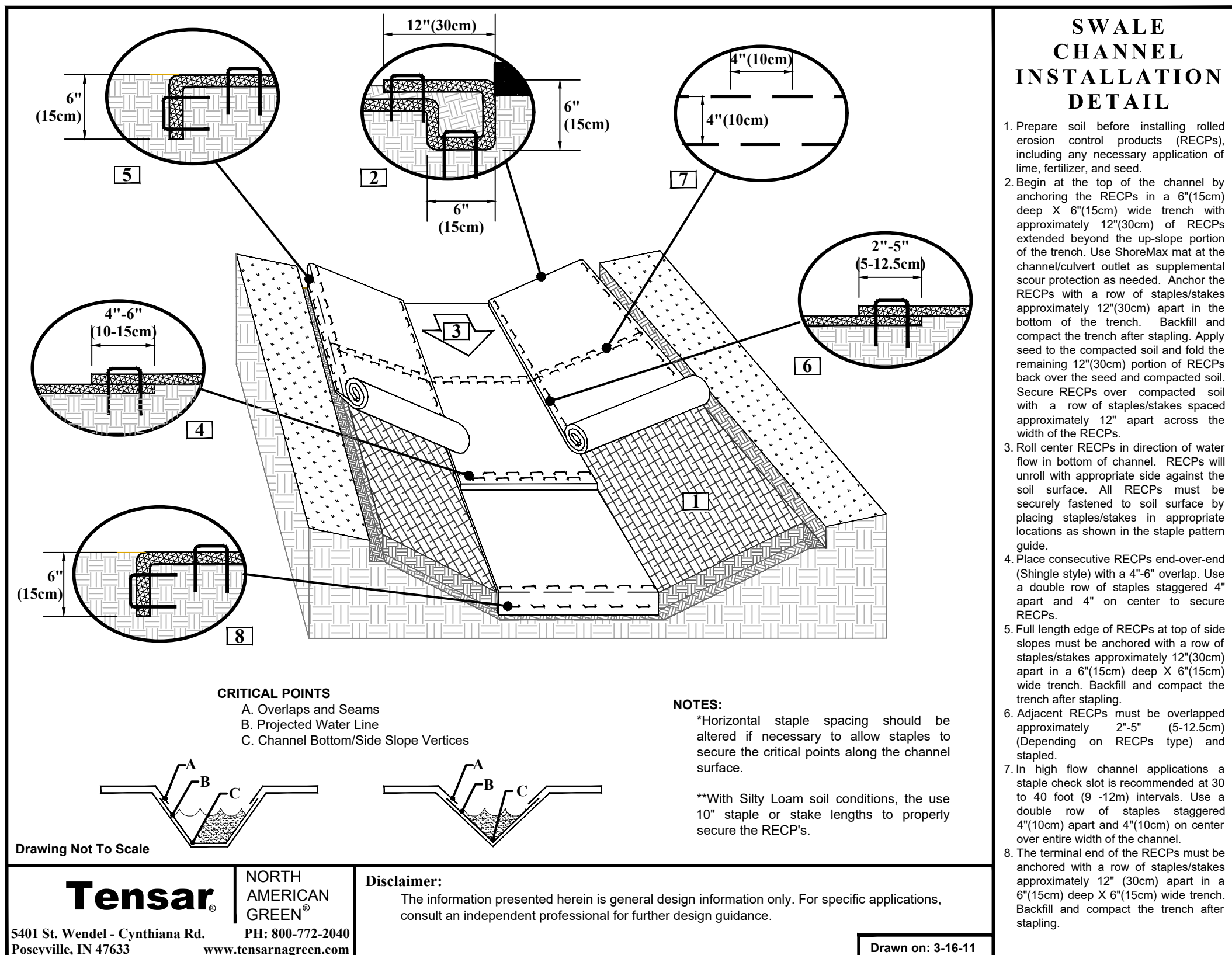
BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

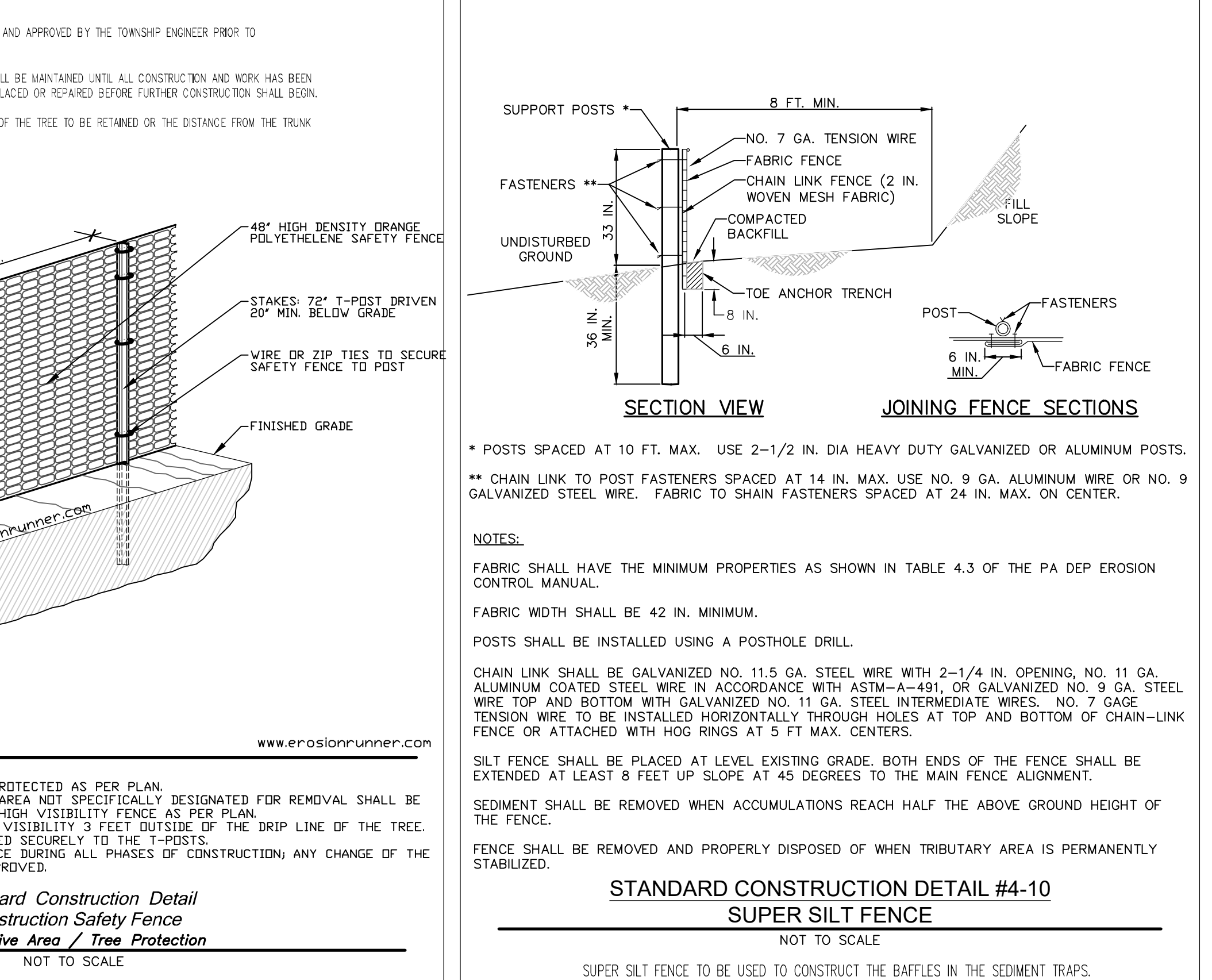
Standard Construction Detail #4-1
Compost Filter Sock aka "Silt Sox"
NOT TO SCALE



"J" HOOK PLACEMENT



Standard Construction Detail #4-10
SUPER SILT FENCE
NOT TO SCALE



Vegetated Swale Preparation Instructions:

See general construction sequence.

Vegetated Swale Construction Sequence:

See general construction sequence.

1. Have surveyors stakeout the swale.
2. Excavate the swale to the proposed invert elevations.
3. Spread top soil in 4" to 6" maximum lifts. Use low ground bearing pressure equipment to spread, (no wheeled vehicles). Keep equipment movement over the soil to a minimum - DO NOT OVER COMPACT.
4. Install TRM along channel in accordance with manufacturers recommendations. See TRM installation detail for spillway and channels to the left.
5. Overseed TRM. This will allow root growth to intertwine with the TRM matrix. Lightly spread 1/4" to 1/2" topsoil on TRM.
6. Water vegetation sufficiently, 1/4" to 1/2", in the early morning or early evening to promote germination and establish growth. Continue watering program until the vegetation is established.

Contractor shall provide a one-year 80% care and replacement warranty for all plantings beginning after installation and final site inspection with the conservation district.

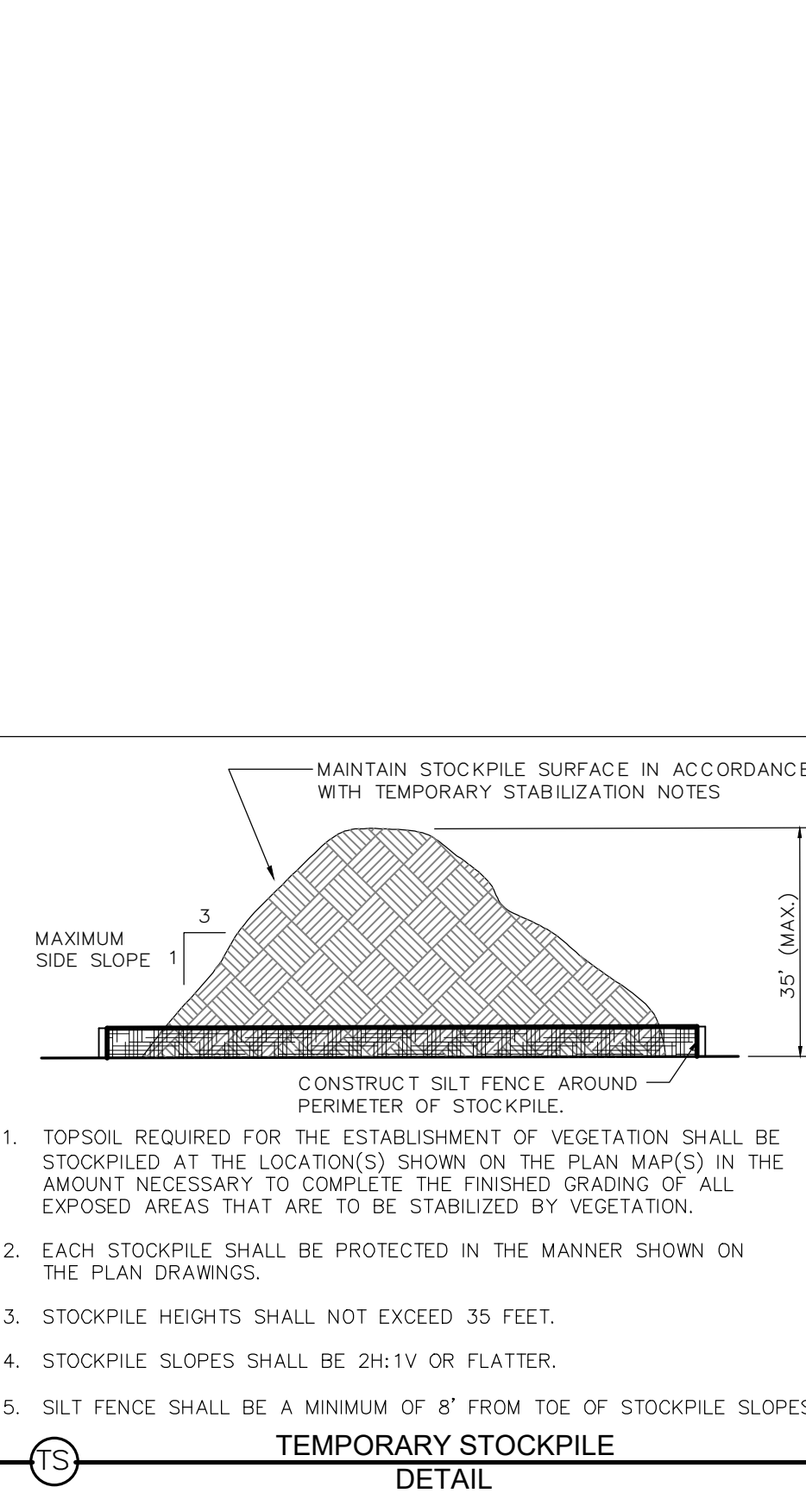
Critical Stage of BMP Installation:

The edges have to be anchored in accordance with the manufacturers specifications to prevent tenting, or undermining of the TRM. The TRM has to have continuous soil contact in order to be effective.

REVISIONS

NO.	DESCRIPTION	DATE
1	REISSUED	2025-04-29
2	REISSUED	2025-05-23

DATE: 2025-01-14
SCALE: N/A
JOB # 2294 FB # ---
DRAWN: STAFF CHECKED: VWF



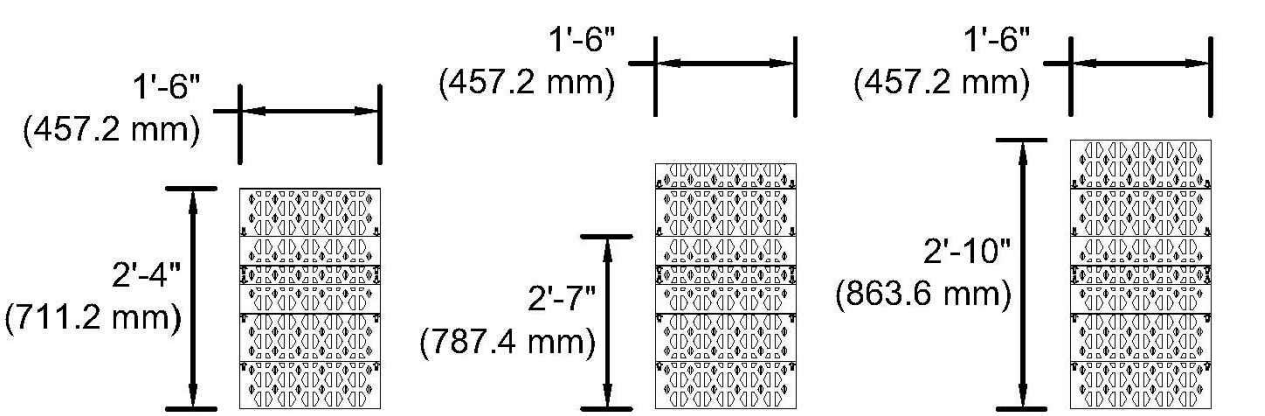
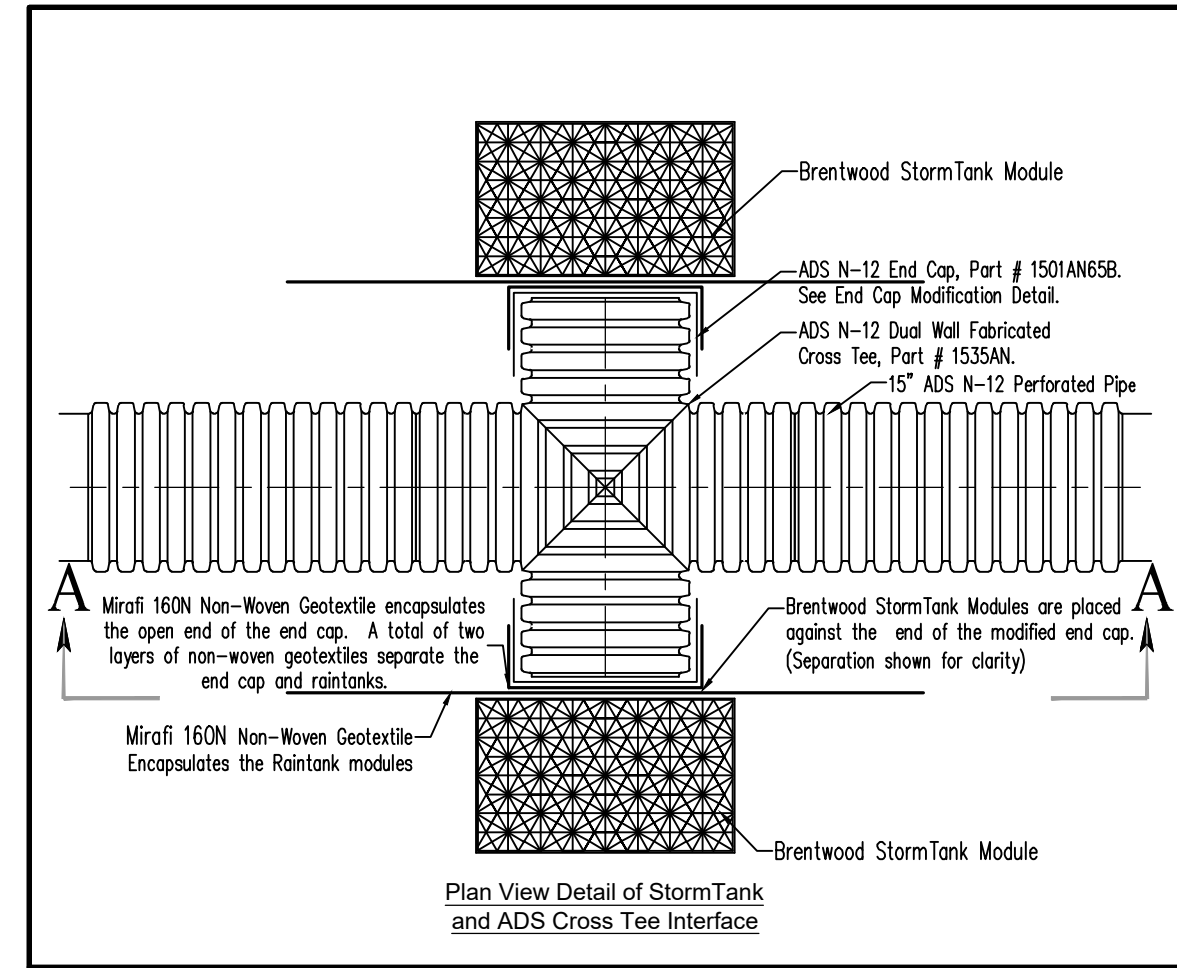
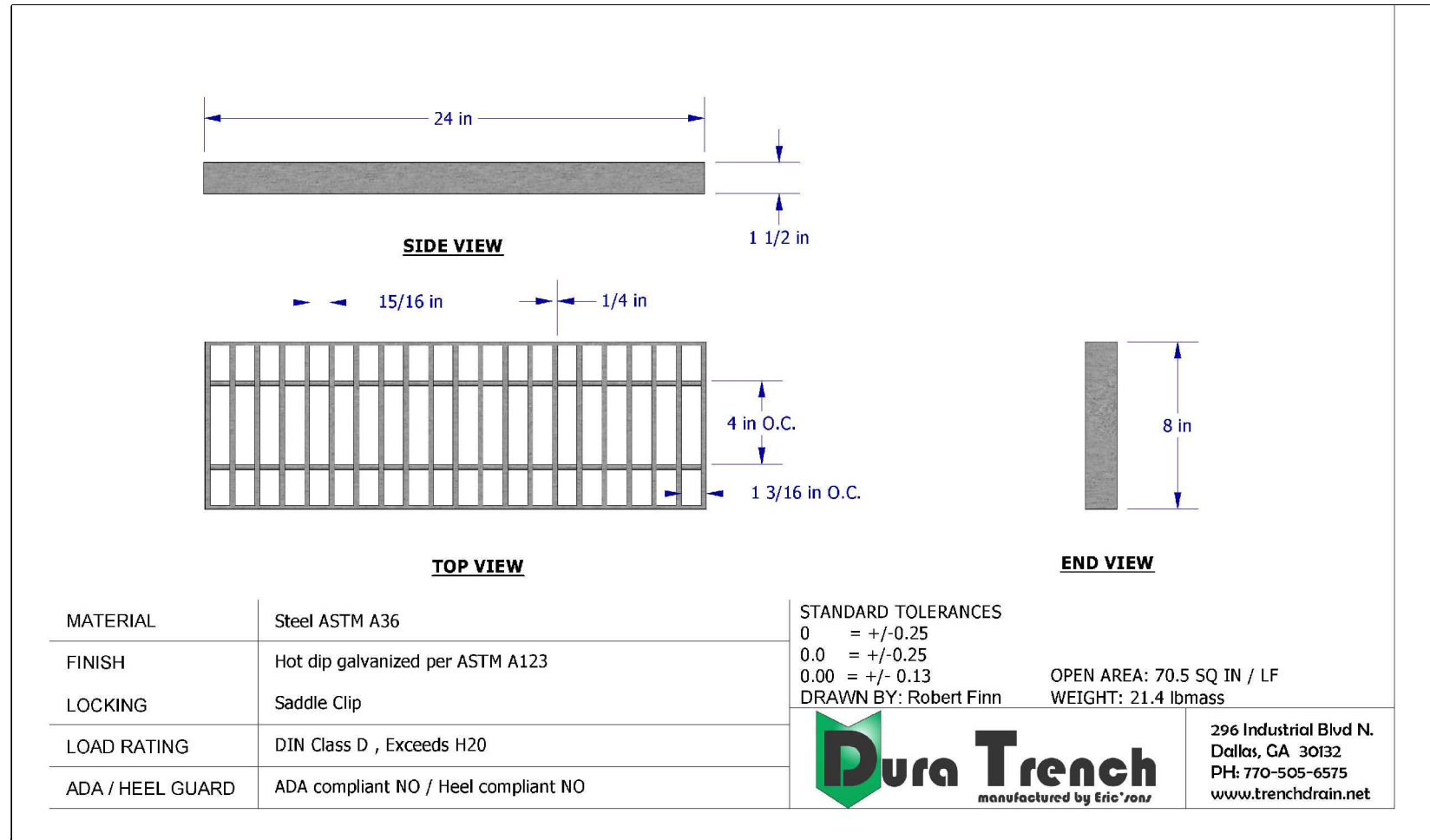
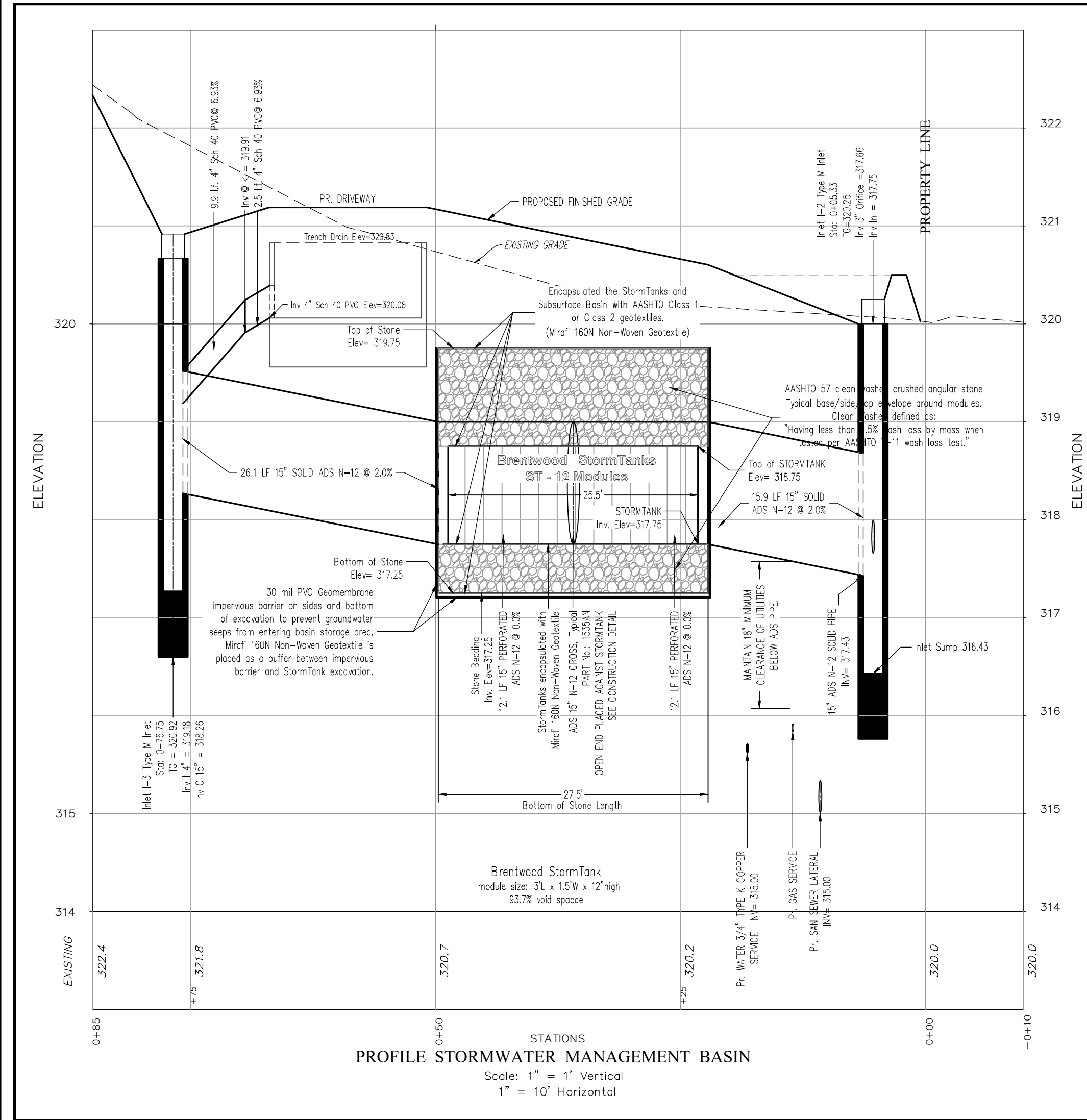
FIORAVANTI, INC.
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618 STREET ROAD * SOUTHAMPTON, PA 18966
(215) 322 * 2143

VINCENT M. FIORAVANTI
ENGINEER
36598-E
PENNSYLVANIA

TMP: 33-010-103-001
FAIRVIEW AVENUE
PERKASIE BOROUGH, BUCKS COUNTY
PREPARED FOR:
RVS CONSTRUCTION LLC
615 Avon Road, Philadelphia
Pennsylvania 19116

EROSION AND SEDIMENTATION CONTROL DETAILS



SHEET 6 OF 9

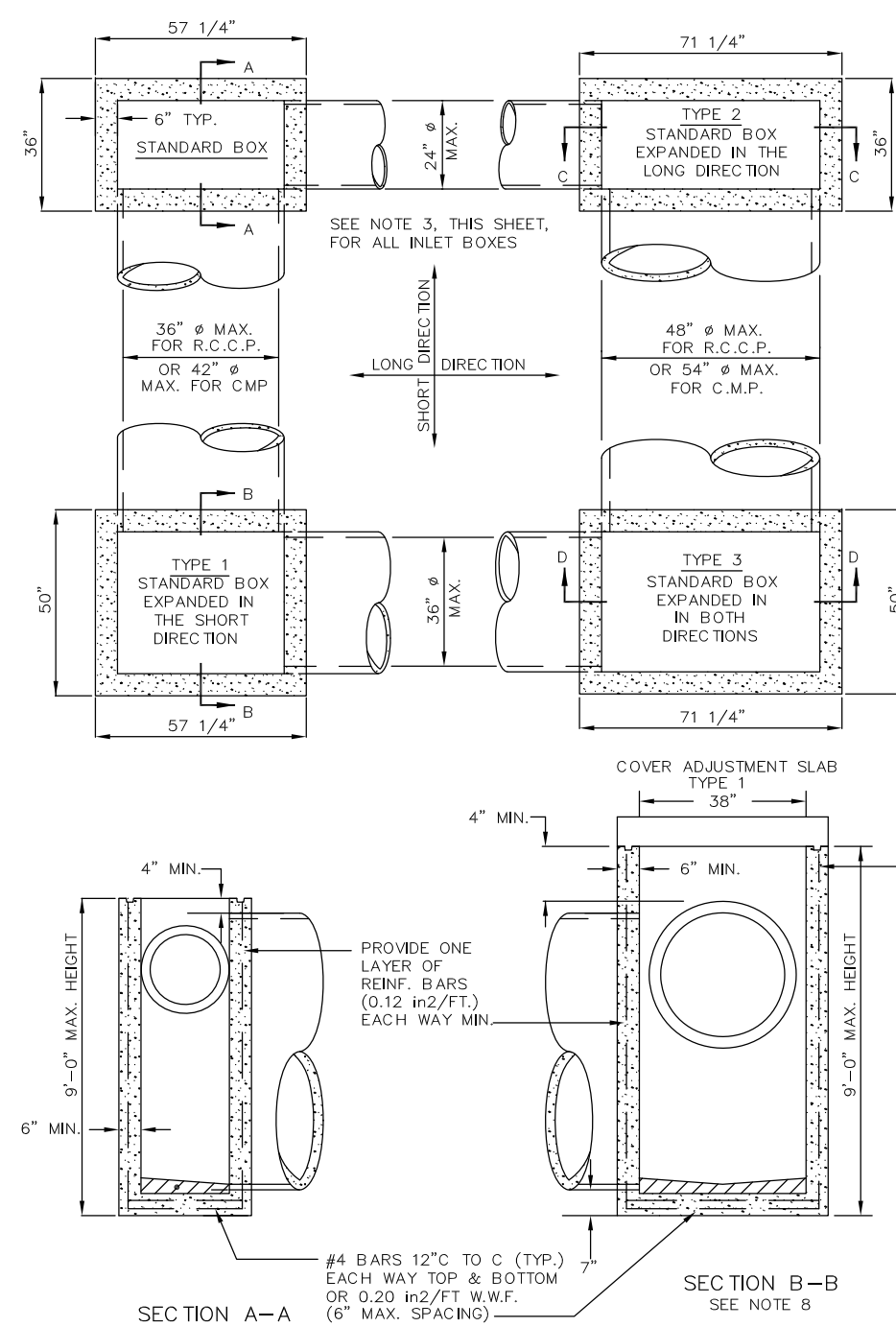
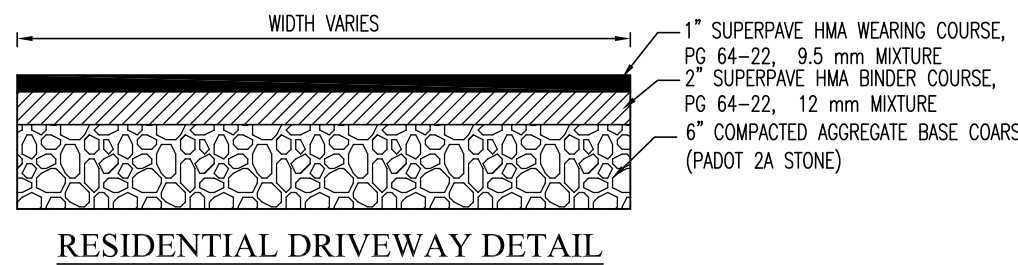
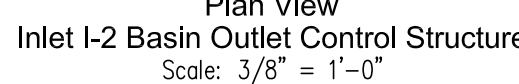
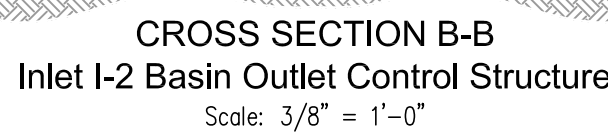
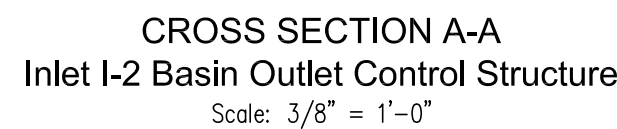


STORMTANK® MODULE				
NAME	HEIGHT (mm)	CAPACITY (m³)	VOID RATIO	NOMINAL WEIGHT (kg)
ST-12	12" (304.8)	4.22 cf (0.1194)	93.70%	17.56 lbs. (7.965)
ST-18	18" (457.2)	6.44 cf (0.1824)	95.50%	22.70 lbs. (10.29)
ST-24	24" (609.6)	8.66 cf (0.2452)	96.00%	28.30 lbs. (11.92)
ST-30	30" (762.0)	10.88 cf (0.3081)	96.50%	29.50 lbs. (13.38)
ST-33	33" (838.2)	11.99 cf (0.3395)	96.90%	29.82 lbs. (13.53)
ST-36	36" (914.4)	13.10 cf (0.3710)	97.00%	33.10 lbs. (15.01)

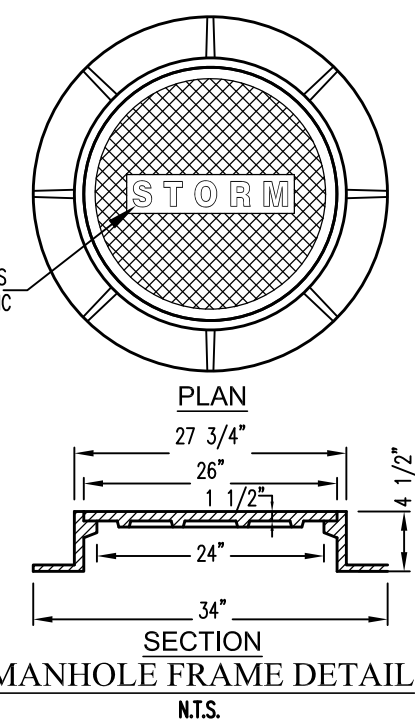
NOTES:

1. REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER ASSEMBLY AND INSTALLATION PRACTICES.
2. SIDE PANELS REQUIRED AROUND THE PERIMETER OF THE INSTALLATION ONLY. UNLESS OTHERWISE NOTED.
3. SIDE PANELS ARE TO BE CUT FROM A 36" PANEL AT THE PRE-SCRIBED LOCATIONS.
4. MODULES ARE RATED FOR HS-25 LOADING WHEN INSTALLED PROPERLY.

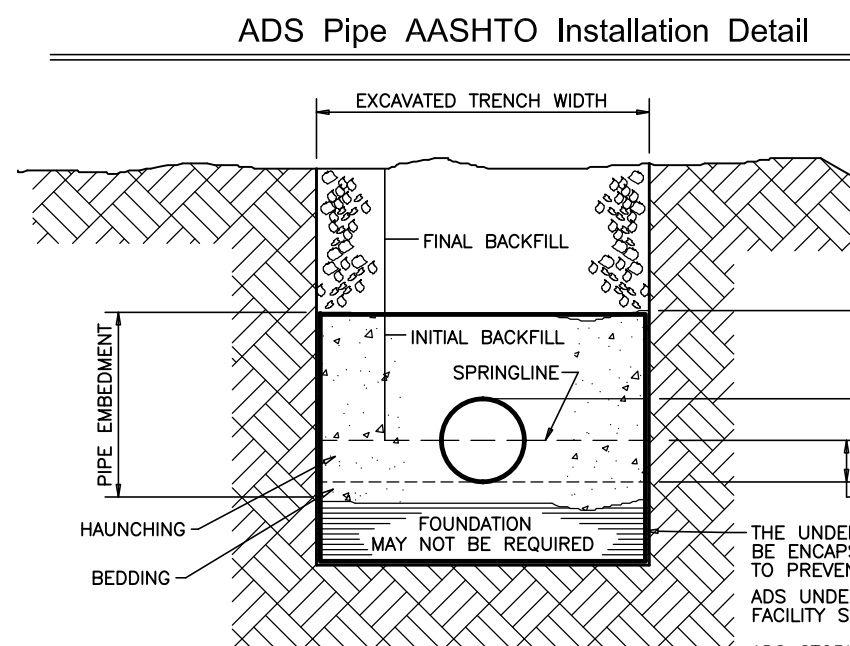
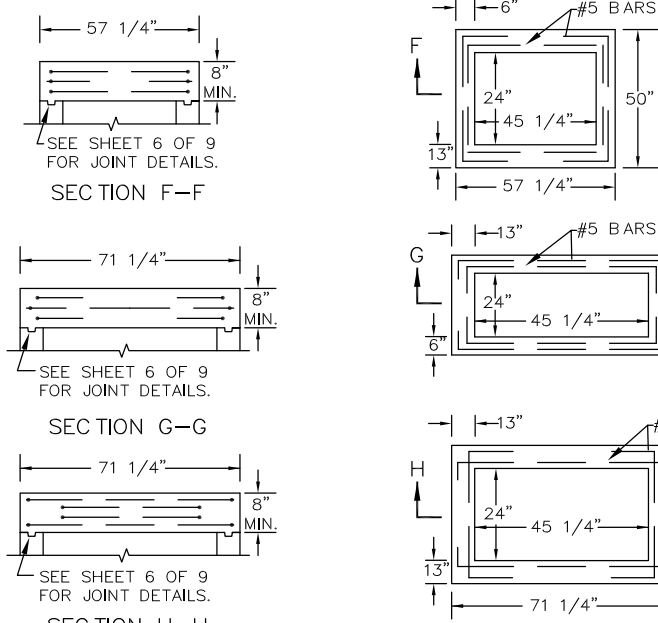
 BRENTWOOD® 610 Morgantown Road Reading, PA 19611 U.S.A. Phone: (610) 374-5109 Fax: (610) 378-6022 www.brentwoodindustries.com	MODULE DETAIL Title: 
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2. CONSTRUCT INLET BOWES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 714.
3. PROVIDE INLET BOWES SUPPLIED BY A MANUFACTURER LISTED IN BULLETIN 15 SHALL BE PERMITTED FOR A BULLETIN LISTING, SUBMIT A 22" x 36" REPRODUCIBLE SHOP DRAWING TO THE BUREAU OF CONSTRUCTION OF HIGHWAYS AND TRANSPORTATION FOR REVIEW AND APPROVAL. USE CLASS A CEMENT GROUT FOR PRECAST BOWES.
4. PROVIDE STANDARD INLET BOWES AND COVER ADJUSTMENT SLABS WITH A 1/2" MINIMUM SPACING TO ALLOW FOR THERMAL MOVEMENT. PROVIDE A SPECIAL DETAILS THAT EXCEED THE MAXIMUM HEIGHT SHOWN SHALL REQUIRE SPECIAL INLETS AND DESIGN FOR THE INLET BOWES AND BASE. CONSTRUCT INLETS WITH A MINIMUM 5 FEET IN HEIGHT. PROVIDE A MINIMUM 12" MIN. TO 30" LOCATE PIPE OR PIPES AS INDICATED, WITH THE INLET BOWES SHAPED TO REMOVED FLOW THROUGH THE OUTLET.
5. PROVIDE INLET BOWES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 502.2 IN A 4 INCH LARGES, COMPLETED TO A 5/8" SAMP. IN THE LONG TERM OR LONGER THAN 30" IN THE SHORT DURATION, A SPECIAL DETAIL AND DESIGN IS REQUIRED.
6. INLET BOWES THAT ARE NOT MONITORING SHALL HAVE CONSTRUCTION Joints AS REQUIRED. 1.0' TO 1.5' LONG. PROVIDE A SPECIAL DETAIL AND DESIGN FOR THE CONSTRUCTION REINFORCEMENT BASE ON HS25 LOADINGS AND IN ACCORDANCE WITH 408 SPECIFICATIONS.



- 1.) STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER
- 2.) STANDARD MANHOLE FRAME & COVER SHALL BE EAST JORDAN IRON WORKS PATTERN #1892A, OR APPROVED EQUIVALENT, WITH NON-PENETRATING PICK HOLE
- 3.) "FLOW-SEAL" MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, AND OUTSIDE OF THE CENTERLINE OF PAVED ROADS.
- 4.) PROVIDE MANHOLE FRAMES, COVERS, AND GRADE ADJUSTMENT RISERS SUPPLIED BY A MANUFACTURER AS LISTED IN PENNDOT.BULLETIN 15.



TRENCH CROSS SECTION SHOWING TERMINOLOGY

ASTM D2321 (a) Class Description		ASTM D2487		ASTM M43 Notation	ASTM M45 Notation	ASTM D2321 (a) Percentage Passing Sieve Sizes		
		Notation	Description			1-1/2 in. (40 mm)	No. 4 (4.75 mm)	No. 200 (0.075 mm)
Ia	Manufactured, Aggregates; Angular (c) open graded, clean	N/A	Angular crushed stone or rock, crushed stone, crushed slag; large voids with little or no fines open-graded, clean, 40% void ratio	5, 56, 57(a), 67(b)	N/A	100%	≥10%	≤5%
	Manufactured Processed Aggregates; Dense graded, clean	N/A	Angular crushed stone or other Class 1A materials, stone/sand mixtures with gradations selected to minimize migration of adjacent soils, contains little or no fines	5, 56, 57(a), 67(b)	N/A	100%	≥50%	≤5%
II	Clean, coarse grained soils	GW	Well-graded gravel, gravel-sand mixtures; little or no fines	5, 6	A1, A3	100%	<50% of "Coarse Fraction"	≤5%
		GP	Poorly-graded gravels, gravel-sand mixtures; little or no fines	56, 57, 67				
		SW	Well-graded sands, gravelly sands; little or no fines					
		SP (f)	Poorly-graded sands, gravelly sands; little or no fines					
	Coarse Grained Soils, borderline clean to w/fines	GW-CC, SP-S	Sands and gravels which borderline between clean and with fines.	N/A		100%		5% to 12%

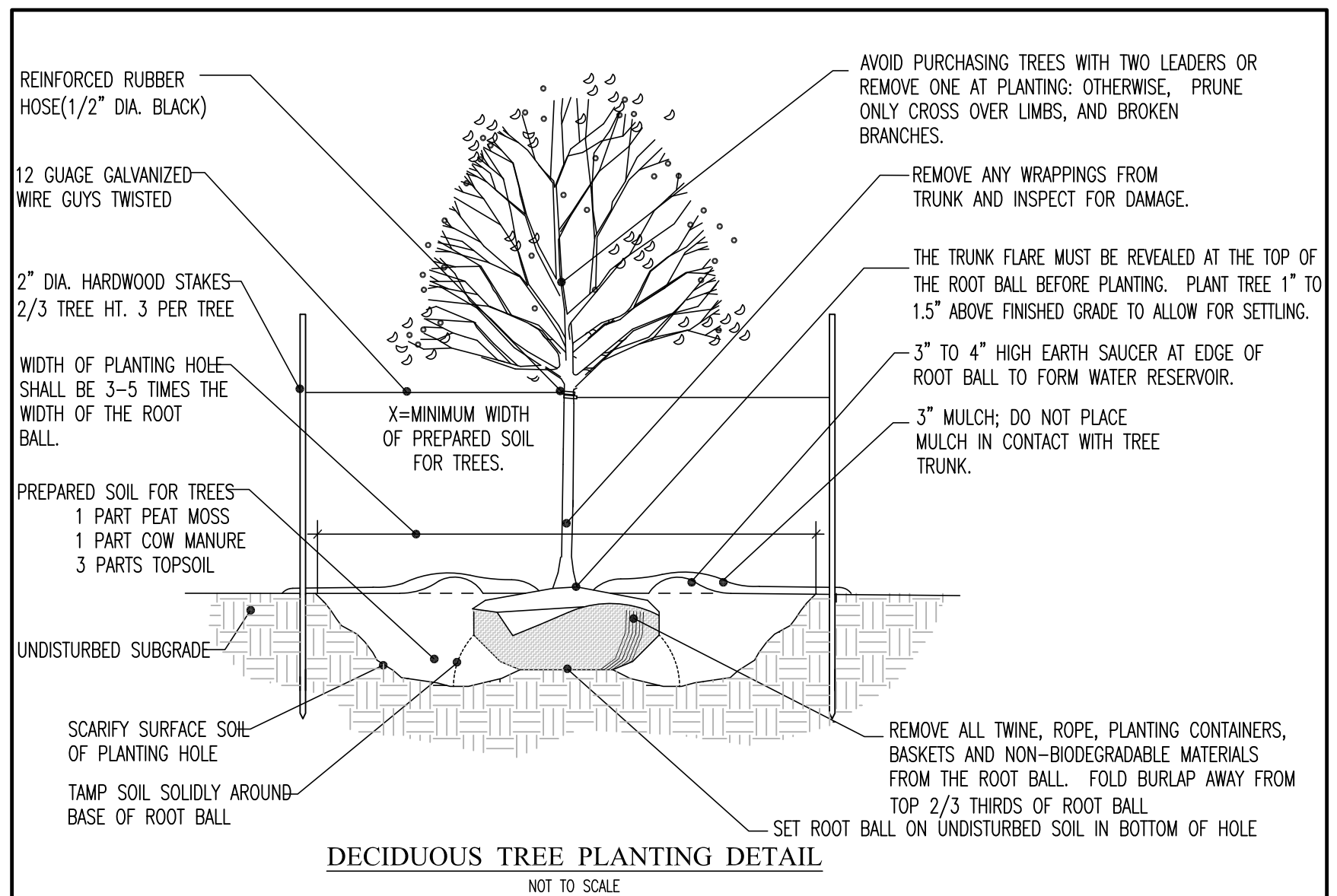
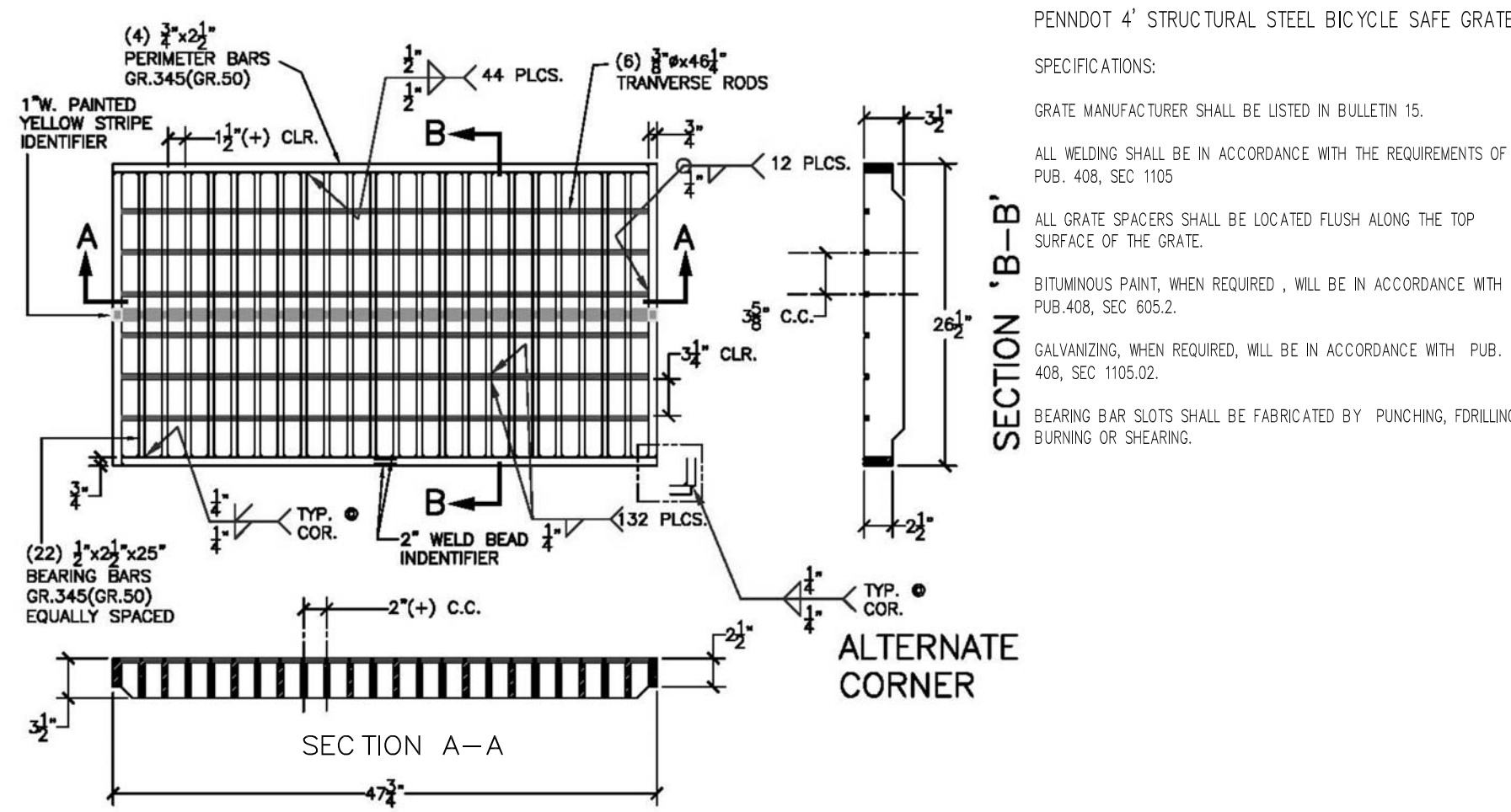
- a) Refer to ASTM D2321 for more complete soil descriptions.
- b) Class I materials allow for a broader range of fines than previous versions of D2321. When specifying class I materials for infiltration systems, the engineering shall include a requirement for an acceptable level of fines.
- c) All particle faces shall be fractured.
- d) Assumes less than 25% passes the 3/8" sieve.
- e) Class IV materials require a geotechnical evaluation prior to use and should only be used as backfill under the guidance of a qualified geotechnical engineer.
- f) Uniform fine sands (SP) with more than 50% passing a 100 sieve behave like silts and should be treated as Class III soils if allowed.
- g) Class V materials shall not be permitted as bedding and backfill material.

Table 2
RECOMMENDATIONS FOR INSTALLATION AND USE OF SOILS AND
AGGREGATES FOR FOUNDATION, EMBEDMENT AND BACKFILL.
SOIL CLASS 1A & 1B

GENERAL RECOMMENDATIONS AND RESTRICTIONS	PROCESS MATERIAL AS REQUIRED TO OBTAIN GRA-DATION WHICH WILL MIN-IMIZE MIGRATION OF AD-JACENT MATERIALS. SUITABLE FOR USE AS DRAINAGE BLANKET AND UNDERDRAIN.	HAUNCHING INITIAL BACKFILL	INSTALL AND COMPACT IN 6-IN. MAXIMUM LAYERS WORK IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. INSTALL AND COMPACT TO A MINIMUM OF 6 IN. ABOVE PIPE CROWN
FOUNDATION	SUITABLE AS FOUNDATION AND FOR REPLACING OVER-EXCAVATED AND UNSTABLE TRENCH BOTTOM. INSTALL AND COMPACT IN 6-IN. MAX-IMUM LAYERS.	EMBEDMENT COMPACTION	PLACE AND WORK BY HAND TO INSURE ALL EXCAVATED VOIDS AND HAUNCH ARE FILLED FOR HIGH DENSITIES USE VI-BRATORY COMPACTORS. MINIMUM DENSITY 95 % STD. PROCTOR. USE
BEDDING	INSTALL AND COMPACT IN 6-IN. MAXIMUM LAYERS LEVEL FINAL GRADE BY HAND. MINIMUM DEPTH 4 IN. (6 IN. IN ROCK CUTS).	FINAL BACKFILL	COMPACT AS REQUIRED BY THE ENGINEER.

When using mechanical compactors, avoid contact with the pipe. When compacting over pipe crown, maintain a minimum of 6 inches of cover when using small mechanical compactors. When using larger compactors maintain minimum clearances as required by the manufacturer. The minimum densities given in the table are intended as the compaction requirements for obtaining satisfactory embedment stiffness in most installation conditions.


AASHTO Pipe Installation Details
ADS Drawing Number: STD-104
ADS, Inc Drainage Handbook – Installation
See WWW.ADS-Pipe.com

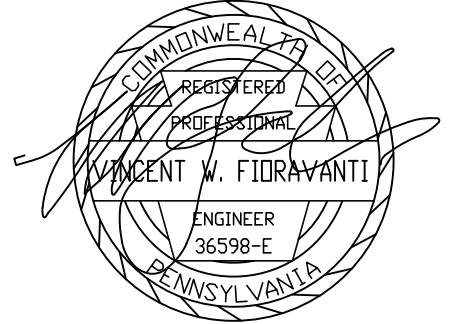
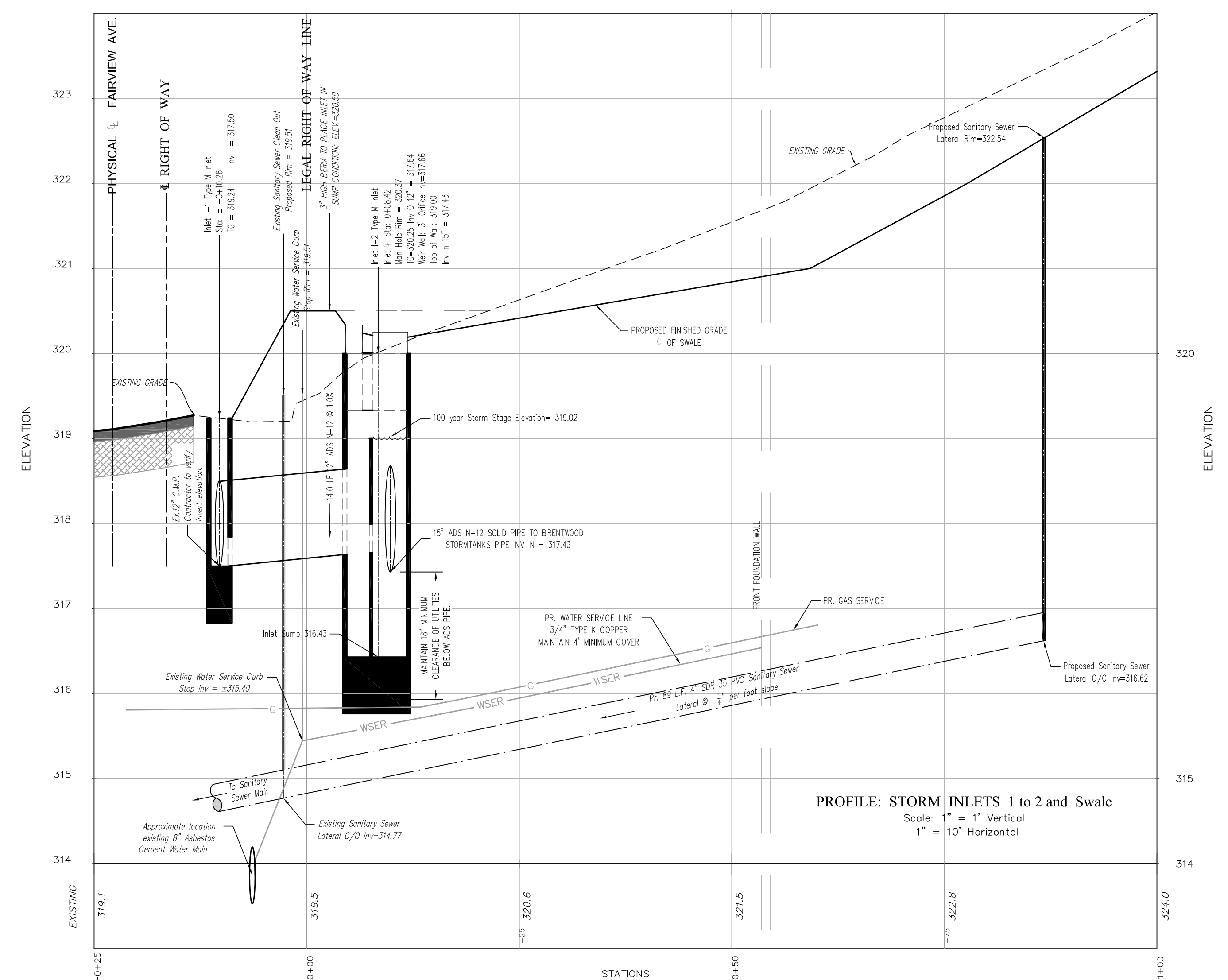


DECIDUOUS TREE PLANTING DETAIL

1 TREES AND OTHER REQUIRED PLANTS SHALL BE OF NURSERY STOCK GROWN UNDER CLIMATIC CONDITIONS
2 COMPARABLE TO THOSE OF PHILADELPHIA. THEY SHALL BE SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS, AND
3 DISEASE, AND SUITABLE FOR STREET USE.
4 ALL PLANTS SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITIONS AS OUTLINED IN THE
5 AMERICAN ASSOCIATION OF NURSERMEN (AAN) STANDARDS AND SHALL BE HARDY WITHIN THE USDA HARDNESS ZONE 6.
6 THERE SHALL BE NO WARRANTY ON ANY INSTALLED PLANT MATERIAL.
7 AT THE TIME OF INSTALLATION, THE TRUNK DIAMETER MEASURED AT DESIGN BREAST HEIGHT ABOVE FINISHED
8 GRADE SHALL BE AS SPECIFIED.
9 NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
10 REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP. BACK 2/3 FROM ROOT BALL
11 PLANTING DEPTH BEING THE SAME AS GROWN IN NURSERY.
12 THOROUGHLY BAK THE ROOT BALL AND ADJUST TO PLANTING SOIL SEVERAL TIMES DURING THE FIRST
13 MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
14 THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS
15 ADDED. TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

Street Trees Landscape Schedule

SYMBOL	BOTANICAL NAME	COMMON NAME	NUMBER	HEIGHT	SPACING	CALIPER	B & B	GENERAL COMMENTS
	ACER SACCHARUM	SUGAR MAPLE	1	12-14 ft	N/A	2½ - 3"	YES	MEDIUM STREET TREE mature hgt: 25'-40' spread: 25'-40'



REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED	2025-04-28
2	REVISED	2025-05-22

[illegible]


DATE: 2025-01-14	
SCALE: N/A	
JOB # 2294	FB # ---
DRAWN: STAFF	CHECKED: VWF

TMP: 33-010-103-001
FAIRVIEW AVENUE
KASIE BOROUGH, BUCKS COUNTY
PREPARED FOR:
RVS CONSTRUCTION LLC
15 Avon Road, Philadelphia
Pennsylvania 19116

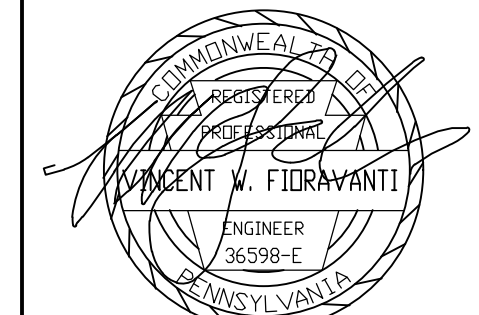
STORMWATER & CONSTRUCTION DETAILS



NOTE :
PER § 164-54, & § 164-56, THE INSTALLATION OF THE WATER SERVICE AND SANITARY SEWER LATERAL SHALL BE IN ACCORDANCE WITH PERKASIE REGIONAL AUTHORITY (PRA) METHODS AND STANDARDS.



Fioravanti, Inc.
 CIVIL ENGINEERS & LAND SURVEYORS
 618 STREET ROAD * SOUTHAMPTON, PA 18966
 (215) 322 * 2143

[illegible]

TMP: 33-010-103-001
FAIRVIEW AVENUE
PERKASIE BOROUGH, BUCKS COUNTY
PREPARED FOR:
RVS CONSTRUCTION LLC
615 Avon Road, Philadelphia
Pennsylvania 19116

UTILITY DETAILS

SHEET
9 OF 9

JEFFREY P. GARTON
DOUGLAS C. MALONEY
THOMAS J. PROFY, IV*†
FRANCIS X. DILLON
JOHN A. TORRENTE*
STEVEN M. JONES
MICHAEL J. MEGINNISS
BREANDAN Q. NEMEC*
BRENDAN M. CALLAHAN*
BRADLEY R. CORNETT*
SEAN M. GRESH
BRYCE H. McGUIGAN*
TRACY L. CASSEL-BROPHY*
CHRIS LITTLE SIMCOX*
BRENDAN G. CORRIGAN^
KIMBERLY N. BARRON
CHLOE M. BOUDAZIN
CHELSEY CROCKER JACKMAN
MARISA M. PERINI
HANNAH M. SCHWEIZER

*Member of PA & NJ Bars
†Master of Laws (Taxation)
^Member of PA & NY Bars



680 MIDDLETOWN BOULEVARD
P.O. BOX 308
LANGHORNE, PENNSYLVANIA 19047-0308
TELEPHONE: 215.750.0110
FAX: 215.750.0954

JEFFREY P. GARTON, ESQUIRE
jgarton@begleycarlin.com

OF COUNSEL

HON. ROBERT O. BALDI (RET.)
-Mediation and Arbitration

SCOTT A. PETRI
FRANK A. FARRY
ALLEN W. TOADVINE
TRACY P. HUNT
PAMELA A. VAN BLUNK*
KATHARINE J. WEEDER*
MARC I. RICKLES*

NEW HOPE OFFICE
123 W. BRIDGE STREET
NEW HOPE, PA 18938
215.862.0701

June 12, 2025

VIA EMAIL

Andrea L. Coaxum, Borough Manager
Perkasie Borough
620 W. Chestnut Street
Perkasie, PA 18944

**Re: 9 Fairview Avenue (RVS Construction LLC) / TMP # 33-010-103-001
Stormwater Controls and Best Management Practices
Operations and Maintenance Agreement**

Dear Andrea:

Pursuant to Cassandra Grillo's email to my attention, attached please find a draft Stormwater Controls and Best Management Practices Operations and Maintenance Agreement for the above project. Please advise if you have any revisions you would like me to make.

If it is satisfactory, please have it executed by the property owner. I am also attaching a draft of a proposed Resolution authorizing the Council President and you to execute the Stormwater Agreement related to the above project.

Very truly yours,

Jeffrey P. Garton

JPG:bcr

Attachments

cc: Douglas C. Rossino, P.E., CME, M.ASCE
Cassandra L. Grillo, Zoning Officer and Code Enforcement Administrator

ZHB Details Case #2025-04

Entered By: CGRILLO
Currently Active ZHB Case: ACTIVE

Date Entered into System: 07/01/2025

ZHB Case Ref. Number: 2025-04
Application Date :
Parcel Number: 33005525
MunCode/Blk/Unit: 33005525
Property Location: 110 N SIXTH ST

Application Fee : \$0.00
Appeal Request: 1262|Variance
Zoning: C-2

Applicant: St. Stephens LLC
Address: 110 N 6th St.
City: Perkasio
Zip: 18944

Address 2:
State: Pa

Property Posting Date : 07/16/2025
1st. Hearing Date : 07/28/2025
3rd. Hearing Date :
Advertisement (1st 30 Days): 07/11/2025 through
Conformance: Non-Conforming

2nd. Hearing Date:
Neighbor Notify Date: 07/10/2025
Advertisement (2nd 7 days): 07/18/2025 through

Relief Requested Additional
Comments: Variance 186-80.C.(3), 186-78B(1)(d), 186-78B(1)

Decision/Approval: Pending Review

Decision/Approval Date:

Tentative Written Dec.date:

Actual Written Decision Date:

Date Decision Sent to Applicant:

Date Appealed to County/State:

Decision Notes:

Attorney Contact:

Phone Number:

Attorney Firm:

Address:

City:

State:

Zip:

Note Title:

Note:



BOROUGH OF PERKASIE

620 W. Chestnut Street
PO Box 96
Perkasie, Pa. 18944-0096

Phone (215) 257-5065
Fax (215) 257-6875

APPEAL TO ZONING HEARING BOARD

It is the applicant's responsibility to complete all pertinent sections of this form. Please contact the Zoning Officer prior to submittal if you need any assistance.

1. Date: 5-21-25
2. A. Property Address: 110 N 6th St, Perkasio
B. Property Location (With reference to nearby intersections or prominent features): corner 6th + Arch St
C. Tax Parcel Number (TMP): 33-005-925
D. Zoning District: C-2
E. Present Use: Church



3. Classification of Appeal (Check one or more if applicable):

- ☒ Request for Variance (Zoning Ordinance 186-101)
☐ Request for Special Exception (Zoning Ordinance 186-102)
☐ Interpretation of Law
☐ Validity Challenge
☐ Appeal from Determination of Zoning Officer or Borough Engineer

4. Applicant:

- (a) Name: St Stephens UCC
(b) Mailing address: 110 N. 6th St, Perkasio, Pa 18944
(c) Telephone number: 215-257-6460 Fax No. _____
(d) E-mail address: Office@thessperkasio.org
(e) State whether owner of legal title, owner of equitable title, or tenant with the permission of owner of legal title:
owner of legal title

COMPLETED BY THE BOROUGH: APPLICATION # _____	DATE FILED _____	FEE PAID \$ _____
DATE ADVERTISED _____	DATE POSTED _____	

5. Applicant's attorney, if any: N/A

(a) Name: _____

(b) Mailing Address: _____

(c) Telephone number: _____ Fax No. _____

(d) E-mail address: _____

6. Proposed use/improvements: _____

7. For Request of Variance:

A. Nature of Variance Sought: LED Sign

Replace current 3x5 sign with 4x6 LED sign

B. The Variance is from Section 186-80 of the Zoning Ordinance.

C. If more than one Variance is requested, list ALL pertinent ordinance sections and the nature of each Variance sought. This may be submitted on an additional piece of paper.

D. The nature of the unique circumstances and unnecessary hardship justifying the variance:

8. For Request For Special Exception:

A. Nature of Exception Sought: _____

B. The exception is allowed under Section _____ of the Zoning Ordinance.

C. If more than one Special Exception is requested, List ALL pertinent ordinance sections and the nature of each exception sought. This may be submitted on an additional piece of paper.

9. Interpretation of Law

A. Section (s) to be Interpreted: _____

B. Reasoning for Interpretation: _____

10. For Challenge to Zoning Ordinance and/or Map

A. The Ordinance and/or Map Challenge is as Follows: _____

B. The Challenge is Ready for Decision because: _____

C. The Ordinance/Map Challenged is Invalid Because: _____

11. For Appeal From Action Of Zoning Officer/Engineer

A. Action Being Appealed: _____

B. Date of Action Taken: _____

C. The Foregoing Action was Believed to be in Error Because: _____

12. List names and addresses of all property owners whose properties are within a 100 foot radius of the property which is the subject of this application. (Supplemental sheets of the same size may be attached)

Suess Funeral Home 606 Arch St Perkasie
Grandview Service Center 530 Arch St Perkasie

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Signature of Applicant: Sharon L. Sone

Signature of Property Owner: Sharon L. Sone

Property owner must sign to indicate that applicant has permission to proceed with this application for the subject site.

Failure to submit the following items constitutes an incomplete application that will be rejected.

- Copy of the present deed. - twp has copy Per Church
- Twelve (12) copies of this application including all drawings and documentation.
- Filling fee as illustrated below.

*See Additional Notes for Pertinent Information Regarding This Application.

Cassandra Grillo

From: Mary Kelly <mary@mrcsigns.net>
Sent: Monday, June 30, 2025 12:21 PM
To: Cassandra Grillo; Mary Kelly
Subject: Re: Incomplete Zoning Hearing Board Application

Hello Cassandra

I spoke with Sharon at the church (she has been my go to person and the one helping with the variance) Here is her response:

I have read each section and yes, this is the variance we are applying for. Also, we will abide by the guidelines stipulated in each section.
Vairaince Code 186-80c (3)
Variance code 186-78B (1) (d)
Variance code 186-78B (1)
Please let me know if any further information is required

I hope this helps .

Mary Kelly
Project Manager



Let MRC expand your business!

DL: 267-217-3720
C: 727-580-4709
Email: mary@mrcsigns.net
Web: www.mrcsigns.net

~~~~~

**MRC SIGNS, LLC**  
704 Dublin Pike | Dublin, PA | 18917

This electronic transmission is confidential and/or privileged. It is to be used by the intended recipient only. Use of the information contained in this email by anyone other than the intended recipient is strictly prohibited. If you have received this message in error, please notify the sender immediately and promptly destroy any record of this email.

**Have a Great day, and Keep On Smiling!**

Please see the attached letter regarding your Zoning Hearing Board Application.

Thank you,

Cassandra L. Grillo, CZO

Perkasie Borough

620 W. Chestnut St

Perkasie Pa 18944

215-257-5065



# Pennsylv Pa 18944 -

## ADDRESS

## PROPERTY OWNER

518 Arch  
528 Arch  
529 Arch  
530 Arch  
602 Arch  
606 Arch  
608 Arch  
610 Arch  
614 Arch  
615 Arch  
616 Arch  
617 Arch  
618 Arch  
619 Arch  
621 Arch  
623 Arch

Frances Davis  
Jeff Gahman  
Stephen Reuthlinger  
Andrew Peterson  
Jeff Gahman  
Jeff Gahman  
Janice Kenworthy  
Cynthia Deramirez  
Ronald Matlack  
Timothy & Tina Gane  
Garth & Anne Bealor  
Dan & Robin Gilbert  
Pennridge Property MGT  
Larry & Lynn Emert  
John Hunsberger  
Alden Housing LLC

109 N 6th  
111 N 6th  
114 N 6th  
115 N 6th  
116 N 6th  
119 N 6th  
120 N 6th

Joshua & Ashley Reagan  
Jason & Angela Trotter  
Raymond Heller Jr.  
Jeffrey Moore  
Danielle Materese  
Brenda & Timothy Schoeller  
Wm Oetinger III & Grace

111 N 7th  
113 N 7th  
115 N 7th  
119 N 7th

Trumbauer Enterprises LLC  
Joseph & Paula Lepko  
Joseph & Paula Lepko  
Matthew & Camiile Clemens

# Deed

UPI # 33-005-525 &  
UPI # 33-005-526-001

ST. STEPHENS REFORMED  
CHURCH OF PERKASIE

TO

ST. STEPHEN'S UNITED CHURCH  
OF CHRIST OF PERKASIE

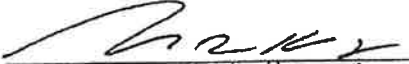
Grim, Biehn & Thatcher  
104 S. Sixth Street  
P.O. Box 215  
Perkasie, PA 18944  
Telephone: 215-257-6811 Fax: 215-257-8092


In Witness Whereof, the party of the first part by and through its duly authorized officers and the same to be duly attested by its Secretary executed the within Indenture. Dated the day and year first above written.

ATTEST:

  
Name: Jeffrey G. Trauger  
Title: Stewardship Chair, Deacon  
(SEAL)

ST. STEPHENS REFORMED CHURCH OF PERKASIE

By:   
Name: Kenneth R. Hager, Jr.  
Title: Pres.

By:   
Name: Emma I. Heckler  
Title: Sec

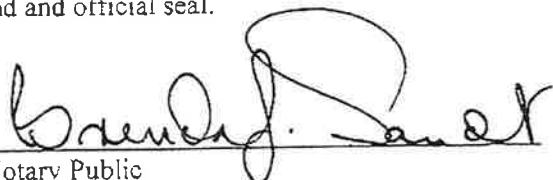
Commonwealth of Pennsylvania } ss  
County of Bucks }

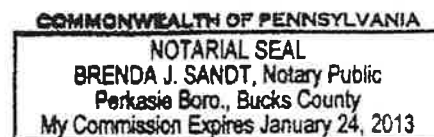
AND NOW, this 10th day of May, 2011, before me, a Notary Public, having office in Perkasio Borough, Bucks County, PA, the undersigned officer, personally appeared JEFFREY G. TRAUGER, known to me (or satisfactorily proven) to be a member of the Bar of the Supreme Court of Pennsylvania, and a subscribing witness to the within instrument, and certified that he was personally present when Kenneth R. Hager, Jr., who acknowledged himself/herself to be the President (title) and Emma I. Heckler, who acknowledged himself/herself to be the Secretary (title) of ST. STEPHENS REFORMED CHURCH OF PERKASIE, and they, as such President and Secretary (title) respectively, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of said ST. STEPHENS REFORMED CHURCH OF PERKASIE.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

  
Attorney Jeffrey G. Trauger

Attorney I.D. # 56008

  
Notary Public  
My commission expires \_\_\_\_\_

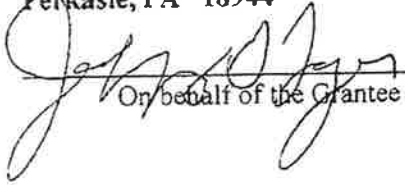


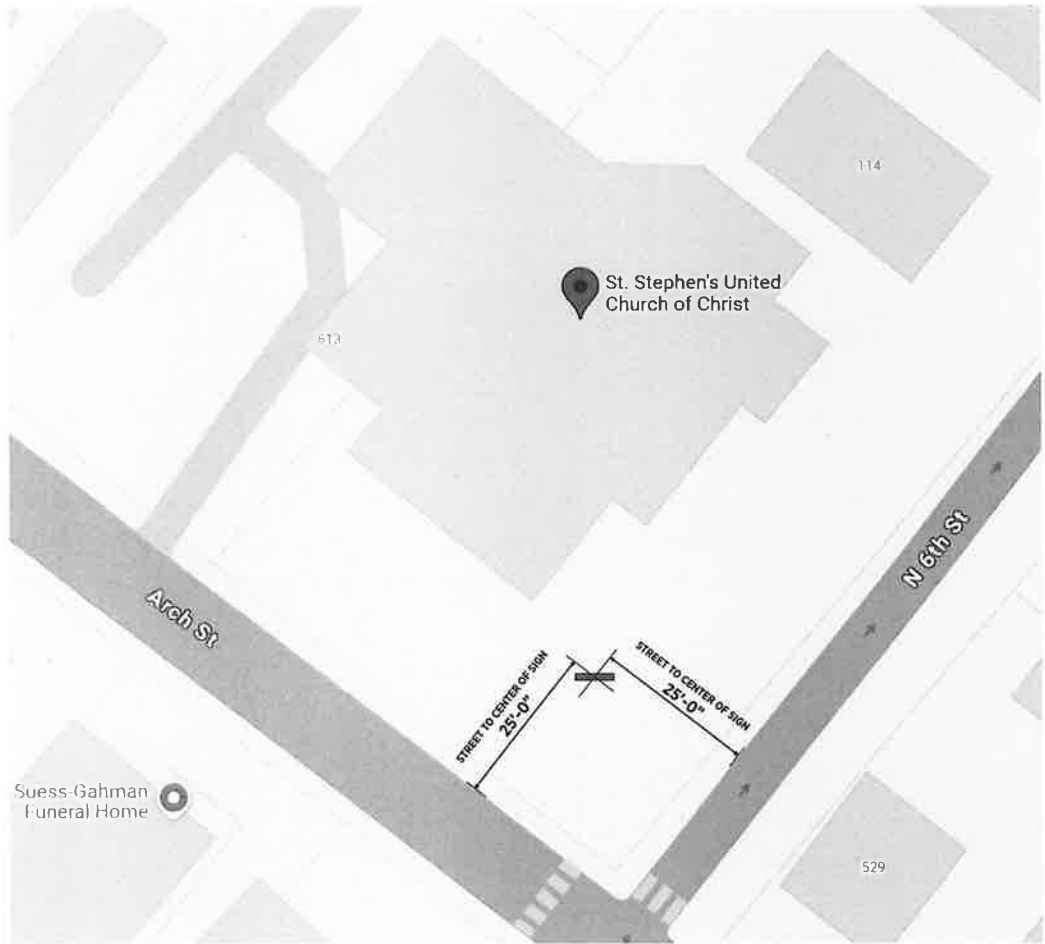
I hereby certify:

The precise residence and the complete post office  
address of the above-named Grantee is:

**613 Arch Street**

**Perkasie, PA 18944**

  
On behalf of the Grantee



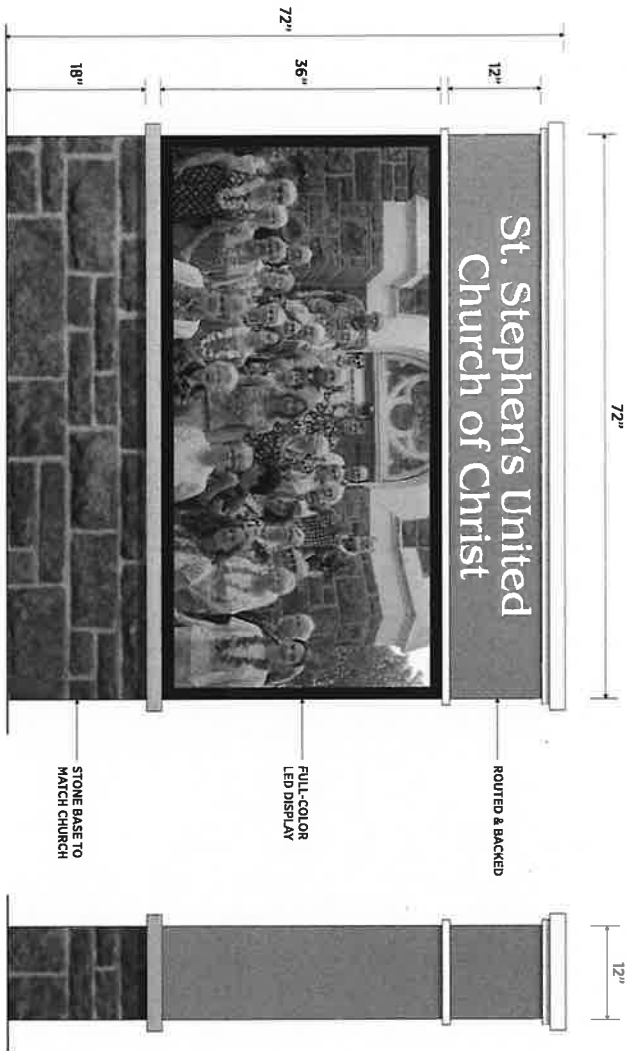
**SITEPLAN**  
SCALE: NONE



**PROPOSED**  
SCALE: NONE



**EXISTING**  
SCALE: NONE

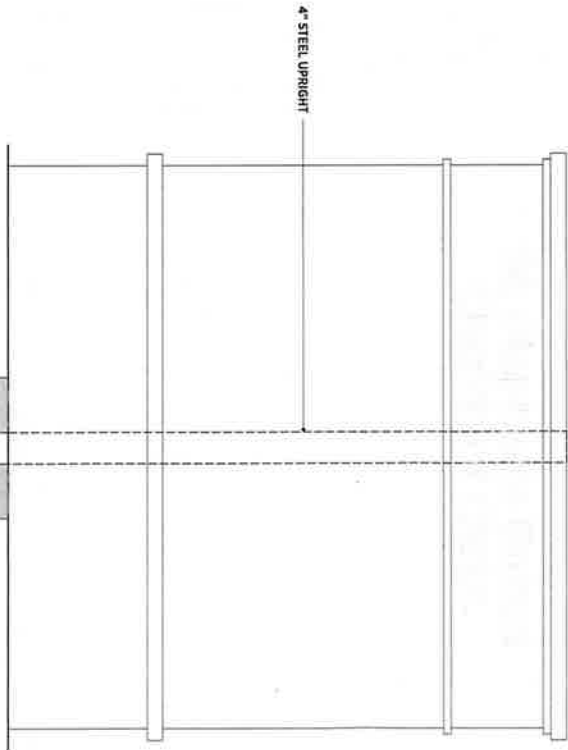


FRONT

SIDE

SINGLE FACE ILLUMINATED MONUMENT  
SCALE: 3/4" = 1'-0"

36 SQF



**MRC signs**  
INSTALL • SERVICE • LIGHTING

145 Railroad Drive  
Warmminster, PA 18974  
267.988.4370

This is a single-sided, illuminated, freestanding monument. It is intended for use as a permanent, outdoor, illuminated monument. It is not to be used as a temporary or portable monument. It is not to be used as a portable or temporary monument. It is not to be used as a portable or temporary monument. It is not to be used as a portable or temporary monument.

Customer Approval:

REVISIONS

|  |  |
|--|--|
|  |  |
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|  |  |
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|  |  |
|  |  |

LOCATION

St. Stephens United Church  
110 N 6th Street  
Parkasle, PA 18944

DRAWN BY: SPH

DATE: 11/11/2024

UPDATED: 03/02/2025

JOB#:

SCALE: As Noted

SHEET:

PAGE 2

**NOTES**  
1.) SEE MANUFACTURERS DRAWINGS  
FOR ADDITIONAL DETAILS AND  
DIMENSIONS.


- 2018 IBC (PENNSYLVANIA BUILDING CODE)
- RISK CATEGORY II
- 114 MPH WIND SPEED, EXP. C

|             |             |           |
|-------------|-------------|-----------|
| DRAWN BY:   | CHECKED BY: | COMM. NO. |
| NG          | CP          |           |
| DRAWING NO. | DATE:       |           |
| DWG. - 1    | 03/04/2025  |           |

CLIENT:  
MRC Signs

PROJECT LOCATION:  
110 N 6th St, Perkasie, PA 18944

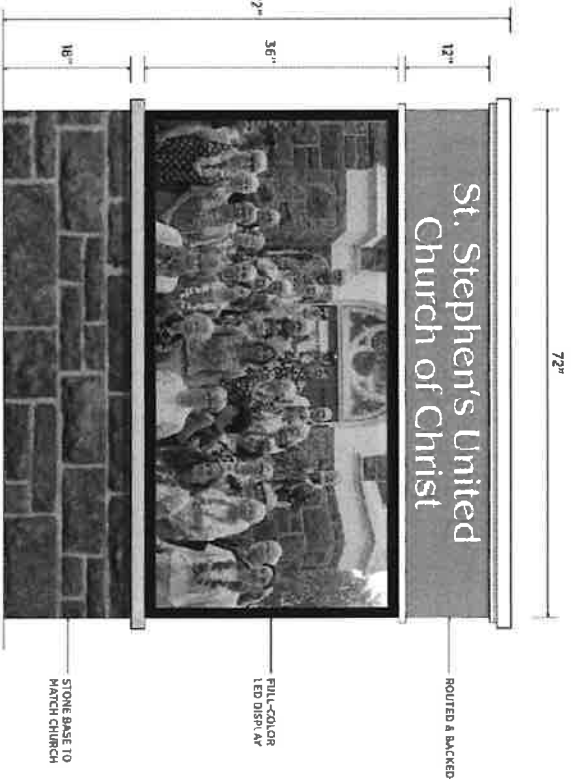
DRAWING TITLE:  
St. Stephen's U.C.O.C



**Brunswick Engineering, LLC.**  
614 US-130, (Suite B1)  
East Windsor, NJ 08520.  
info@brunswickengg.com

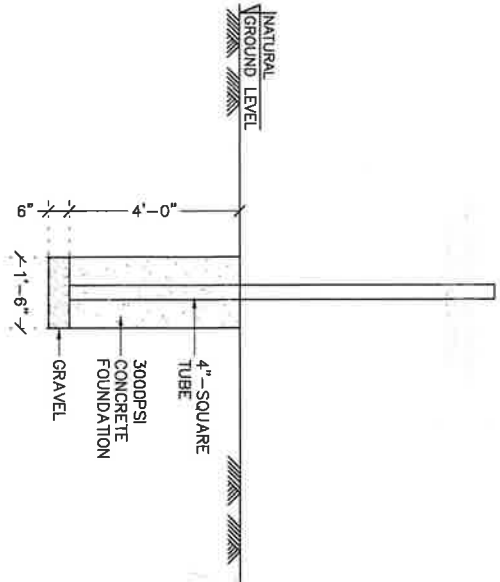


**CHINMAY PATEL, P.E.**

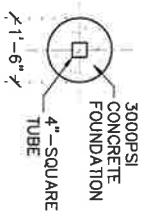


**SINGLE FACE ILLUMINATED MONUMENT**  
SCALE 3/4" = 1'-0"

**FOUNDATION SECTION**



**FOUNDATION PLAN**



**WIND DATA**

|                           |   |           |                                   |   |      |                                    |   |       |     |
|---------------------------|---|-----------|-----------------------------------|---|------|------------------------------------|---|-------|-----|
| Building code             | = | 2018 IBC  | Importance Factor I               | = | 1    | Base Pressure, y(qh/Kh)            | = | 17.0  | psf |
| Wind load criteria        | = | ASCE 7-16 | Directionality Factor, Kd         | = | 0.85 | Mean Roof Height, h                | = | 6     | ft  |
| Wind speed V <sub>1</sub> | = | 114       | Topography Factor, K <sub>z</sub> | = | 1    | Exposure Coefficient, K            | = | 0.699 |     |
| Exposure condition        | = | C         | ASD Wind Load Factor, γ           | = | 0.6  | Velocity Pressure, v <sub>qh</sub> | = | 11.9  | psf |

**SIGN DATA**

|                    |   |      |       |
|--------------------|---|------|-------|
| Wind force         | = | 500  | Pound |
| Vertical load      | = | 1000 | Pound |
| Height to the load | = | 3    | ft    |
| Footing size       | = | 1.5  | ft    |
| All. Fnd pressure  | = | 1500 | psf   |
| Lateral bearing    | = | 300  | psf/f |

**FOUNDATION**

|                      |   |      |     |
|----------------------|---|------|-----|
| Trial depth          | = | 3.80 | ft  |
| s <sub>1</sub>       | = | 380  | psf |
| A                    | = | 2.05 |     |
| (d) Depth of footing | = | 3.81 | ft  |
| Foundation pressure  | = | 566  | psf |



GENERAL

- 1. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
- 2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION.
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- 4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR.
- 5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN
- 6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY
- 7. ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- 8. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- 9. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK.

EXISTING CONDITIONS

- 1. IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY ENGINEER IMMEDIATELY.
- 2. ENGINEER WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS.
- 3. INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4. INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY ENGINEER.

CONCRETE & REINFORCEMENT

- 1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
- 2. REINFORCEMENT TO BE ASTM A615 GR 60, Fy=60 KSI UNO
- 3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
- 4. VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
- 5. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-14
- 6. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING

FOUNDATIONS

- 1. CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
- 2. FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, 3/4" BLUESTONE OR CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
- 3. COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.
- 4. REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
- 5. FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. UNLESS OTHERWISE NOTED.
- 6. FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. Unless otherwise noted.
- 7. ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
- 8. FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH. CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 150 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE BASED ON SOIL DATA OBTAINED FROM THE USGS SOIL SURVEY.
- 9. IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT ENGINEER FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.

STEEL

- 1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING
  - a. ROUND HSS ASTM A500, GR B1 Fy=42 KSI MIN.
  - b. SQUARE/RECT HSS ASTM A500, GR B Fy=46 KSI MIN.
  - c. THREADED ROD F1554 GR 55 Fy=55 KSI MIN.
  - d. STEEL PLATE STD. ASTM A36 Fy=36 KSI MIN.
  - e. PIPE A53, GR B Fy=35 KSI MIN.
- 2. BOLTS SHALL CONFORM TO ASTM A325 UNO.
- 3. BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- 4. NUTS SHALL CONFORM TO ASTM A563.
- 5. WASHERS SHALL CONFORM TO ASTM F844
- 6. STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- 7. WELDING:
  - a. WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1
  - b. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS WELDER WITH ACTIVE STATUS AT TIME OF WELDING
  - c. BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM

- 1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- 2. PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft=38 KSI MIN, Fty=35 KSI MIN, Ft=24 KSI MIN, Fty=15 KSI MIN.
- 3. STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ft=38 KSI MIN, Fty=35 KSI MIN, Ft=24 KSI MIN, Fty=15 KSI MIN.
- 4. SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ft=42 KSI MIN, Fty=35 KSI MIN, Ft=24 KSI MIN, Fty=15 KSI MIN.
- 5. EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft=38 KSI MIN, Fty=35 KSI MIN, Ft=24 KSI MIN, Fty=15 KSI MIN.
- 6. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIET WELDER WITH CURRENT STATUS AT TIME OF WELDING
- 7. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- 8. FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- 9. ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- 10. WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
- 11. ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- 12. PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- 13. FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

NOTES

- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
- \* 2018 IBC (PENNSYLVANIA BUILDING CODE)
- \* RISK CATEGORY II
- \* 114 MPH WIND SPEED, EXP, C

|                         |                      |           |
|-------------------------|----------------------|-----------|
| DRAWN BY:<br>NG         | CHECKED BY:<br>CP    | COMM. NO. |
| DRAWING NO.<br>DWG. - 2 | DATE :<br>03/04/2025 |           |

|                                                        |
|--------------------------------------------------------|
| CLIENT :<br>MRC Signs                                  |
| PROJECT LOCATION :<br>110 N 6th St, Perkasio, PA 18944 |

|                                          |
|------------------------------------------|
| DRAWING TITLE :<br>St. Stephen's U.C.O.C |
|------------------------------------------|



**Brunswick Engineering, LLC.**  
614 US-130, (Suite B1).  
East Windsor, NJ 08520.  
info@brunswickengg.com

CHINMAY PATEL, P.E.





# BOROUGH OF PERKASIO

620 W. Chestnut St  
P.O. Box 96  
Perkasio, PA 18944

(215)257-5065  
Fax (215)257-6875

April 3, 2025

MRC Signs  
Mary Kelly  
704 Dublin Pike  
Dublin, PA 18917

**Subject:** Revised Zoning Review for Freestanding Changeable LED Sign Application  
**Property Address:** 110 N 6th Street  
**Parcel Number:** 33-005-525  
**Zoning District:** C-2 / Town Center Overlay

Dear Ms. Kelly,

This letter presents the results of the zoning review for your sign application submitted on March 7, 2025, for the proposed freestanding changeable LED sign at 110 N 6th St, owned by St. Stephens LLC. The application indicates that the new LED sign will replace an existing illuminated freestanding sign. The proposed sign measures 6 feet wide by 6 feet high, consisting of a 6 square foot solid, routed, and backed stationary section and an 18 square foot LED changeable display, totaling 24 square feet. The planned installation site, at the corner of Arch St and N. 6th St, is 25 feet from both North 5th Street and Arch Street.

The proposed location meets the requirements of § 186-75(A) of the zoning ordinance, as the sign will be located beyond the minimum setback of five feet from the rear edge of the sidewalk. However, the proposed sign does not comply with the following zoning requirements:

1. **Total Sign Area** (§ 186-80C(3)): The total sign area of 24 square feet exceeds the 16 square feet limit for commercial districts by 8 square feet. To comply, the sign area must be reduced.
2. **LED Portion** (§ 186-78B(1)(d)): The LED section constitutes 75% of the total sign area, exceeding the 50% maximum permitted for changeable content. To comply, the LED portion must be reduced, or the static section must be increased proportionally.
3. **Illumination Standards** (§ 186-78B(1)): The following requirements were not noted in the application and must be addressed for compliance:
  - The sign must be effectively shielded to prevent glare directed at streets, highways, or neighboring properties.
  - Illumination intensity must not exceed 1/4 footcandle as measured at the curb line or shoulder.

- The illumination must be continuous, with no blinking or flashing elements.
- Changeable copy content must not update more frequently than once every 60 seconds, except for time or temperature displays, which may change every five seconds. Scrolling text is not permitted.

Based on the review, the application has been **denied**. To move forward with your application, you must:

1. Adjust the total sign area to comply with the 16 square feet limit.
2. Modify the LED portion to meet the 50% changeable content restriction.
3. Provide documentation confirming compliance with shielding, glare, and illumination standards, such as a photometric study or manufacturer specifications.

Alternatively, you may apply for variances from the Zoning Hearing Board to seek approval for the proposed sign dimensions. Enclosed is a copy of the Zoning Hearing Board application for your convenience. Applications must be submitted to the Borough Office by the last working day of the month for hearings, which are generally scheduled for the fourth Monday of each month. The filing fee for commercial use is \$1,250 per the 2025 fee schedule.

Please contact me at 215-257-5065 or [cgrillo@perkasieborough.org](mailto:cgrillo@perkasieborough.org) if you have any questions or need assistance in addressing these requirements.

Sincerely,



Cassandra L. Grillo, CZO, BCO  
Zoning Officer and Code Enforcement Administrator  
Borough of Perkasie  
620 West Chestnut Street  
P.O. Box 96  
Perkasie, PA 18944  
Phone: 215-257-5065  
Fax: 215-257-6875  
Website: [www.perkasieborough.org](http://www.perkasieborough.org)

CC: Andrea L. Coaxum, Borough Manager  
Linda J. Reid, Assistant Borough Manager  
Megan McShane, Executive Assistant  
Jeffrey P. Garton, Esq., Borough Solicitor



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

July 17, 2025

File No. 14-07024

Cassandra L. Grillo, CZO  
Zoning Officer and Code Enforcement Administrator  
Borough of Perkasio  
620 West Chestnut Street  
P.O. Box 96  
Perkasie, PA 18944

Reference: Final Site Punch List #2  
Constitution Square Subdivision

Dear Cassandra:

Pursuant to the Developer's request, representatives from Gilmore & Associates, Inc. (G&A) have visited the Constitution Square Subdivision over the last week to observe the site improvements. During the site visits, the following punch list items were observed, which shall be completed and approved by our Field Observer prior to completion of the project:

Sidewalk

1. The interior sidewalk along Basin 1 has not been installed.
2. Remove excess concrete next ADA ramp at Independence Ct. and Walnut St. and regrade and stabilize area.

Curb

1. There are numerous areas of chipped curb throughout the subdivision. These can be identified on a site walk with G&A and must be patched accordingly.

Paving

1. All line striping shall be installed.
2. All manhole lids and valve boxes must be free of asphalt to be in operable condition.

Storm Sewer & E&S Controls

1. The portion of the stormwater conveyance system from Inlet 14 to the underground stormwater management system shall be re-flushed due to improper sediment bag disposal.
2. Basin 1 conversion shall be completed to meet plan specifications.
3. All E&S controls shall be removed from the site upon approval from BCCD. This includes all silt sock and silt sock mulch, LOD fencing, super silt fence and inlet protection.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

Landscaping (See attached Lighting & Landscaping Plan, Sheet 21 of 32)

1. Install three (3) missing Norway Spruce (PA) in Buffer Class "C" along southwestern property line.
2. Install four (4) missing Douglas Fir (PM) in Buffer Class "C" along southwestern property line.
3. Replace two (2) dead Norway Spruce (PA) in Buffer Class "C" along southwestern property line.
4. Replace two (2) dead Red Maple (AR) around Basin #1.
5. Replace one (1) dead Kwanzan Cherry (PK) around Basin #1.
6. Replace one (1) dead Red Oak (QB) between Basin #2 and Independence Court.
7. Replace one (1) dead Flowering Dogwood (CF) and one (1) dead Red Oak (QB) in Buffer Class "B" along eastern property line.
8. Install two (2) missing Winterberry Holly (IV) along swale north of Basin #2.
9. Replace two (2) dead Red Oak (QB) between walking trail and Independence Court near Unit 40.
10. Replace one (1) dead Kwanzan Cherry (PK) near the corner of Unit 39.
11. Replace one (1) dead Flowering Dogwood (CF) near the corner of Unit 1.
12. Install one (1) missing Arrowwood Viburnum (VD) near the corner of Unit 28.
13. Replace one (1) dead White Swamp Oak in vegetated swale.
14. Replace one (1) dead Atlantic White Cedar in vegetated swale.

Miscellaneous

1. Remove boulder pile adjacent to Lot 49 and Basin 1.
2. All construction debris shall be removed from the site, including all stockpiles (stone, spoils, soil, etc.).
3. The sidewalk and ruts within the grass area at 108 E. Walnut Street that were damaged by a construction vehicle in 2022 shall be addressed accordingly.
4. All items observed during the final site visits to each building, as noted in the Final As-Built Grading Plan letter for each building, shall be satisfactorily completed and approved by our Field Observer.
5. All As-Built Grading Plans that require revisions, as noted in the Final As-Built Grading Plan letter for each building, shall be revised and resubmitted for approval by our office.
6. A final 'Lot Impervious Coverage Chart' containing the as-built impervious coverage for all units shall be provided to our office to ensure that the subdivision does not exceed the total approved impervious coverage.
7. Once all items have been satisfactorily addressed in each of the Final As-Built Grading Plan letters for each building, the Final Certificate of Occupancy shall be issued for each building.
8. Revised As-Constructed Utility Asbuilt Plans shall be submitted to our office for review addressing all the items in the 2<sup>nd</sup> As-Constructed Utility As-Built Plans Review Letter, dated July 10, 2025.
9. The results of the compaction testing that was performed on the Superpave asphalt base and binder courses by the third-party inspection company shall be provided to the Borough and our office to verify that all material placed meets or exceeds the compaction requirements, as required in our correspondence dated December 20, 2021.

10. Mature grass growth must be established throughout the entire site in order to provide for permanent stabilization.
11. The ownership and maintenance of the inlet in E. Walnut Street shall be transferred from the Borough to the HOA.
12. All work associated with Highway Occupancy Permit (HOP) No. 06094429 (water system) shall be inspected and approved by PennDOT and the permit closed. A copy of the completed permit shall be submitted to the Borough and our office.
13. A final punch list approval letter from Perkasio Regional Authority (PRA) shall be submitted to the Borough and our Office, including approval of the utility as-built plans.
14. The NPDES Permit shall be terminated utilizing the Notice of Termination (NOT) application. Once the NPDES Permit is terminated, a copy of the NOT letter from PADEP shall be provided to the Borough and our Office.
15. Prior to release of the remainder of the Financial Security Escrow, an 18-Month Maintenance Bond shall be posted and provided to the Borough.

Once the above items have been completed to the Borough's satisfaction, the project may be closed and enter into the 18-Month Maintenance Period. If you have any questions regarding the above, please contact this office.

Sincerely,

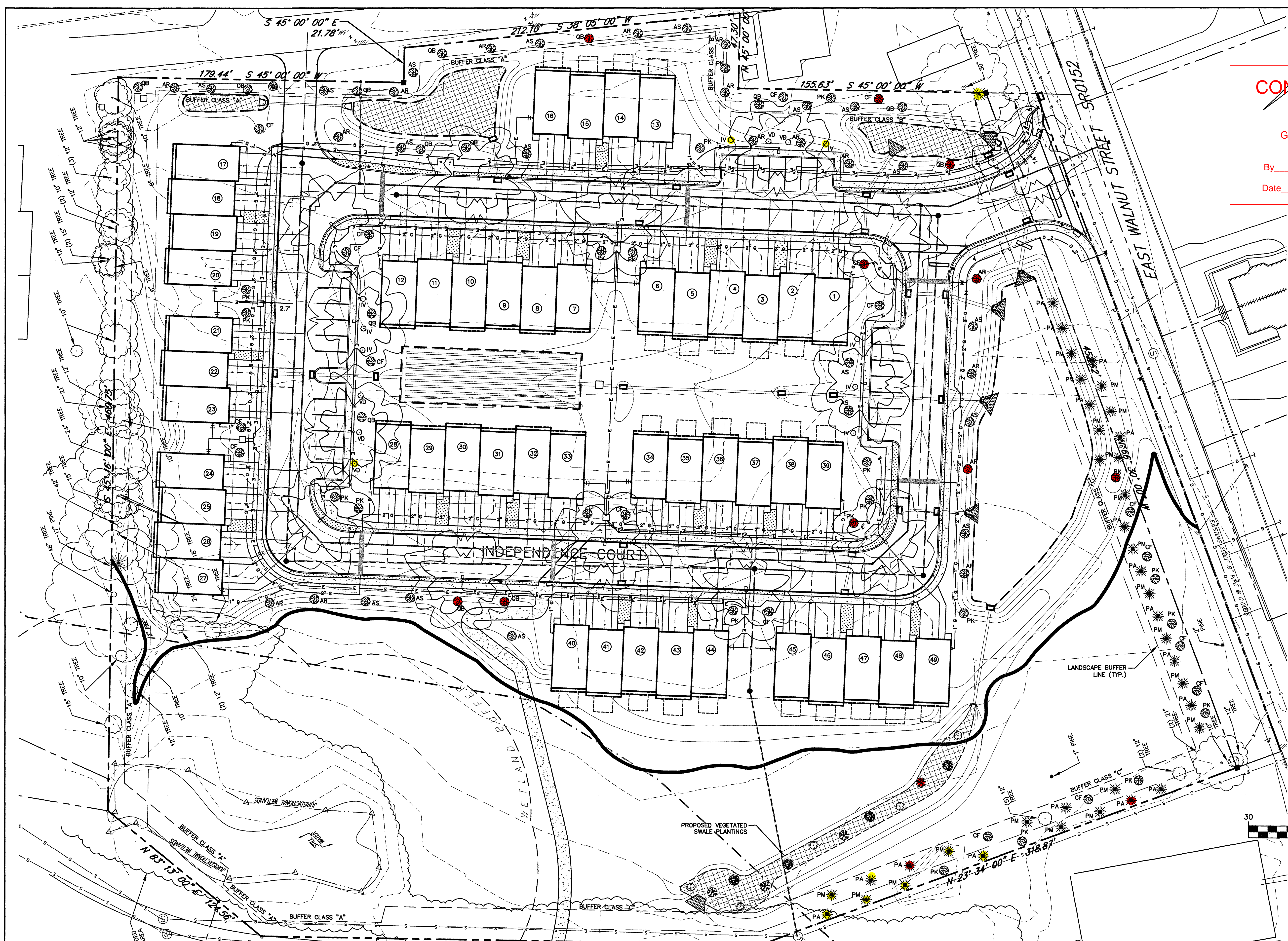


Douglas C. Rossino, P.E.  
Gilmore & Associates, Inc.  
Borough Engineers

DCR

cc: Andrea L. Coaxum, Borough Manager  
Megan McShane, Executive Assistant  
Jeffrey Tulone, Public Works Director  
Kay Constitution, LLC, Owner/Applicant  
Erik Garton, P.E., E.V.P., Gilmore & Associates, Inc.





CONSTRUCTION PLAN

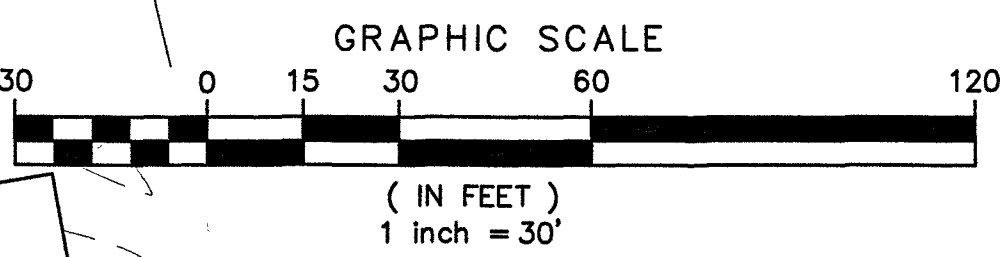
Reviewed by

GILMORE & ASSOCIATES, INC.

By Doug Rossino, P.E.

Date November 11, 2020

- LINETYPE LEGEND:
- EXISTING CONTOURS
  - EXISTING PROPERTY LINE
  - EXISTING ADJOINER PROPERTY LINE
  - EXISTING BUILDING SETBACK LINE
  - EXISTING WOODS
  - EXISTING BRUSH
  - ULTIMATE RIGHT-OF-WAY LINE
  - EXISTING FENCE
  - EXISTING STREAM
  - EXISTING EDGE OF PAVEMENT
  - EXISTING CURB
  - EXISTING PAINT STRIPING
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER, MANHOLE AND INLET
  - EXISTING SIDEWALK
  - SOILS BOUNDARY LINE
  - ZONING DISTRICT BOUNDARY
  - PROPOSED CONTOUR
  - PROPOSED FENCE
  - PROPOSED CURB
  - PROPOSED PAINT STRIPING
  - PROPOSED STORM SEWER, MANHOLE AND INLET
  - PROPOSED SIDEWALK
  - PROPOSED PLANTING BUFFER LINE
  - PROPOSED CENTERLINE
- ERNEST SEED COMPANY  
"SOUTHEAST RAIN GARDEN MIX"  
(ERNMX-180-2)  
APPLY AT RATE OF 20 LB/ACRE



PLANT SCHEDULE VEGETATED SWALE

| SYMBOL | NAME                                          | VEGETATED SWALE |
|--------|-----------------------------------------------|-----------------|
|        | WHITE SWAMP OAK (QUERCUS BICOLOR)             | 5               |
|        | ATLANTIC WHITE CEDAR (CHAMAECYPARIS THYOIDES) | 4               |
|        | SWEETBAY MAGNOLIA (MAGNOLIA VIRGINIANA)       | 4               |

SHRUB SIZE: 2 TO 3 FEET SPREAD OR HEIGHT  
TREE SIZE: DECIDUOUS: 2 1/2" CALIPER  
EVERGREEN: 5 TO 6 FEET TALL

LANDSCAPE PLANTING SCHEDULE

| CODE | BOTANICAL NAME       | COMMON NAME        | CAL./SIZE | HEIGHT  | QUAN. |
|------|----------------------|--------------------|-----------|---------|-------|
| AR   | ACER RUBRUM          | RED MAPLE          | 2 1/2"    | -       | 17    |
| AS   | ACER SACCHARUM       | SUGAR MAPLE        | 2 1/2"    | -       | 18    |
| CF   | CORNUS FLORIDA       | FLOWERING DOGWOOD  | -         | 5-6 FT. | 19    |
| IV   | ILEX VERTICILLATA    | WINTERBERRY HOLLY  | 5 GAL     | 30 IN.  | 8     |
| PA   | PICEA ABIES          | NORWAY SPRUCE      | -         | 4-5 FT. | 18    |
| PK   | PRUNUS KWANZAN       | KWANZAN CHERRY     | 1/2"      | -       | 21    |
| PM   | PSEUDOTSUGA MENZIELI | DOUGLAS FIR        | -         | 4-5 FT. | 20    |
| QB   | QUERCUS BOREALIS     | RED OAK            | 2 1/2"    | -       | 14    |
| VD   | VIBURNUM DENTATUM    | ARROWWOOD VIBURNUM | 5 GAL     | 30 IN.  | 5     |

BUFFER YARD REQUIREMENTS

| BUFFER             | WIDTH  | REQUIREMENT                                      | REQUIRED                 | PROPOSED                 |
|--------------------|--------|--------------------------------------------------|--------------------------|--------------------------|
| CLASS A*           | 10 FT. | 1 CANOPY TREE/40 FT. OR 1 FLOWERING TREE/30 FT.  | 11                       | 15                       |
| CLASS B            | 15 FT. | 1 CANOPY TREE/40 FT. AND 1 FLOWERING TREE/60 FT. | 5 CANOPY 4 FLOWERING     | 8 CANOPY 4 FLOWERING     |
| CLASS C (WALNUT)   | 20 FT. | 1 EVERGREEN/20 FT. AND 1 FLOWERING/60 FT.        | 23 EVERGREEN 8 FLOWERING | 23 EVERGREEN 8 FLOWERING |
| CLASS C** (WALNUT) | 20 FT. | 1 EVERGREEN/20 FT. AND 1 FLOWERING/60 FT.        | 14 EVERGREEN 5 FLOWERING | 15 EVERGREEN 5 FLOWERING |

\* EXISTING VEGETATION ALONG NORTH WESTERLY BOUNDARY TO PARTIALLY SATISFY BUFFER REQUIREMENTS  
\*\* EXISTING TREES ALONG NORTH EASTERLY BOUNDARY TO COUNT AS REQUIRED BUFFER PLANTINGS.

STREET TREES REQUIREMENTS

CENTERLINE LENGTH = 1200± FT. x 2 = 2400 FT.

CANOPY TREES = 1 TREE/40 FT. = 60

OR

FLOWERING TREES = 1 TREE/30 FT. = 80

PROPOSED

CANOPY TREES = 22

FLOWERING TREES = 20

- Dead Landscaping
- Missing Landscaping

811

Know what's below.

Call 8-1-1 before you dig.

visit [www.call811.com](http://www.call811.com)

Serial #20172400785

PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008

REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PROPOSED LIGHTING AND LANDSCAPING PLAN

PREPARED FOR

CONSTITUTION SQUARE, LLC

SITUATE IN

PERKASIE BOROUGH, BUCKS COUNTY, PA

ANDERSEN ENGINEERING ASSOCIATES INCORPORATED

308 N. FIFTH STREET  
PERKASIE, PA 19044  
(215) 267-5711  
FAX (215) 267-5706

|                   |              |                                   |
|-------------------|--------------|-----------------------------------|
| T.L.C.            | 10/28/20     | FINAL APPROVAL                    |
| T.L.C.            | 5/6/20       | REVISED LANDSCAPING               |
| T.L.C.            | 5/25/18      | REVISED LANDSCAPING               |
| T.L.C.            | 4/1/18       | ADD PROPOSED GAS LINE             |
| T.L.C.            | 1/22/18      | REVISED PLANS PER REVIEW COMMENTS |
| T.L.C.            | 10/31/17     | REVISED PLANS PER PRA REVIEW      |
| T.L.C.            | 9/20/17      | ALMOST THERE                      |
| T.L.C.            | 9/4/17       | REVISED PLANS PER REVIEW COMMENTS |
| T.L.C.            | 8/15/17      | REVISED PLANS                     |
| T.L.C.            | 7/4/17       | REVISED PLANS                     |
| T.L.C.            | 5/5/17       | REVISED PLANS                     |
| T.L.C.            | 4/16/17      | REVISED PLANS                     |
| T.L.C.            | 2/14/17      | REVISED PLANS                     |
| BY:               | DATE         | DESCRIPTION                       |
| ISSUE:            |              |                                   |
| AEA FILE NO.      | 5339         |                                   |
| CAD DRAWING FILE: | 5339SITE     |                                   |
| DRAWN BY:         | T.L.C.       |                                   |
| CHECKED BY:       | P.C.A.       |                                   |
| DATE:             | 7/11/16      |                                   |
| TAX MAP:          | 33-10-145    |                                   |
| ACRES:            |              |                                   |
| SCALE:            | NOT TO SCALE |                                   |
| FBK/P.G.          | 141/32       |                                   |
| SHEET TITLE       |              |                                   |



# PARKS AND RECREATION DEPARTMENT

## MONTHLY REPORT

### June 2025

#### RECREATION

- Facilitated the Bucks County Senior Games billiards competition on 6/5 at Pennridge Community Center.
- The Community Yard Sale took place with the Farmer's Market on June 14<sup>th</sup>. There were 12 sellers registered but due to the rainy conditions many could not attend.
- The basketball league started the week of June 16<sup>th</sup>. There are 7 teams registered and a Free Agent team. This was the first year we took registration differently. Instead of only accepting a full team fee up front, the team fee was split amongst the amount of players on each team. By removing the financial obligation of submitting a full team fee by one player, we were able to have more teams registered in advance, assisting us in making decisions regarding league play earlier. This is also the first year we have been able to put together a full Free Agent team.
- Adventures in Stem camp using Legos was held the week of June 16<sup>th</sup>. This was the first time offering this camp and we had 11 participants enrolled.
- Minecraft Engineering camp using Legos was held the week of June 23<sup>rd</sup> and 21 participants enrolled. We've already had positive feedback from both Lego camps.
- Spring Multi-Sport Sundays finished up the weekly sports program on June 22nd. Almost every age group was sold out. The program runs twice a year. The next session is the Fall session, which starts September 14th.
- Continued work on putting together calendar of programs and coordinating with different departments and local business to host free community programs during July's Park and Recreation Month.
- Started research and coordinating fall programming ideas, including the return of popular programs and possible new programs.



#### PARK INFORMATION

- Continued work with Public Works, Electric, Borough engineers, and contractors on the Kulp Park Baseball Field Improvement Project.
- Continued work with Park and Recreation Board and members of the Skate Park Committee and contractor on 2025 ramp replacement project.

#### MENLO AQUATICS CENTER

- June's rainy weather required 7 days worth of full or partial closures.
- The first themed day was on 6/28: Carnival Day; which consisted of a magic show, scuba exhibition, face painting and games. The entire day had positive feedback from patrons.
- Next themed day is scheduled for Friday, 7/25 for Christmas in July.



- The first Menlo After Dark on July 11th drew 137 members and their guests for a relaxing evening of swimming and listening to the sounds of our first live band "Brake for Turtles".
- The second Menlo After Dark is All Things Christmas and is scheduled for Saturday, July 26<sup>th</sup> with more live music.
- PAC swimming and diving wrap up another season the week of July 14th. End of season Splash Social is scheduled for July 19th.
- AM Tot splash continues to draw parents with toddlers to morning time in the Tot pool, Monday-Thursday 9:00-11:30am
- Staff have multiple in-services scheduled during the season to go through reminders and rescue skill practice. The first was in June and the second is scheduled for July 19th from 9:30-11:30am.
- Membership sales continue through the July 4<sup>th</sup> holiday but will plateau.
- Swim lesson registration has been steady. Session 4 starts July 21st and Session 5 starts August 4th.



## MEETINGS

- Attended Public Safety Committee Meeting – 6/2
- National Night Out Planning meeting – 6/6
- Community Day Planning meeting – 6/12
- Attended Septa Meeting – 6/18
- Attended Pre-Construction meeting – 6/20

## ADMINISTRATION

- Organized and sent weekly Perkasie E-Connection informational newsletter email blasts focusing on summer offerings through Park and Recreation. This communication is through MyRec Constant Contact and includes almost 7,000 active email accounts.
- Continued expanded marketing efforts for Park and Recreation programming through both Facebook and Instagram including using reels, my story, and additions of music, link, and hashtags to grow social media following.
- Received National Recreation and Park Association's Park and Recreation Professional Certification.



# BOROUGH OF PERKASIE

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## INTER-OFFICE MEMORANDUM

July 11, 2025

TO: Borough Council and Mayor Hollenbach

FROM: Lauren Moll, Director of Parks and Recreation

SUBJECT: Use of Lenape Park after dusk

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I'd like to request council permission to use Lenape Park and the amphitheater after dusk hours for a free community Movie in the Park on Friday, August 1, 2025.

Any questions please let me know.

Sincerely,  
Lauren Moll



# BOROUGH OF PERKASIE

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## INTER-OFFICE MEMORANDUM

July 15, 2025

TO: Borough Council and Mayor Hollenbach

FROM: Lauren Moll, Director of Parks and Recreation

SUBJECT: Seasonal Staff Change 2025

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Due to a change in availability with the front desk supervisors we would like to promote the staff below as a substitute front desk supervisor. His main job responsibility would still be a front desk attendant, but he would also have the ability to assist when no other supervisors are available.

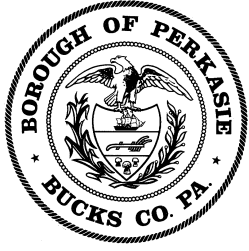
The pay rates reflect the updated fee schedule that was approved for 2025.

**Substitute Front Desk Supervisor:**

Rawling, Logan      FDS    \$15.00

If you have any questions, please let me know.

Sincerely,  
Lauren Moll



# BOROUGH OF PERKASIE

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## MEMORANDUM

DATE: July 18, 2025

TO: Borough Council  
Mayor Hollenbach  
Andrea Coaxum

FROM: Rebecca Deemer, Finance Director

SUBJECT: Front Desk Position / Borough Hall

The front desk position in Borough Hall has been vacant since May 14, 2025. To maintain continuity of operations and customer service, we have asked three summer pool staff members (Brett Musselman, Nicky Reid and Natalie Tulone) to help fill in on a temporary basis until the position is formally filled. Each of these employees currently receives a different hourly rate for their pool-related duties, and we have continued to compensate them at those rates while they are working at Borough Hall.

In the interest of fairness and consistency, we are recommending a flat rate of \$19.25 per hour for the front desk assignment. Upon Council's approval, we will reconcile any wage differences and ensure the employees are paid retroactively at the approved rate for all applicable hours already worked at Borough Hall.

We appreciate your consideration of this request as we work to maintain effective operations during this transitional period.

Please let me know if you have any questions or need additional information.

## **RESOLUTION NO. 2025-35**

**A RESOLUTION OF THE COUNCIL OF THE BOROUGH OF PERKASIE APPROVING THE ST. LUKE'S HOSPITAL OF BETHLEHEM, PENNSYLVANIA, D/B/A ST. LUKE'S OCCUPATIONAL MEDICINE, DOT REGULATED RANDOM TESTING CONSORTIUM AGREEMENT, AND AUTHORIZING THE BOROUGH MANAGER AND/OR THE PERKASIE BOROUGH COUNCIL PRESIDENT TO EXECUTE THE AGREEMENT ON BEHALF OF THE BOROUGH OF PERKASIE.**

**WHEREAS,** St. Luke's Hospital of Bethlehem, Pennsylvania, d/b/a St. Luke's Occupational Medicine, has provided the Borough of Perkasie with a DOT Regulated Random Testing Consortium Agreement related to the Random Urine Controlled Substances and Alcohol testing regulations defined in Title 49 Parts 40, 382, 391 and/or 655 of the Code of Federal Register and mandated by the Federal Department of Transportation and applicable State agencies; and

**WHEREAS,** the Borough Council has determined that it is in the best interest of the Borough to approve the St. Luke's Hospital of Bethlehem, Pennsylvania, d/b/a St. Luke's Occupational Medicine, DOT Regulated Random Testing Consortium Agreement related to the Random Urine Controlled Substances and Alcohol testing regulations defined in Title 49 Parts 40, 382, 391 and/or 655 of the Code of Federal Register and mandated by the Federal Department of Transportation and applicable State agencies.

**NOW THEREFORE,** be it resolved by the Borough Council of Perkasie Borough as follows:

1. Approval of Agreement. The Borough Council herein approves the St. Luke's Hospital of Bethlehem, Pennsylvania, d/b/a St. Luke's Occupational Medicine, DOT Regulated Random Testing Consortium Agreement related to the Random Urine Controlled Substances and Alcohol testing regulations defined in Title 49 Parts 40, 382, 391 and/or 655 of the Code of



Federal Register and mandated by the Federal Department of Transportation and applicable State agencies, which is attached hereto as Exhibit “A” and incorporated by reference.

2.     Execution. The Borough Council further authorizes the Borough Manager and/or the Perkasio Borough Council President to execute the St. Luke’s Hospital of Bethlehem, Pennsylvania, d/b/a St. Luke’s Occupational Medicine, DOT Regulated Random Testing Consortium Agreement related to the Random Urine Controlled Substances and Alcohol testing regulations defined in Title 49 Parts 40, 382, 391 and/or 655 of the Code of Federal Register and mandated by the Federal Department of Transportation and applicable State agencies, on behalf of Perkasio Borough.

THIS RESOLUTION was duly adopted this 21<sup>st</sup> day of July, 2025.

**ATTEST:**

**BOROUGH OF PERKASIE:**

By: \_\_\_\_\_  
Andrea L. Coaxum, Secretary

By: \_\_\_\_\_  
James Ryder, Council President

# **EXHIBIT “A”**

## DOT REGULATED RANDOM TESTING CONSORTIUM AGREEMENT

**Borough of Perkasio** ("the Company") hereby enters into this Agreement, effective as of June 24, 2025, in order to participate with other employers in a consortium for the purpose of complying with the Random Urine Controlled Substances and Alcohol testing regulations defined in Title 49 Parts 40, 382, 391 and/or 655 of the Code of Federal Register ("CFR") (the "Regulations") and mandated by the Federal Department of Transportation ("DOT") and applicable State agencies (including Pennsylvania Department of Transportation ("PENNDOT") and New Jersey Department of Transportation ("NJDOT")) (the "Agencies"). This consortium, to be called "The Centers for Occupational Health Consortium" ("the Consortium"), will be administered by St. Luke's Hospital of Bethlehem, Pennsylvania, d/b/a St. Luke's Occupational Medicine, with a location at 1110 American Parkway; Allentown PA 18019 ("the Provider"), which will also provide Medical Review Officer ("MRO") services.

### **I. Responsibilities of the Company**

- A. It is the responsibility of the Company to determine and include only persons (Drivers) subject to the regulations.
- B. The Company will forward to the Provider the list of its Drivers to be entered into the random testing Consortium with the following demographic information:
  1. Driver name
  2. Address
  3. Date of Birth
  4. Social Security, Payroll Identification or Other Comparable Identifying Number
  5. Daytime Telephone Number
- C. The Company will provide to the Provider the name(s) of the Designated Employer Representative(s) ("DER(s)") within the Company who may be contacted regarding the random selection and the right to be notified of, and/or receive, the testing results. Also, the Company will include the dates of birth (day and month only may be substituted) and/or Social Security Numbers (the last four numbers only may be substituted) of the authorized DER(s) for the purpose of verifying their identity if contacted by the Provider and/or MRO.
- D. It is understood that the notification to the Company of Drivers selected is confidential and that the DER(s) can not reveal the names of the Drivers selected for testing to any non-authorized individuals prior to notifying the Driver of his/her selection to be tested.
- E. The Company will ensure that the Driver(s) report for testing by the deadline date determined by the Provider, which date will be provided to the Company at the time of notification of the Driver(s) selected for testing.
- F. The Company will notify the Provider of any Driver status changes by the deadline date of the current selection period. Such changes include, but are not limited to the following:
  1. Terminated Drivers to be removed from the random pool; and/or
  2. Drivers who are off on an extended absence such as vacation, illness, injury, etc., and/or are not available for testing in the current selection period. As long as there is a reasonable expectation that the Driver will be returning to duty the Driver must remain in the random pool. The notification of the extended absence is necessary to adjust the number of selections to meet the annual testing percentage requirement.

- G. The Company will provide an updated list of its Driver(s) for the next selection period by the deadline date of the current selection period.
- H. If the Company has random breath alcohol tests conducted by a person or entity other than the Provider, the Company must maintain a record of these tests and forward the results to the Provider by the deadline date of the current selection period. These results are necessary for computing semi-annual and/or annual statistical summaries for the Consortium.
- I. If requested to do so by the MRO, the Company will make a reasonable attempt to contact a Driver who has not responded to the MRO's attempts to discuss a controlled substances test result and/or undergo a physical examination required by the Regulations. The Company will document its attempts in writing and forward the documentation to the MRO in a timely manner or upon request by the MRO.
- J. The Company is responsible for arranging payment for services within the scope of this Agreement and agrees to accept final responsibility for payment of the services.
- K. The Company agrees to pay testing fees for any Drivers selected, but not tested, if the Company elects to terminate this Agreement.
- L. The Company agrees to pay the per-driver and/or administration fees again if the Company elects to terminate this Agreement or the Provider terminates this Agreement for non-compliance, and the Company wishes to resume services with the Provider. Such resumption of services will be at the discretion of the Provider.
- M. The Company is responsible for maintaining and/or enforcing its controlled substances and alcohol testing policy and may not commit the Provider, its MRO, physicians, employees or agents to any responsibilities under said policy other than those required by the Regulations.

## **II. Responsibilities of the Provider**

- A. All controlled substances and alcohol testing will be conducted in accordance with the Regulations.
- B. The Provider will be responsible for the selection of the Drivers to be random tested as follows:
  - 1. The Provider will conduct random selections of Drivers in the Consortium in compliance with the Regulations, based upon the average number of Drivers eligible equal to the minimum applicable DOT Agency requirements then in effect. Fifty percent (50%) testing of drivers is the minimum DOT requirements for controlled substances testing and ten percent (10%) for alcohol testing annually as of December 27, 2019 for the Federal Motor Carrier Safety Administration ("FMCSA").
  - 2. The random testing process will be computer-generated and confidential.
  - 3. Random test selections will be made once each calendar quarter in any given year, January through December.
  - 4. The number of random selections will be based upon the number of Drivers in the random pool at the time of selection in any given selection period. The number of Drivers to be selected will be adjusted if there is a significant fluctuation during the calendar year in accordance with the Regulations.
  - 5. The list of Drivers selected will be sent to the Company's DER marked "*Confidential*", along with the current list of the Company's Drivers at the time of selection.
- C. The Provider will act as random testing administrator for the Consortium.

- D. The scope of MRO services includes, but are not limited to the following:
1. Review of all controlled substance test results conducted by an HHS certified laboratory(ies) utilized by the Provider in accordance with the Regulations.
  2. Contacting the Driver if, necessary, to discuss the results of any controlled substances test. This contact may include a request to the Company by the MRO to contact the Driver on his/her behalf.
  3. Arranging, reviewing and/or conducting a physical examination required by the Regulations as appropriate. If the MRO conducts the examination the cost of the examination will be the cost listed in the fee schedule of this Agreement from time-to-time plus the costs of any type of test(s) or procedure(s) deemed necessary and pre-authorized by the Company.
  4. Reviewing “shy bladder” and/or “clinical evidence of opiate use” evaluations and issuing a report to the Company.
  5. The MRO will forward a written final result for each controlled substances test in accordance with the Regulations.
  6. Any further services provided by the MRO will be charged in accordance with the fee schedule in this Agreement.
  7. Complying with all required reporting under FMCSA Commercial Driver’s License Drug and Alcohol Clearinghouse.
- E. The Provider will maintain all records on behalf of the Consortium & MRO in accordance with the Regulations.
- F. The Provider will provide semi-annual statistical summaries for random controlled substances and alcohol testing within this Agreement. Statistical summaries provided by testing Laboratory(ies) will be maintained and forwarded as required by the Regulations or upon request by an authorized representative of the applicable Agency.
- G. The Provider will provide the Company with the following contact information pertaining to the services to be provided pursuant to this Agreement: (1) the name and address of the laboratory/ies to which testing samples will be sent; (2) the name(s), title(s)/position(s) and telephone number(s) of its MROs; and (3) the name(s), title(s) and telephone number(s) of its DOT program administrator. In the event that any of these contacts, or their contact information, changes during the term of this Agreement, the Provider shall promptly provide the Company with the new contact information.

### **III. Miscellaneous Provisions**

- A. This Agreement does not constitute a contract of employment. The relationship of the Provider to the Company created by this Agreement is that of an independent contractor. The Provider further agrees that its MRO(s), physicians, employees or agents shall not be considered to be employees of the Company.
- B. The Company shall indemnify, defend and hold harmless the Provider, its trustees, officers, employees and agents from and against all liabilities, losses, expenses, and damages (including reasonable attorneys’ fees and costs) (“Liabilities”) incurred or suffered by Provider arising from the performance of Provider’s responsibilities under this Agreement, except to the extent and in proportion to such Liabilities that result directly from the Provider’s negligence or willful misconduct.
- C. Neither the Company nor the Provider shall assign or transfer its obligations or rights in this Agreement without the written consent of the other. Nothing herein shall be construed as giving rights or benefits herein to anyone other than the Company or the Provider.

- D. Notwithstanding anything in the contrary whether with respect to required notices or otherwise, due to directives from a government agency or guidance established by a state or federal health agency, the Provider may, without liability to Company, (a) establish additional requirements to permit Provider to provide services hereunder, (b) modify the schedule for services, and/or (c) temporarily suspend services. The Provider will advise Company if and when such additional requirements, modification, and/or suspension is no longer required.
- E. All disputes between the parties to this Agreement, whether arising from the Agreement itself or the interpretation of its provisions, or arising from alleged facts outside the provisions of this Agreement whether prior to, during or subsequent to this Agreement, including without limitation, negligence, misrepresentation, or any other alleged tort or violation of this Agreement (“Dispute”), shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Pennsylvania, without reference to choice of law principles or the legal theory upon which such Dispute is asserted. All Disputes shall be resolved by binding arbitration before one neutral arbitrator in accordance with the Commercial Arbitration Rules of the American Arbitration Association then pertaining. The parties hereby consent to the holding of arbitration in Lehigh County, Pennsylvania, and consent to the jurisdiction of the courts in the Commonwealth of Pennsylvania for the enforcement of these provisions and the entry of judgment on any award rendered hereunder. Should the chosen court in the Commonwealth of Pennsylvania for any reason lack jurisdiction, any court with jurisdiction shall enforce this provision and enter judgment on any award. The arbitration proceedings, together with all discovery made pursuant thereto and statements or documents exchanged by the parties in connection therewith, shall be kept confidential and shall only be used by such parties in connection with the arbitration proceedings. THE ARBITRATOR SHALL NOT AWARD ANY PARTY PUNITIVE OR EXEMPLARY DAMAGES, AND EACH PARTY HEREBY IRREVOCABLY WAIVES ANY RIGHT TO SEEK SUCH DAMAGES. All costs of arbitration shall be evenly divided between the parties, exclusive of each party’s legal fees and expenses associated with the arbitration, each of which shall be borne by the party that incurs them. This provision shall survive the termination or expiration of this Agreement for any reason, and may be enforced by a party after such event.

#### IV. Fee Schedule

- A. The Provider's current prices for Provider services as of the date of contract:

Payment of annual administrative fees must accompany the signed Agreement. Annual fees are due on or before December 31 of the current year for the upcoming year. The Provider will notify the Company on or about November 30 of the current year that the fees are due on or before December 31 of the current year for the upcoming year.

- B. The Provider reserves the right to review prices and adjust them to reflect its general pricing policies from time-to-time and will notify the Company in writing of the price adjustments.

| Description of Services                                                             | Program Costs:  |
|-------------------------------------------------------------------------------------|-----------------|
| • Annual Administrative Fee                                                         | Waived for 2025 |
| • One-time set-up fee, data entry, registration per Driver                          | \$ 0            |
| • DOT Controlled Substance Test –<br>• Medical Review Officer (MRO) review included | \$65.00         |
| • Breath Alcohol Test                                                               | \$42.00         |



## V. Term

- A. This Agreement shall be in effect from the date of execution for a period of one year and shall automatically renew on a year-to-year basis. Either party may terminate this Agreement by providing no less than 30-day notification to the other party.
- B. Both parties may terminate this Agreement by mutual consent and, where such mutual consent to terminate is given, the 30-day notice period shall be deemed waived.
- C. Notwithstanding the foregoing, either party may terminate this Agreement for cause in the event of a breach of any material term, condition, warranty or representation of this Agreement that remains uncured to the reasonable satisfaction of the non-breaching party within seven (7) days after written notice of such breach.
- D. In the event that, during the term of this Agreement, there is a significant change(s) in the requirements of any Agency regulations affecting the contracted services covered under this Agreement, or the contracted services are significantly affected as the result of other regulatory changes or changes mandated by federal, state, or local law, and the Provider chooses to terminate this Agreement, the Provider will notify the Company of said termination, which termination shall be effective as of the effective date set by the Provider, and the parties shall, in good faith, negotiate and attempt to come to agreement on the terms of a revised Agreement.
- E. Any notice or other communication that is required or permitted under this Agreement shall be in writing and will be effective upon receipt only if delivered by prepaid registered or certified US mail, return receipt requested, or by overnight delivery service, addressed as set forth below, or to such other address as is subsequently specified in writing in accordance with this paragraph: **To the Provider:** St. Luke's Occupational Medicine, Attn: Substance Abuse Program Coordinator, 153 Brodhead Road, Bethlehem, PA 18017; **To the Company:** To the address set forth on the signature page hereto.

## VI. Additional Company & Provider Information

### A. Provider Information:

- 1. **Testing Laboratory:** Alere Toxicology Services, Inc. 450 Southlake Boulevard,  
Richmond, VA 23200
- 2. **Medical Review Officer:** Heinen Medical Review – 888-382-2281
- 3. **Program Administrator:** Substance Abuse Program Coordinator -  
occumeddruagscreentesting@sluhn.org

**VII.** This Agreement and any amendments thereto may be executed in any number of counterparts, each of which shall be an original and all of which together shall constitute one and the same document, binding on all parties notwithstanding that each of the parties may have signed different counterparts. Scanned copies of original signatures shall be considered original signatures unless prohibited by applicable laws. The parties have executed this Agreement by proper persons duly authorized. This Agreement constitutes the entire understanding between the parties with respect to the subject matter hereof, and supersedes any prior oral or written agreement between the parties. No amendments to this Agreement will be valid unless agreed to in writing by the parties.

**Borough of Perkasio**

\_\_\_\_\_  
Signature, Authorized Representative

\_\_\_\_\_  
Printed Name and Title of Authorized Representative

DATE: \_\_\_\_\_

NOTICE ADDRESS:  
620 W. Chestnut Street  
PO Box 96  
Perkasie PA 18944  
Attn: Megan McShane

**St. Luke's Hospital of Bethlehem, Pennsylvania:**

\_\_\_\_\_  
Signature, Authorized Representative

\_\_\_\_\_  
Printed Name and Title of Authorized Representative

**Occupational Medicine  
Random Substance Abuse Testing Participant List**

**Company Name:** \_\_\_\_\_

**DOT Random Testing**

|           | <b>Employee Name</b> | <b>Social Security #</b> | <b>Driver Lic #&amp; State</b> |
|-----------|----------------------|--------------------------|--------------------------------|
| <b>1</b>  |                      |                          |                                |
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| <b>20</b> |                      |                          |                                |

**Date** \_\_\_\_\_

**Signature** \_\_\_\_\_

JEFFREY P. GARTON  
DOUGLAS C. MALONEY  
THOMAS J. PROFY, IV\*†  
FRANCIS X. DILLON  
JOHN A. TORRENTE\*  
STEVEN M. JONES  
MICHAEL J. MEGINNISS  
BREANDAN Q. NEMEC\*  
BRENDAN M. CALLAHAN\*  
BRADLEY R. CORNETT\*  
SEAN M. GRESH  
BRYCE H. McGUIGAN\*  
TRACY L. CASSEL-BROPHY\*  
CHRIS LITTLE SIMCOX\*  
BRENDAN G. CORRIGAN^  
KIMBERLY N. BARRON  
CHLOE M. BOUDAZIN  
CHELSEY CROCKER JACKMAN  
MARISA M. PERINI  
HANNAH M. SCHWEIZER

\*Member of PA & NJ Bars  
†Master of Laws (Taxation)  
^Member of PA & NY Bars



680 MIDDLETOWN BOULEVARD  
P.O. BOX 308  
LANGHORNE, PENNSYLVANIA 19047-0308  
TELEPHONE: 215.750.0110  
FAX: 215.750.0954

JEFFREY P. GARTON, ESQUIRE  
[jgarton@begleycarlin.com](mailto:jgarton@begleycarlin.com)

OF COUNSEL

HON. ROBERT O. BALDI (RET.)  
-Mediation and Arbitration

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ALLEN W. TOADVINE  
TRACY P. HUNT  
PAMELA A. VAN BLUNK\*  
KATHARINE J. WEEDER\*  
MARC I. RICKLES\*

NEW HOPE OFFICE  
123 W. BRIDGE STREET  
NEW HOPE, PA 18938  
215.862.0701

June 26, 2025

**VIA EMAIL**

[admin@perkasieborough.com](mailto:admin@perkasieborough.com)

Megan McShane, Executive Assistant  
Perkasie Borough  
620 W. Chestnut Street  
P.O. Box 96  
Perkasie, PA 18944

**Re: St. Luke's Random Testing Consortium Agreement**

Dear Megan:

Pursuant to your request I reviewed the proposed contract forwarded to your attention by St. Luke's. In that regard my comments with respect to same are as follows:

1. In the Preamble it suggests that the testing will be administered at the St. Luke's Hospital of Bethlehem in Allentown, Pennsylvania. However, I thought I observed in the course of the emails from St. Luke's that they have other locations that were not included in my email, but you may have received those locations. It would be an inconvenience if Borough employees had to go all the way to Allentown for the testing.
2. Paragraph I (B) (4). I would urge that the Borough identify employees by something besides their Social Security Number or, if you are using the Social Security Number, only the last 4 digits. This appears to be authorized by subsection (C).
3. Paragraph I (K) and (L). Please note the other costs in the event Drivers are selected but not tested and you will stay pay for those costs.

4. Paragraph III (E). I cannot imagine any disputes will arise because of the nominal amount of money involved in this contract, but if there is a dispute, it has to be arbitrated in Lehigh County.
5. Paragraph IV. I have no comment with respect to the pricing, as I leave that to the Borough.
6. Paragraph V (A). Please note that this contract continues until either party provides 30-day notification of the election to terminate it at the end of each year of the extension.
7. Paragraph V (D). Please review this subsection which talks about if there are significant changes in requirements of the Borough, costs may increase.
8. Paragraph VI. It is unusual that the testing laboratory is in Richmond, Virginia.

Lastly, I attach a Resolution for Council evidencing its approval of the contract.

If you have any questions, please advise.

Very truly yours,



Jeffrey P. Garton

JPG:bcr  
Attachment  
cc: Andrea L. Coaxum, Borough Manager

Date: 06/16/2025

## Check Register #27 – June 20, 2025

User: HEATHE

Time: 3:34:34PM

## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO                  | VENDOR NAME<br>INVOICE NO                                                 | INVOICE DESC.                              | ACCOUNT NO | DUE DATE               | VOUCHER AMOUNT PAID | EFT | DP |
|-----------------------------------------|---------------------------------------------------------------------------|--------------------------------------------|------------|------------------------|---------------------|-----|----|
| 0000000014<br>VC-00062264<br>0000000014 | AFLAC<br>430612<br>AFLAC                                                  | Employee Premium Remittance                | 01.223.000 | 06/20/2025<br>294.04   | 294.04              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000005647<br>VC-00062178<br>0000005647 | Alden House LLC<br>07672012.00<br>Alden House LLC                         | Electric Final Bill Deposit Refund         | 07.200.100 | 06/20/2025<br>108.91   | 108.91              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000005650<br>VC-00062271<br>0000005650 | Allentown Police Academy<br>Jeffries 6/23<br>Allentown Police Academy     | Jeffries IPMBA Class & Membership          | 01.410.421 | 06/20/2025<br>250.00   | 250.00              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000004430<br>VC-00062173<br>0000004430 | Analytical Laboratories, Inc.<br>1006325<br>Analytical Laboratories, Inc. | MAC Pool Testing May 2025                  | 04.452.450 | 06/20/2025<br>320.00   | 320.00              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000000166<br>VC-00062265<br>0000000166 | Armour & Sons Electric, Inc.<br>910044760<br>Armour & Sons Electric, Inc. | Walnut & Constitution Repair 4/29/25       | 01.433.253 | 06/20/2025<br>989.99   | 989.99              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000003707<br>VC-00062205<br>0000003707 | AT&T Mobility<br>06082025<br>AT&T Mobility                                | 2 First Net Mobile Air Cards               | 07.442.450 | 06/20/2025<br>81.78    | 81.78               |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000005646<br>VC-00062177<br>0000005646 | Athanasios Gavrill<br>04616015.00<br>Athanasios Gavrill                   | Electric Final Bill Deposit Refund         | 07.200.100 | 06/20/2025<br>123.40   | 123.40              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000005198<br>VC-00062190<br>0000005198 | Auto Zone, Inc.<br>02071297743<br>Auto Zone, Inc.                         | PW Auto Parts                              | 01.438.370 | 06/20/2025<br>60.13    | 60.13               |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000005399<br>VC-00062191<br>0000005399 | BARRY ISETT & associates Inc.<br>0200996<br>BARRY ISETT & associates Inc. | Code Enforcement Services 5/1-5/31/25      | 01.413.310 | 06/20/2025<br>5,193.40 | 5,193.40            |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000004084<br>VC-00062189<br>0000004084 | Britton Industries<br>1286514-IN<br>Britton Industries                    | Yard Waste 40 Yard Roll Off                | 05.428.368 | 06/20/2025<br>773.72   | 773.72              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000000135<br>VC-00062179<br>0000000135 | Clemens Uniform<br>1708782<br>Clemens Uniform                             | PW Uniforms                                | 01.438.238 | 06/20/2025<br>199.31   | 199.31              |     |    |
|                                         |                                                                           | Vendor Total:                              |            |                        |                     |     |    |
| 0000000069<br>VC-00062208               | Comcast<br>48464                                                          | Boro Hall Wifi/Internet/Voice 6/11-7/10/25 | 01.405.450 | 06/20/2025             | 437.77              |     | X  |



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## Check Register #27 – June 20, 2025

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO | INVOICE DESC.                        | ACCOUNT NO | DUE DATE      | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|---------------------------|--------------------------------------|------------|---------------|---------------------|-----|----|
| VC-00062202            | 53282                     | Sub Wifi/Voice/Internet 6/12-7/11/25 | 07.442.450 | 06/20/2025    | 313.42              | X   |    |
| VC-00062188            | 53456                     | PW Voice, Internet, Wifi 6/7-7/6/25  | 01.438.480 | 06/20/2025    | 313.42              | X   |    |
| 0000000069             | Comcast                   |                                      |            | Vendor Total: | 1,064.61            |     |    |
| 0000002185             | Ed's Service Center, LLC  |                                      |            |               |                     |     |    |
| VC-00062194            | 250501002                 | PW Tk#20 Inspection                  | 01.438.370 | 06/20/2025    | 421.99              |     |    |
| VC-00062195            | 250422004                 | Boro Vehicle Inspection              | 01.405.250 | 06/20/2025    | 143.51              |     |    |
| 0000002185             | Ed's Service Center, LLC  |                                      |            | Vendor Total: | 565.50              |     |    |
| 0000002274             | Elan Financial Services   |                                      |            |               |                     |     |    |
| VC-00062235            | 2800                      | Pool Chemicals                       | 04.452.222 | 06/20/2025    | 421.52              |     |    |
| VC-00062236            | 2800                      | PW Return                            | 01.438.230 | 06/20/2025    | -25.98              |     |    |
| VC-00062228            | 2800                      | Park Supplies                        | 01.454.371 | 06/20/2025    | 22.31               |     |    |
| VC-00062232            | 2800                      | Park Supplies                        | 01.454.260 | 06/20/2025    | 87.66               |     |    |
| VC-00062231            | 2800                      | PW Small Tools                       | 01.438.260 | 06/20/2025    | 104.93              |     |    |
| VC-00062233            | 2800                      | Pool Building Repairs                | 04.452.370 | 06/20/2025    | 121.21              |     |    |
| VC-00062238            | 2800                      | Chemical Return                      | 04.452.222 | 06/20/2025    | -133.66             |     |    |
| VC-00062234            | 2800                      | Covered Bridge Fence Rental          | 30.451.705 | 06/20/2025    | 445.70              |     |    |
| VC-00062237            | 2800                      | PW Returns                           | 01.438.260 | 06/20/2025    | -164.97             |     |    |
| VC-00062227            | 2800                      | Building Maintenance Supplies        | 01.409.250 | 06/20/2025    | 47.45               |     |    |
| VC-00062230            | 2800                      | PW Supplies                          | 01.438.370 | 06/20/2025    | 2.52                |     |    |
| VC-00062229            | 2800                      | PW                                   | 01.438.230 | 06/20/2025    | 75.05               |     |    |
| 0000002274             | Elan Financial Services   |                                      |            | Vendor Total: | 1,003.74            |     |    |
| 0000004573             | Elan Financial Services   |                                      |            |               |                     |     |    |
| VC-00062268            | 5135                      | Special Event Supplies               | 01.451.501 | 06/20/2025    | 270.17              |     |    |
| VC-00062269            | 5135                      | PW Meeting Refreshments              | 01.451.460 | 06/20/2025    | 23.20               |     |    |
| VC-00062270            | 5135                      | Special Event Supplies               | 01.451.501 | 06/20/2025    | 134.23              | X   |    |
| 0000004573             | Elan Financial Services   |                                      |            | Vendor Total: | 427.60              |     |    |
| 0000004574             | Elan Financial Services   |                                      |            |               |                     |     |    |
| VC-00062212            | 7441                      | CC Rewards Balance Credit            | 01.491.391 | 06/20/2025    | -300.00             |     |    |
| VC-00062213            | 7441                      | Jim Purcell Memorial Award           | 01.400.420 | 06/20/2025    | 137.36              |     |    |
| VC-00062210            | 7441                      | Admin Professional Lunch             | 01.405.460 | 06/20/2025    | 174.62              |     |    |
| VC-00062211            | 7441                      | Lunch W/ Engineer, Asst. Mgr         | 01.401.460 | 06/20/2025    | 72.36               |     |    |
| 0000004574             | Elan Financial Services   |                                      |            | Vendor Total: | 84.34               |     |    |
| 0000004602             | Elan Financial Services   |                                      |            |               |                     |     |    |
| VC-00062224            | 8182                      | Pool Equipment Repairs               | 04.452.374 | 06/20/2025    | 31.46               |     |    |
| VC-00062223            | 8182                      | Pool Minor Equipment                 | 04.452.260 | 06/20/2025    | 145.10              |     |    |
| VC-00062222            | 8182                      | Pool Repairs                         | 04.452.250 | 06/20/2025    | 36.85               |     |    |
| VC-00062221            | 8182                      | Pool Advertising                     | 04.452.341 | 06/20/2025    | 90.03               |     |    |
| VC-00062226            | 8182                      | Park & Rec Program Costs             | 01.451.247 | 06/20/2025    | 20.00               |     |    |
| VC-00062225            | 8182                      | Pool Operating Supplies              | 04.452.247 | 06/20/2025    | 1,113.89            |     |    |
| 0000004602             | Elan Financial Services   |                                      |            | Vendor Total: | 1,437.33            |     |    |
| 0000004969             | Elan Financial Services   |                                      |            |               |                     |     |    |

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## BOROUGH OF PERKASIE

| VENDOR NO   | VENDOR NAME                 | INVOICE DESC.                             | ACCOUNT NO | DUE DATE      | VOUCHER AMOUNT PAID | EFT | DP |
|-------------|-----------------------------|-------------------------------------------|------------|---------------|---------------------|-----|----|
| TRANS. NO   | INVOICE NO                  |                                           |            |               |                     |     |    |
| VC-00062216 | 7648                        | Child Abuse Certification Codes New Hire  | 01.405.420 | 06/20/2025    | 65.00               |     |    |
| VC-00062217 | 7648                        | Newspaper E Sub                           | 01.405.342 | 06/20/2025    | 26.00               |     |    |
| VC-00062220 | 7648                        | Electric Computer Equipment               | 07.442.245 | 06/20/2025    | 303.98              |     |    |
| VC-00062219 | 7648                        | Boro Hall Coffee & Water                  | 01.405.210 | 06/20/2025    | 43.77               |     |    |
| VC-00062218 | 7648                        | ICode Fire Sub                            | 01.414.420 | 06/20/2025    | 8.50                |     |    |
| VC-00062215 | 7648                        | Public Works Week Lunch & Cake            | 01.438.480 | 06/20/2025    | 140.54              |     |    |
| 0000004969  | Elan Financial Services     |                                           |            | Vendor Total: | 587.79              |     |    |
| 0000000418  | Established Traffic Control |                                           |            |               |                     |     |    |
| VC-00062187 | 24465                       | Road Signs                                | 15.440.705 | 06/20/2025    | 575.75              |     |    |
| 0000000418  | Established Traffic Control |                                           |            | Vendor Total: | 575.75              |     |    |
| 0000004833  | FP Finance Program          |                                           |            |               |                     |     |    |
| VC-00062206 | 39433678                    | Postage Meter Lease                       | 01.405.450 | 06/20/2025    | 155.00              |     |    |
| 0000004833  | FP Finance Program          |                                           |            | Vendor Total: | 155.00              |     |    |
| 0000001996  | Gilmore & Associates, Inc.  |                                           |            |               |                     |     |    |
| VC-00062253 | PS-INV2506584               | 532 W. Callowhill Reimbursable            | 01.250.200 | 06/20/2025    | 162.00              |     |    |
| VC-00062245 | PS-INV2506576               | Perry Mill Reimbursable                   | 01.250.200 | 06/20/2025    | 243.00              |     |    |
| VC-00062239 | PS-INV2506570               | Kay Builders Constitution Square          | 01.250.200 | 06/20/2025    | 2,424.58            |     |    |
| VC-00062242 | PS-INV2506573               | WP Perkasio Conditional Use Reimbursab    | 01.250.200 | 06/20/2025    | 324.00              |     |    |
| VC-00062254 | PS-INV2506585               | 505 Constitution Reimbursable             | 01.250.200 | 06/20/2025    | 402.50              |     |    |
| VC-00062240 | PS-INV2506571               | Green Ridge Estates East Reimbursable     | 01.250.200 | 06/20/2025    | 2,111.55            |     |    |
| VC-00062241 | PS-INV2506572               | Pennridge Airport Reimbursable            | 01.250.200 | 06/20/2025    | 792.40              |     |    |
| VC-00062263 | PS-INV2506594               | General Planning thru 5/31/25             | 01.414.450 | 06/20/2025    | 585.79              |     |    |
| VC-00062260 | PS-INV2506591               | Grandview Ave Reimbursable                | 01.250.200 | 06/20/2025    | 1,661.00            |     |    |
| VC-00062243 | PS-INV2506574               | THP Cedar Ridge Reimbursable              | 01.250.200 | 06/20/2025    | 967.15              |     |    |
| VC-00062259 | PS-INV2506590               | Economic Development Plan Update          | 30.451.708 | 06/20/2025    | 6,643.00            |     |    |
| VC-00062244 | PS-INV2506575               | Zoning Services thru 5/31/25              | 01.414.451 | 06/20/2025    | 183.15              |     |    |
| VC-00062262 | PS-INV2506593               | General Engineering thru 5/31/25          | 01.408.310 | 06/20/2025    | 3,621.15            |     |    |
| VC-00062252 | PS-INV2506583               | 2024 Paving Project Engineering thru 5/31 | 15.408.310 | 06/20/2025    | 1,809.50            |     |    |
| VC-00062251 | PS-INV2506582               | Nyce Minor Reimbursable                   | 01.250.200 | 06/20/2025    | 151.90              |     |    |
| VC-00062250 | PS-INV2506581               | Kulp Park Engineering thru 5/31/25        | 01.408.310 | 06/20/2025    | 14,101.67           |     |    |
| VC-00062249 | PS-INV2506580               | W. Park Ave Improvements thru 5/31/25     | 30.451.702 | 06/20/2025    | 238.00              |     |    |
| VC-00062261 | PS-INV2506592               | Community Garden thru 5/31/25             | 30.451.707 | 06/20/2025    | 6,390.02            |     |    |
| VC-00062258 | PS-INV2506589               | 9 Fairview Ave Reimbursable               | 01.250.200 | 06/20/2025    | 1,570.00            |     |    |
| VC-00062257 | PS-INV2506588               | 2025 Bituminous Seal Coat Program thru    | 15.408.310 | 06/20/2025    | 3,370.40            |     |    |
| VC-00062248 | PS-INV2506579               | Covered Bridge thru 5/31/25               | 30.451.705 | 06/20/2025    | 514.00              |     |    |
| VC-00062256 | PS-INV2506587               | 2025 Paving Program thru 6/16/25          | 15.408.310 | 06/20/2025    | 6,706.50            |     |    |
| VC-00062255 | PS-INV2506586               | 1101 W. Park Ave Reimbursable             | 01.250.200 | 06/20/2025    | 304.65              |     |    |
| VC-00062247 | PS-INV2506578               | Green Ridge Estates West                  | 01.250.200 | 06/20/2025    | 324.00              |     |    |
| VC-00062246 | PS-INV2506577               | 306 N. 5th St Reimbursable                | 01.250.200 | 06/20/2025    | 1,473.50            |     |    |
| 0000001996  | Gilmore & Associates, Inc.  |                                           |            | Vendor Total: | 57,075.41           |     |    |
| 0000000259  | Grandview Service Centre    |                                           |            |               |                     |     |    |
| VC-00062181 | 418332                      | Unit#56-9 Tire Installation               | 01.410.451 | 06/20/2025    | 757.82              |     |    |
| VC-00062180 | 418371                      | Unit #56-10 Oil Change                    | 01.410.451 | 06/20/2025    | 268.70              |     |    |

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO            | INVOICE DESC.                             | ACCOUNT NO |               | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|--------------------------------------|-------------------------------------------|------------|---------------|------------|---------------------|-----|----|
| 0000000259             | Grandview Service Centre             |                                           |            | Vendor Total: | 1,026.52   |                     |     |    |
| 0000003273             | Hot Frog Print Media LLC             |                                           |            |               |            |                     |     |    |
| VC-00062182            | 20322                                | Newsletter Postage                        | 01.405.215 |               | 06/20/2025 | 624.55              |     |    |
| VC-00062182            | 20322                                | Newsletter Postage                        | 01.451.215 |               | 06/20/2025 | 624.55              |     |    |
| 0000003273             | Hot Frog Print Media LLC             |                                           |            | Vendor Total: | 1,249.10   |                     |     |    |
| 0000005649             | John McBride                         |                                           |            |               |            |                     |     |    |
| VC-00062183            | Refund                               | Refund Voided Permit Porch Repair         | 01.362.410 |               | 06/20/2025 | 100.00              |     |    |
| 0000005649             | John McBride                         |                                           |            | Vendor Total: | 100.00     |                     |     |    |
| 0000003410             | Johnson Controls Fire Protection LP  |                                           |            |               |            |                     |     |    |
| VC-00062207            | 24762680                             | Annual Fire Alarm/Sprinkler Contract 7/1- | 01.409.450 |               | 06/20/2025 | 4,303.00            |     |    |
| 0000003410             | Johnson Controls Fire Protection LP  |                                           |            | Vendor Total: | 4,303.00   |                     |     |    |
| 0000003940             | Kathleen Ebbert                      |                                           |            |               |            |                     |     |    |
| VC-00062184            | 57                                   | Pickleball Clinics 5/5-6/5/25             | 01.451.247 |               | 06/20/2025 | 1,411.20            |     |    |
| 0000003940             | Kathleen Ebbert                      |                                           |            | Vendor Total: | 1,411.20   |                     |     |    |
| 0000000016             | Lawson Products, Inc.                |                                           |            |               |            |                     |     |    |
| VC-00062266            | 9312560566                           | Electric Hardware & Parts                 | 07.442.253 |               | 06/20/2025 | 894.06              |     |    |
| 0000000016             | Lawson Products, Inc.                |                                           |            | Vendor Total: | 894.06     |                     |     |    |
| 0000003153             | Louisa M. Elle Gyandoh               |                                           |            |               |            |                     |     |    |
| VC-00062185            | 6/28/25                              | Farmers Market Performer 6/28/25          | 01.451.501 |               | 06/20/2025 | 80.00               |     |    |
| 0000003153             | Louisa M. Elle Gyandoh               |                                           |            | Vendor Total: | 80.00      |                     |     |    |
| 0000003688             | M & W Precast LLC                    |                                           |            |               |            |                     |     |    |
| VC-00062172            | Replace Chk#33691                    | Storm Sewer Grate                         | 01.438.371 |               | 06/20/2025 | 130.68              |     |    |
| 0000003688             | M & W Precast LLC                    |                                           |            | Vendor Total: | 130.68     |                     |     |    |
| 0000005298             | Matt's Heavy Duty Mobile Diagnostics |                                           |            |               |            |                     |     |    |
| VC-00062186            | 1015552                              | PW Refuse Tk                              | 05.427.250 |               | 06/20/2025 | 519.99              |     |    |
| 0000005298             | Matt's Heavy Duty Mobile Diagnostics |                                           |            | Vendor Total: | 519.99     |                     |     |    |
| 0000005644             | Michael Murphy                       |                                           |            |               |            |                     |     |    |
| VC-00062175            | 03220012.00                          | Electric Final Bill Deposit Refund        | 07.200.100 |               | 06/20/2025 | 45.88               |     |    |
| 0000005644             | Michael Murphy                       |                                           |            | Vendor Total: | 45.88      |                     |     |    |
| 0000004536             | PA Rural Electric Association        |                                           |            |               |            |                     |     |    |
| VC-00062267            | PSI119020                            | 2025 Safety Summit Kilgos & Landry        | 07.442.460 |               | 06/20/2025 | 2,000.00            |     |    |
| 0000004536             | PA Rural Electric Association        |                                           |            | Vendor Total: | 2,000.00   |                     |     |    |
| 0000005643             | Paymentus Corporation                |                                           |            |               |            |                     |     |    |
| VC-00062214            | INV-15-164165                        | May 2025 Transaction Fees                 | 05.427.367 |               | 06/20/2025 | 44.00               |     |    |
| 0000005643             | Paymentus Corporation                |                                           |            | Vendor Total: | 44.00      |                     |     |    |

Date: 06/16/2025

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Time: 3:34:34PM

## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO                  | VENDOR NAME<br>INVOICE NO                                                                                | INVOICE DESC.                      | ACCOUNT NO           | DUE DATE             | VOUCHER AMOUNT PAID EFT DP |
|-----------------------------------------|----------------------------------------------------------------------------------------------------------|------------------------------------|----------------------|----------------------|----------------------------|
| 0000002433<br>VC-00062192<br>0000002433 | Primo Brands<br>15F0438789372<br>Primo Brands                                                            | Police Water Delivery              | 01.410.450           | 06/20/2025<br>83.99  | 83.99                      |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000003376<br>VC-00062193<br>0000003376 | Robert E. Little, Inc.<br>05-1189887<br>Robert E. Little, Inc.                                           | PW Parts                           | 01.454.370           | 06/20/2025<br>27.08  | 27.08                      |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000005645<br>VC-00062176<br>0000005645 | Sarina Jackson<br>03560010.00<br>Sarina Jackson                                                          | Electric Final Bill Deposit Refund | 07.200.100           | 06/20/2025<br>4.60   | 4.60                       |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000005648<br>VC-00062174<br>0000005648 | Sean Savoca & Jael Shultz<br>14406001.00<br>Sean Savoca & Jael Shultz                                    | Electric Final Bill Deposit Refund | 07.200.100           | 06/20/2025<br>141.80 | 141.80                     |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000000130<br>VC-00062209<br>0000000130 | Southeastern Pennsylvania Transportation Auth<br>145796<br>Southeastern Pennsylvania Transportation Auth | 8th & Market Parking Lot Lease     | 01.445.380           | 06/20/2025<br>769.00 | 769.00                     |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000003938<br>VC-00062204<br>0000003938 | Turtle & Hughes, Inc<br>6724008-01<br>Turtle & Hughes, Inc                                               | Freight Charge                     | 07.442.253           | 06/20/2025<br>11.65  | 11.65                      |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000000732<br>VC-00062203<br>0000000732 | UniFirst Corporation<br>1290242052<br>UniFirst Corporation                                               | Electric Uniforms                  | 07.442.238           | 06/20/2025<br>214.15 | 214.15                     |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
| 0000001797<br>VC-00062201<br>0000001797 | United States Treasury<br>23-6002925<br>United States Treasury                                           | 2025 PCORI Filing Fee              | 01.401.196           | 06/20/2025<br>409.46 | 409.46                     |
|                                         |                                                                                                          |                                    | Vendor Total:        |                      |                            |
|                                         |                                                                                                          |                                    | Report Total:        | 84,837.91            |                            |
|                                         |                                                                                                          |                                    | Unpaid Report Total: | 84,837.91            |                            |
|                                         |                                                                                                          |                                    | Paid Report Total:   | 0.00                 |                            |

Date: 06/25/2025

## Check Register #28 – June 27, 2025

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Time: 10:06:55AM

## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO                  | VENDOR NAME<br>INVOICE NO                                                                         | INVOICE DESC.                            | ACCOUNT NO    | DUE DATE                | VOUCHER AMOUNT PAID EFT DP |
|-----------------------------------------|---------------------------------------------------------------------------------------------------|------------------------------------------|---------------|-------------------------|----------------------------|
| 0000001004<br>VC-00062325<br>0000001004 | Albert T. Grenfell<br>6/17-6/24/25<br>Albert T. Grenfell                                          | Basketball Ref 2 adult games             | 01.451.118    | 06/27/2025<br>100.00    | 100.00                     |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000003706<br>VC-00062332<br>0000003706 | American Heritage Federal Credit Union<br>Deposit<br>American Heritage Federal Credit Union       | Deposit to Primary Share                 | 30.402.390    | 06/27/2025<br>50.00     | 50.00                      |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000003227<br>VC-00062284<br>0000003227 | Axon Enterprise, Inc.<br>INUS349845<br>Axon Enterprise, Inc.                                      | Police Body Cameras                      | 30.410.702    | 06/27/2025<br>27,315.88 | 27,315.88                  |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000000481<br>VC-00062318<br>0000000481 | Bahpco, Inc.<br>259398<br>Bahpco, Inc.                                                            | Alarm/Access Code Programming            | 01.409.450    | 06/27/2025<br>40.00     | 40.00                      |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000000289<br>VC-00062285<br>0000000289 | Basement Graphics<br>6/15/25<br>Basement Graphics                                                 | Basketball Jerseys                       | 01.451.520    | 06/27/2025<br>1,827.00  | 1,827.00                   |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000004391<br>VC-00062316<br>0000004391 | BDS - Souderton Bearing & Drive Solutions<br>6748110<br>BDS - Souderton Bearing & Drive Solutions | Flange Cartridge                         | 01.454.370    | 06/27/2025<br>109.10    | 109.10                     |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000000394<br>VC-00062331<br>0000000394 | Bonnie Walck<br>6/17-6/24/25<br>Bonnie Walck                                                      | Basketball Ref 6 adult games             | 01.451.118    | 06/27/2025<br>300.00    | 300.00                     |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000004084<br>VC-00062307<br>0000004084 | Britton Industries<br>1288519-IN<br>Britton Industries                                            | Yard Waste 40 Yd Roll Off & Tipping Fees | 05.428.368    | 06/27/2025<br>767.68    | 767.68                     |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000005654<br>VC-00062280<br>0000005654 | Carol Dearden<br>06572014.00<br>Carol Dearden                                                     | Electric Final Bill Deposit Refund       | 07.200.100    | 06/27/2025<br>277.24    | 277.24                     |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000001278<br>VC-00062288<br>0000001278 | Cash<br>2025 Derby<br>Cash                                                                        | 2025 Lucky Duck Derby Cash for Change    | 01.451.247    | 06/27/2025<br>50.00     | 50.00                      |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000005642<br>VC-00062333<br>0000005642 | Celebration Fireworks, Inc.<br>6833<br>Celebration Fireworks, Inc.                                | Community Day Fireworks Display          | 01.451.501    | 06/27/2025<br>7,000.00  | 7,000.00                   |
|                                         |                                                                                                   |                                          | Vendor Total: |                         |                            |
| 0000000135<br>VC-00062287               | Clemens Uniform<br>1710066                                                                        | MAC Floor Mat Rentals                    | 04.452.450    | 06/27/2025              | 101.44                     |

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| VENDOR NO<br>TRANS. NO<br>VC-00062291<br>0000000135 | VENDOR NAME<br>INVOICE NO<br>1710061<br>Clemens Uniform | INVOICE DESC.<br>Boro Hall Mat Rental     | ACCOUNT NO<br>01.409.450 | DUE DATE<br>06/27/2025 | VOUCHER AMOUNT PAID<br>48.86 | EFT | DP |
|-----------------------------------------------------|---------------------------------------------------------|-------------------------------------------|--------------------------|------------------------|------------------------------|-----|----|
|                                                     |                                                         |                                           | Vendor Total:            | 150.30                 |                              |     |    |
| 0000000069                                          | Comcast                                                 |                                           |                          |                        |                              |     |    |
| VC-00062321                                         | 167496                                                  | Electric Voice/Wifi/Internet 6/19-7/18/25 | 07.442.450               | 06/27/2025             | 328.02                       | X   |    |
| VC-00062289                                         | 164824                                                  | MAC Internet & Voice 6/9-7/8/25           | 04.452.321               | 06/27/2025             | 208.42                       | X   |    |
| VC-00062290                                         | 243888313                                               | Ethernet 6/15-7/14/25                     | 07.442.450               | 06/27/2025             | 259.15                       | X   |    |
| VC-00062290                                         | 243888313                                               | Ethernet 6/15-7/14/25                     | 01.405.450               | 06/27/2025             | 259.15                       | X   |    |
| VC-00062290                                         | 243888313                                               | Ethernet 6/15-7/14/25                     | 01.438.480               | 06/27/2025             | 259.15                       | X   |    |
| VC-00062290                                         | 243888313                                               | Ethernet 6/15-7/14/25                     | 01.410.450               | 06/27/2025             | 259.16                       | X   |    |
| VC-00062286                                         | 40784                                                   | Police Cable 6/22-7/21/25                 | 01.410.321               | 06/27/2025             | 35.87                        | X   |    |
| 0000000069                                          | Comcast                                                 |                                           | Vendor Total:            | 1,608.92               |                              |     |    |
| 0000002726                                          | David Martin                                            |                                           |                          |                        |                              |     |    |
| VC-00062326                                         | 6/17-6/24/25                                            | Basketball Ref 2 adult games              | 01.451.118               | 06/27/2025             | 100.00                       |     |    |
| 0000002726                                          | David Martin                                            |                                           | Vendor Total:            | 100.00                 |                              |     |    |
| 0000000053                                          | Davidheiser's Inc.                                      |                                           |                          |                        |                              |     |    |
| VC-00062292                                         | 29920                                                   | Police Stop Watch Test & Cert x 6         | 01.410.260               | 06/27/2025             | 187.00                       |     |    |
| 0000000053                                          | Davidheiser's Inc.                                      |                                           | Vendor Total:            | 187.00                 |                              |     |    |
| 0000002414                                          | De Lage Landen Financial Services, Inc.                 |                                           |                          |                        |                              |     |    |
| VC-00062293                                         | 590523805                                               | Police Copier Contracts 6/1-6/30/25       | 01.410.252               | 06/27/2025             | 394.29                       |     |    |
| 0000002414                                          | De Lage Landen Financial Services, Inc.                 |                                           | Vendor Total:            | 394.29                 |                              |     |    |
| 0000002068                                          | DeAngelo Contracting Services                           |                                           |                          |                        |                              |     |    |
| VC-00062336                                         | INV-040209                                              | Vegetation Management                     | 01.454.450               | 06/27/2025             | 6,795.00                     |     |    |
| 0000002068                                          | DeAngelo Contracting Services                           |                                           | Vendor Total:            | 6,795.00               |                              |     |    |
| 0000003423                                          | Donald B. Thomas                                        |                                           |                          |                        |                              |     |    |
| VC-00062329                                         | 6/17-6/24/25                                            | Basketball Ref 6 adult games              | 01.451.118               | 06/27/2025             | 300.00                       |     |    |
| 0000003423                                          | Donald B. Thomas                                        |                                           | Vendor Total:            | 300.00                 |                              |     |    |
| 0000005651                                          | Eileen Turner                                           |                                           |                          |                        |                              |     |    |
| VC-00062283                                         | 03572005.00                                             | Electric Final Bill Deposit Refund        | 07.200.100               | 06/27/2025             | 289.35                       |     |    |
| 0000005651                                          | Eileen Turner                                           |                                           | Vendor Total:            | 289.35                 |                              |     |    |
| 0000000514                                          | ET&T                                                    |                                           |                          |                        |                              |     |    |
| VC-00062334                                         | 194702                                                  | Name Display Change                       | 01.405.450               | 06/27/2025             | 150.00                       |     |    |
| 0000000514                                          | ET&T                                                    |                                           | Vendor Total:            | 150.00                 |                              |     |    |
| 0000005657                                          | Frederick Woodworth                                     |                                           |                          |                        |                              |     |    |
| VC-00062294                                         | 14334001.00                                             | Electric Final Bill Overpayment Refund    | 07.200.100               | 06/27/2025             | 140.80                       |     |    |
| 0000005657                                          | Frederick Woodworth                                     |                                           | Vendor Total:            | 140.80                 |                              |     |    |
| 0000005659                                          | George J. Woods                                         |                                           |                          |                        |                              |     |    |

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| VENDOR NO<br>TRANS. NO<br>VC-00062319<br>0000005659                   | VENDOR NAME<br>INVOICE NO<br>7/9/25<br>George J. Woods                             | INVOICE DESC.<br>Summer Concert                                                                    | ACCOUNT NO<br>01.451.501               |               | DUE DATE<br>06/27/2025<br>500.00                   | VOUCHER AMOUNT PAID EFT DP<br>500.00 |
|-----------------------------------------------------------------------|------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|----------------------------------------|---------------|----------------------------------------------------|--------------------------------------|
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000004537<br>VC-00062299<br>0000004537                               | GPC Productions LLC<br>7/12/25<br>GPC Productions LLC                              | Farmers Market 7/12/25 Back Porch Jug                                                              | 01.451.501                             |               | 07/12/2025<br>80.00                                | 80.00                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000000259<br>VC-00062298<br>VC-00062297<br>VC-00062295<br>0000000259 | Grandview Service Centre<br>418391<br>418414<br>418430<br>Grandview Service Centre | Unit#56-3 Alternator<br>Unit#56-6 Oil Change<br>Unit#56-9 Oil Change & Repairs                     | 01.410.451<br>01.410.451<br>01.410.251 |               | 06/27/2025<br>06/27/2025<br>06/27/2025<br>1,485.87 | 1,062.96<br>79.73<br>343.18          |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000002247<br>VC-00062296<br>0000002247                               | GreatAmerica Financial Services<br>39401486<br>GreatAmerica Financial Services     | Police Back Up                                                                                     | 01.410.452                             |               | 06/27/2025<br>98.33                                | 98.33                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000000937<br>VC-00062310<br>VC-00062308<br>VC-00062309<br>0000000937 | J.P. Mascaro & Sons<br>53416<br>569236<br>53474<br>J.P. Mascaro & Sons             | Single Stream Recycling 6/3 & 6/5<br>Scheduled Service 6/12<br>Single Stream Recycling 6/10 & 6/12 | 05.426.367<br>05.426.367<br>05.426.367 |               | 06/27/2025<br>06/27/2025<br>06/27/2025<br>1,541.00 | 550.00<br>450.00<br>541.00           |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000004413<br>VC-00062330<br>0000004413                               | Jake Voloshin<br>6/17-6/24/25<br>Jake Voloshin                                     | Basketball Ref 4 adult games                                                                       | 01.451.118                             |               | 06/27/2025<br>200.00                               | 200.00                               |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000005487<br>VC-00062300<br>0000005487                               | Jeremy dePrisco<br>7/5/25<br>Jeremy dePrisco                                       | Farmers Market Performer Fricknadorable                                                            | 01.451.501                             |               | 06/27/2025<br>80.00                                | 80.00                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000005653<br>VC-00062281<br>0000005653                               | Jessica Balanda<br>04848002.00<br>Jessica Balanda                                  | Electric Final Bill Deposit Refund                                                                 | 07.200.100                             |               | 06/27/2025<br>63.90                                | 63.90                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000005429<br>VC-00062311<br>0000005429                               | JRF Tree LLC<br>1054<br>JRF Tree LLC                                               | Ball Field & Twin Bridges Tree Removal                                                             | 01.454.450                             |               | 06/27/2025<br>1,600.00                             | 1,600.00                             |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000005660<br>VC-00062320<br>0000005660                               | Kialynn Edsall<br>12872001.05<br>Kialynn Edsall                                    | Refuse Final Bill Overpayment Refund                                                               | 05.200.100                             |               | 06/27/2025<br>87.50                                | 87.50                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |
| 0000000043<br>VC-00062301<br>0000000043                               | Labelcraft Press, Inc.<br>25258<br>Labelcraft Press, Inc.                          | Lucky Ducky Derby Tix Printing                                                                     | 01.451.247                             |               | 06/27/2025<br>40.00                                | 40.00                                |
|                                                                       |                                                                                    |                                                                                                    |                                        | Vendor Total: |                                                    |                                      |



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| VENDOR NO<br>TRANS. NO                                 | VENDOR NAME<br>INVOICE NO                                                                               | INVOICE DESC.                                               | ACCOUNT NO               | DUE DATE                             | VOUCHER AMOUNT PAID EFT DP |
|--------------------------------------------------------|---------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------------------|--------------------------------------|----------------------------|
| 0000000016<br>VC-00062312<br>0000000016                | Lawson Products, Inc.<br>9312560567<br>Lawson Products, Inc.                                            | PW Materials & Supplies                                     | 01.438.220               | 06/27/2025<br>699.06                 | 699.06                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000005140<br>VC-00062324<br>0000005140                | Matthew Friend<br>6/17-6/24/25<br>Matthew Friend                                                        | Basketball Ref 4 adult games                                | 01.451.118               | 06/27/2025<br>200.00                 | 200.00                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000041<br>VC-00062302<br>0000000041                | McCormick Brothers<br>5D7826<br>McCormick Brothers                                                      | Police Uniform Cleaning                                     | 01.410.239               | 06/27/2025<br>282.69                 | 282.69                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000005652<br>VC-00062282<br>0000005652                | Monica Spero<br>03836008.00<br>Monica Spero                                                             | Electric Final Bill Deposit Refund                          | 07.200.100               | 06/27/2025<br>201.78                 | 201.78                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000026<br>VC-00062313<br>0000000026                | NAPA Auto Parts<br>531720<br>NAPA Auto Parts                                                            | PW Oil                                                      | 01.438.370               | 06/27/2025<br>162.72                 | 162.72                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000341<br>VC-00062315<br>0000000341                | NYCO Corporation<br>251850<br>NYCO Corporation                                                          | Refuse Parts                                                | 05.427.250               | 06/27/2025<br>58.50                  | 58.50                      |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000005655<br>VC-00062279<br>0000005655                | Paul Gunter<br>08160012.00<br>Paul Gunter                                                               | Electric Final Bill Deposit Refund                          | 07.200.100               | 06/27/2025<br>153.34                 | 153.34                     |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000448<br>VC-00062322<br>0000000448                | Pennsylvania Municipal Electric Association<br>2025 Dues<br>Pennsylvania Municipal Electric Association | 2025 Membershp Dues Replacement Che                         | 07.442.420               | 06/27/2025<br>21,895.00              | 21,895.00                  |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000005658<br>VC-00062303<br>0000005658                | Play-Well TEKnologies<br>DB26707<br>Play-Well TEKnologies                                               | STEM Lego Course 6/16-6/20/25                               | 01.451.247               | 06/27/2025<br>1,540.00               | 1,540.00                   |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000042<br>VC-00062306<br>VC-00062323<br>0000000042 | Postmaster<br>#116<br>#116 PI<br>Postmaster                                                             | Replenish Postage Permit<br>First Class Permit #116 Renewal | 07.442.215<br>07.442.215 | 06/27/2025<br>06/27/2025<br>2,150.00 | 1,800.00<br>350.00         |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |
| 0000000019<br>VC-00062305<br>0000000019                | Richter Drafting & Office Supply Co., Inc.<br>OE-4655-1<br>Richter Drafting & Office Supply Co., Inc.   | Admin Office Supplies                                       | 01.405.210               | 06/27/2025<br>97.57                  | 97.57                      |
|                                                        |                                                                                                         |                                                             | Vendor Total:            |                                      |                            |

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| VENDOR NO   | VENDOR NAME                    | INVOICE DESC.                             | ACCOUNT NO           | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|-------------|--------------------------------|-------------------------------------------|----------------------|------------|---------------------|-----|----|
| TRANS. NO   | INVOICE NO                     |                                           |                      |            |                     |     |    |
| 0000001841  | Roger Troy Perry               |                                           |                      |            |                     |     |    |
| VC-00062327 | 6/17-6/24/25                   | Basketball Ref 2 adult games              | 01.451.118           | 06/27/2025 | 100.00              |     |    |
| 0000001841  | Roger Troy Perry               |                                           |                      | 100.00     |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000004802  | Ronald L. Persia               |                                           |                      |            |                     |     |    |
| VC-00062328 | 6/17-6/24/25                   | Basketball Ref 4 adult games              | 01.451.118           | 06/27/2025 | 200.00              |     |    |
| 0000004802  | Ronald L. Persia               |                                           |                      | 200.00     |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000004126  | Stratix Systems, Inc.          |                                           |                      |            |                     |     |    |
| VC-00062304 | 686215                         | June Monthly IT                           | 01.410.452           | 06/27/2025 | 886.25              |     |    |
| 0000004126  | Stratix Systems, Inc.          |                                           |                      | 886.25     |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000005656  | Tyler Kotarski                 |                                           |                      |            |                     |     |    |
| VC-00062278 | 14443001.00                    | Electric Final Bill Deposit Refund        | 07.200.100           | 06/27/2025 | 239.01              |     |    |
| 0000005656  | Tyler Kotarski                 |                                           |                      | 239.01     |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000000002  | Waste Management               |                                           |                      |            |                     |     |    |
| VC-00062317 | 0015735-1062-3                 | Municipal Solid Waste Disposal 6/1-6/15/2 | 05.427.367           | 06/27/2025 | 10,018.59           |     |    |
| 0000000002  | Waste Management               |                                           |                      | 10,018.59  |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000000355  | Wehrung's Lumber & Home Center |                                           |                      |            |                     |     |    |
| VC-00062314 | 243327                         | Train Car Mural Treated Lumber            | 30.451.706           | 06/27/2025 | 26.25               |     |    |
| 0000000355  | Wehrung's Lumber & Home Center |                                           |                      | 26.25      |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
| 0000005537  | Wood Research and Development  |                                           |                      |            |                     |     |    |
| VC-00062335 | WRD25-595                      | Covered Bridge Inspection & Design        | 30.451.705           | 06/27/2025 | 32,656.75           |     |    |
| 0000005537  | Wood Research and Development  |                                           |                      | 32,656.75  |                     |     |    |
|             |                                |                                           | Vendor Total:        |            |                     |     |    |
|             |                                |                                           | Report Total:        |            | 125,296.67          |     |    |
|             |                                |                                           | Unpaid Report Total: |            | 125,296.67          |     |    |
|             |                                |                                           | Paid Report Total:   |            | 0.00                |     |    |

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| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO                | INVOICE DESC.                          | ACCOUNT NO | DUE DATE      | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|------------------------------------------|----------------------------------------|------------|---------------|---------------------|-----|----|
| 0000002467             | AMP Inc.                                 |                                        |            |               |                     |     |    |
| VC-00062272            | 1012013                                  | Power Purchases May 2025               | 07.442.362 | 06/30/2025    | 694.06              | X   |    |
| VC-00062272            | 1012013                                  | Power Purchases May 2025               | 07.442.361 | 06/30/2025    | 305,967.76          | X   |    |
| 0000002467             | AMP Inc.                                 |                                        |            | Vendor Total: | 306,661.82          |     |    |
| 0000004569             | Elan Financial Services                  |                                        |            |               |                     |     |    |
| VC-00062167            | 8550                                     | Electric Metering Supplies             | 07.442.374 | 06/05/2025    | 695.51              | X   |    |
| VC-00062168            | 8550                                     | Electric Hardware & Parts              | 07.442.253 | 06/05/2025    | 983.60              | X   |    |
| VC-00062169            | 8550                                     | Electric Supplies                      | 07.442.252 | 06/05/2025    | 20.77               | X   |    |
| VC-00062170            | 8550                                     | Electric Office Supplies               | 07.442.200 | 06/05/2025    | 126.98              | X   |    |
| 0000004569             | Elan Financial Services                  |                                        |            | Vendor Total: | 1,826.86            |     |    |
| 0000004572             | Elan Financial Services                  |                                        |            |               |                     |     |    |
| VC-00062126            | 7645                                     | Police Night Out Supplies              | 01.410.247 | 06/05/2025    | 847.50              | X   |    |
| VC-00062127            | 4572                                     | EZ Pass Replenishment Police           | 01.410.421 | 06/05/2025    | 70.00               | X   |    |
| VC-00062130            | 7645                                     | Police Training                        | 01.410.421 | 06/05/2025    | 87.20               | X   |    |
| VC-00062131            | 7645                                     | Police Office Supplies                 | 01.410.210 | 06/06/2025    | 164.86              | X   |    |
| VC-00062128            | 7645                                     | Police Training Registration           | 01.410.421 | 06/05/2025    | 1,200.00            | X   |    |
| VC-00062125            | 7645                                     | Police Office Supplies                 | 01.410.210 | 06/05/2025    | 28.42               | X   |    |
| VC-00062129            | 7645                                     | Police Monthly Adobe Subscription      | 01.410.452 | 06/05/2025    | 19.99               | X   |    |
| VC-00062124            | 7645                                     | Police Evidence Computer               | 01.410.243 | 06/05/2025    | 164.65              | X   |    |
| 0000004572             | Elan Financial Services                  |                                        |            | Vendor Total: | 2,582.62            |     |    |
| 0000000152             | Pennsylvania Municipal Retirement System |                                        |            |               |                     |     |    |
| VC-00062198            | 09-099-3N                                | May Non Uniform Employee Contribution  | 01.214.000 | 06/16/2025    | 8,759.23            |     |    |
| VC-00062197            | 09-099-3P                                | May 2025 Police Employee Contributions | 01.214.000 | 06/16/2025    | 13,114.48           |     |    |
| 0000000152             | Pennsylvania Municipal Retirement System |                                        |            | Vendor Total: | 21,873.71           |     |    |
| 0000005050             | WageWorks, Inc.                          |                                        |            |               |                     |     |    |
| VC-00062374            | INV7953101                               | Employee HRA & Flex Reimbursements     | 90.200.300 | 06/24/2025    | 65.17               | X   |    |
| VC-00062199            | INV7864702                               | HRA Admin Fee May 2025                 | 01.405.450 | 06/23/2025    | 192.00              | X   |    |
| VC-00062200            | INV7889975                               | Employee HRA & Flex Reimbursements     | 90.200.300 | 06/03/2025    | 588.19              | X   |    |
| VC-00062200            | INV7889975                               | Employee HRA & Flex Reimbursements     | 90.200.200 | 06/03/2025    | 1,315.19            | X   |    |
| VC-00062277            | INV7938162                               | Employee HRA Reimbursements            | 90.200.300 | 06/17/2025    | 243.97              | X   |    |
| VC-00062196            | INV7904666                               | Flex Minimum Monthly Fee               | 01.405.450 | 06/30/2025    | 75.00               | X   |    |
| 0000005050             | WageWorks, Inc.                          |                                        |            | Vendor Total: | 2,479.52            |     |    |
| 0000002468             | Wells Fargo                              |                                        |            |               |                     |     |    |
| VC-00062273            | 2006 DVRFA                               | 2006 DVRFA Loan Principal              | 30.471.000 | 06/25/2025    | 175,000.00          | X   |    |
| VC-00062274            | 2006 DVRFA                               | 2006 DVRFA Loan Interest               | 30.472.000 | 06/25/2025    | 374.25              | X   |    |
| VC-00062276            | 2007 DVRFA                               | 2007 DVRFA Loan Interest               | 30.472.000 | 06/25/2025    | 1,005.35            | X   |    |
| VC-00062275            | 2007 DVRFA                               | 2007 DVRFA Loan Principal              | 30.471.000 | 06/25/2025    | 228,000.00          | X   |    |
| 0000002468             | Wells Fargo                              |                                        |            | Vendor Total: | 404,379.60          |     |    |

Report Total: 739,804.13  
Unpaid Report Total: 739,804.13  
Paid Report Total: 0.00

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| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO         | INVOICE DESC.                            | ACCOUNT NO | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|-----------------------------------|------------------------------------------|------------|------------|---------------------|-----|----|
| 0000001221             | AFSCME Council 13                 |                                          |            |            |                     |     |    |
| VC-00062339            | June 2025                         | June Due Remittance                      | 01.218.000 | 07/11/2025 | 1,313.08            |     |    |
| 0000001221             | AFSCME Council 13                 |                                          |            | 1,313.08   |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000000832             | Altec Industries, Inc.            |                                          |            |            |                     |     |    |
| VC-00062337            | 51706851                          | Elec Tk#23 Repairs                       | 07.442.370 | 07/11/2025 | 3,442.71            |     |    |
| 0000000832             | Altec Industries, Inc.            |                                          |            | 3,442.71   |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000004430             | Analytical Laboratories, Inc.     |                                          |            |            |                     |     |    |
| VC-00062420            | 944425                            | Kulp Pool Testing June 2025              | 04.452.450 | 07/11/2025 | 120.00              |     |    |
| 0000004430             | Analytical Laboratories, Inc.     |                                          |            | 120.00     |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000005663             | Andrew Bily                       |                                          |            |            |                     |     |    |
| VC-00062415            | 7/16/25                           | Yesterday's Gone Summer Concert          | 01.451.501 | 07/11/2025 | 1,200.00            |     |    |
| 0000005663             | Andrew Bily                       |                                          |            | 1,200.00   |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000005198             | Auto Zone, Inc.                   |                                          |            |            |                     |     |    |
| VC-00062338            | 02071300577                       | Electric Auto Parts                      | 07.442.370 | 07/11/2025 | 10.55               |     |    |
| 0000005198             | Auto Zone, Inc.                   |                                          |            | 10.55      |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000000018             | B.R. Scholl Sales & Service, Inc. |                                          |            |            |                     |     |    |
| VC-00062371            | 118468                            | PW Truck Rear U Joint                    | 01.438.370 | 07/11/2025 | 304.98              |     |    |
| 0000000018             | B.R. Scholl Sales & Service, Inc. |                                          |            | 304.98     |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000000481             | Bahpco, Inc.                      |                                          |            |            |                     |     |    |
| VC-00062438            | 259244                            | Alarm Access Code Programming            | 01.409.450 | 07/11/2025 | 20.00               |     |    |
| 0000000481             | Bahpco, Inc.                      |                                          |            | 20.00      |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000001474             | Begley, Carlin & Mandio, LLP      |                                          |            |            |                     |     |    |
| VC-00062411            | 1977374049                        | WP Perkasio/Starbucks                    | 01.250.200 | 07/11/2025 | 1,022.99            |     |    |
| VC-00062410            | 1977374046                        | 9 Fairview Ave Reimbursable              | 01.250.200 | 07/11/2025 | 224.00              |     |    |
| VC-00062409            | 1977374047                        | General Legal through 6/30/25            | 01.404.310 | 07/11/2025 | 4,368.00            |     |    |
| VC-00062413            | 1977374043                        | Kay Builders Reimbursable                | 01.404.310 | 07/11/2025 | 1,022.00            |     |    |
| VC-00062414            | 1977374044                        | Nyce Reimbursable                        | 01.250.200 | 07/11/2025 | 80.00               |     |    |
| VC-00062412            | 1977374048                        | Green Ridge West Reimbursable            | 01.250.200 | 07/11/2025 | 48.00               |     |    |
| VC-00062413            | 1977374043                        | Kay Builders Reimbursable                | 01.250.200 | 07/11/2025 | 240.00              |     |    |
| 0000001474             | Begley, Carlin & Mandio, LLP      |                                          |            | 7,004.99   |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000004350             | Block Communications              |                                          |            |            |                     |     |    |
| VC-00062435            | 10002746                          | Police Radio & Light Repairs             | 01.410.451 | 07/11/2025 | 200.00              |     |    |
| VC-00062436            | 10002747                          | Police Light Repairs                     | 01.410.451 | 07/11/2025 | 160.58              |     |    |
| 0000004350             | Block Communications              |                                          |            | 360.58     |                     |     |    |
|                        |                                   | Vendor Total:                            |            |            |                     |     |    |
| 0000004084             | Britton Industries                |                                          |            |            |                     |     |    |
| VC-00062417            | 1297594-IN                        | Yard Waste 40 Yd Roll Off & Tipping Fees | 05.428.368 | 07/11/2025 | 641.84              |     |    |
| VC-00062432            | 1298817-IN                        | Yard Waste 40 Yd Roll Off                | 05.428.368 | 07/11/2025 | 135.00              |     |    |

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| VENDOR NO<br>TRANS. NO    | VENDOR NAME<br>INVOICE NO                            | INVOICE DESC.                           | ACCOUNT NO |               | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|---------------------------|------------------------------------------------------|-----------------------------------------|------------|---------------|------------|---------------------|-----|----|
| 0000004084                | Britton Industries                                   |                                         |            | Vendor Total: | 776.84     |                     |     |    |
| 0000005671<br>VC-00062423 | Catherine Kruger<br>04528011.00                      | Electric Final Bill Deposit Refund      | 07.200.100 |               | 07/11/2025 | 162.15              |     |    |
| 0000005671                | Catherine Kruger                                     |                                         |            | Vendor Total: | 162.15     |                     |     |    |
| 0000000135<br>VC-00062443 | Clemens Uniform<br>1712681                           | MAC Floor Mat Rentals                   | 04.452.450 |               | 07/11/2025 | 101.44              |     |    |
| VC-00062342               | 1711375                                              | PW Uniforms                             | 01.438.238 |               | 07/11/2025 | 200.86              |     |    |
| VC-00062387               | 1712676                                              | Boro Hall Floor Mat Rentals             | 01.409.450 |               | 07/11/2025 | 48.86               |     |    |
| VC-00062341               | 1710060                                              | PW Hardware & Parts                     | 01.438.238 |               | 07/11/2025 | 210.54              |     |    |
| VC-00062403               | 1712674                                              | PW Uniforms                             | 01.438.238 |               | 07/11/2025 | 200.86              |     |    |
| VC-00062359               | 1711374                                              | Police Floor Mat Rentals                | 01.410.373 |               | 07/11/2025 | 30.88               |     |    |
| 0000000135                | Clemens Uniform                                      |                                         |            | Vendor Total: | 793.44     |                     |     |    |
| 0000000069<br>VC-00062390 | Comcast<br>168403                                    | Amphitheater Wifi/Internet 6/28-7/27/25 | 01.451.450 |               | 07/11/2025 | 216.44              |     | X  |
| VC-00062373               | 41402                                                | Electric Cable 6/30-7/29/25             | 07.442.450 |               | 07/11/2025 | 88.00               |     | X  |
| VC-00062357               | 63083                                                | Police Voice/Internet/Wifi 6/20-7/19/25 | 01.410.321 |               | 07/11/2025 | 377.72              |     | X  |
| 0000000069                | Comcast                                              |                                         |            | Vendor Total: | 682.16     |                     |     |    |
| 0000005673<br>VC-00062425 | Connie Miller<br>14504001.00                         | Electric Final Bill Deposit Refund      | 07.200.100 |               | 07/11/2025 | 251.66              |     |    |
| 0000005673                | Connie Miller                                        |                                         |            | Vendor Total: | 251.66     |                     |     |    |
| 0000003621<br>VC-00062340 | Cooper Electric/Billows Electric<br>S058999351.001   | Electric Hardware & Parts               | 07.442.253 |               | 07/11/2025 | 275.84              |     |    |
| VC-00062363               | S059072278.001                                       | Building Maintenance                    | 01.409.370 |               | 07/11/2025 | 4.36                |     |    |
| 0000003621                | Cooper Electric/Billows Electric                     |                                         |            | Vendor Total: | 280.20     |                     |     |    |
| 0000002414<br>VC-00062439 | De Lage Landen Financial Services, Inc.<br>590740523 | Admin Copier Contracts 6/15-7/14/25     | 01.405.450 |               | 07/11/2025 | 608.56              |     |    |
| 0000002414                | De Lage Landen Financial Services, Inc.              |                                         |            | Vendor Total: | 608.56     |                     |     |    |
| 0000000325<br>VC-00062442 | Deep Run Aquatic Services, Inc.<br>250703-6          | MAC Chemicals                           | 04.452.222 |               | 07/11/2025 | 23,430.60           |     |    |
| VC-00062441               | 250703-24                                            | MAC Skimmer Baskets                     | 04.452.450 |               | 07/11/2025 | 85.81               |     |    |
| 0000000325                | Deep Run Aquatic Services, Inc.                      |                                         |            | Vendor Total: | 23,516.41  |                     |     |    |
| 0000000100<br>VC-00062343 | Delaware Valley Health Trust<br>29594                | July Medical/Rx/Dental Premiums         | 01.451.199 |               | 07/11/2025 | 197.96              |     |    |
| VC-00062343               | 29594                                                | July Medical/Rx/Dental Premiums         | 01.451.196 |               | 07/11/2025 | 3,364.10            |     |    |
| VC-00062343               | 29594                                                | July Medical/Rx/Dental Premiums         | 05.427.199 |               | 07/11/2025 | 500.58              |     |    |
| VC-00062343               | 29594                                                | July Medical/Rx/Dental Premiums         | 05.427.196 |               | 07/11/2025 | 8,181.60            |     |    |
| VC-00062343               | 29594                                                | July Medical/Rx/Dental Premiums         | 01.438.199 |               | 07/11/2025 | 889.96              |     |    |
| VC-00062343               | 29594                                                | July Medical/Rx/Dental Premiums         | 01.438.196 |               | 07/11/2025 | 14,545.08           |     |    |

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|-------------|------------------------------|-----------------------------------------|---------------|------------|----------------------------|
| TRANS. NO   | INVOICE NO                   |                                         |               |            |                            |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.414.199    | 07/11/2025 | 172.13                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.414.196    | 07/11/2025 | 3,099.67                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.410.199    | 07/11/2025 | 3,111.81                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.410.196    | 07/11/2025 | 64,658.97                  |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.405.199    | 07/11/2025 | 172.13                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.405.196    | 07/11/2025 | 2,430.71                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.402.199    | 07/11/2025 | 344.25                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.402.196    | 07/11/2025 | 2,430.71                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.401.199    | 07/11/2025 | 301.22                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.401.196    | 07/11/2025 | 4,020.75                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 04.452.196    | 07/11/2025 | 309.97                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 04.452.199    | 07/11/2025 | 189.33                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 07.442.196    | 07/11/2025 | 9,686.38                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 07.442.199    | 07/11/2025 | 812.28                     |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.222.000    | 07/11/2025 | 9,793.38                   |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 07.390.300    | 07/11/2025 | -571.15                    |
| VC-00062343 | 29594                        | July Medical/Rx/Dental Premiums         | 01.390.300    | 07/11/2025 | -5,140.35                  |
| 0000000100  | Delaware Valley Health Trust |                                         | Vendor Total: | 123,501.47 |                            |
| 0000000060  | DL. Beardsley LTD            |                                         |               |            |                            |
| VC-00062366 | e#1539                       | PW Rammer Repair                        | 01.438.370    | 07/11/2025 | 612.65                     |
| 0000000060  | DL. Beardsley LTD            |                                         | Vendor Total: | 612.65     |                            |
| 0000002185  | Ed's Service Center, LLC     |                                         |               |            |                            |
| VC-00062344 | 250514001                    | Electric Tk#24 Inspection               | 07.442.370    | 07/11/2025 | 539.67                     |
| 0000002185  | Ed's Service Center, LLC     |                                         | Vendor Total: | 539.67     |                            |
| 0000000553  | Gannett Pennsylvania LocaliQ |                                         |               |            |                            |
| VC-00062405 | 0007164090                   | Accounting & Permit Clerk Employment A  | 01.405.341    | 07/11/2025 | 110.88                     |
| 0000000553  | Gannett Pennsylvania LocaliQ |                                         | Vendor Total: | 110.88     |                            |
| 0000000259  | Grandview Service Centre     |                                         |               |            |                            |
| VC-00062437 | 418517                       | Unit#56-1 Police Brakes & Rotors        | 01.410.451    | 07/11/2025 | 657.86                     |
| VC-00062397 | 418516                       | Police 2024 Durango Inspection & Oil Ch | 01.410.451    | 07/11/2025 | 216.58                     |
| 0000000259  | Grandview Service Centre     |                                         | Vendor Total: | 874.44     |                            |
| 0000000205  | Grim, Biehn & Thatcher       |                                         |               |            |                            |
| VC-00062444 | 234371                       | ZHB #25-02 Starbucks                    | 01.414.314    | 07/11/2025 | 105.00                     |
| VC-00062445 | 234370                       | ZHB #22-14 St. Stephen's UCC            | 01.414.314    | 07/11/2025 | 52.50                      |
| 0000000205  | Grim, Biehn & Thatcher       |                                         | Vendor Total: | 157.50     |                            |
| 0000000156  | Groff Tractor & Equipment    |                                         |               |            |                            |
| VC-00062367 | SWO240426-1                  | John Deere Repairs                      | 01.438.370    | 07/11/2025 | 6,326.25                   |
| 0000000156  | Groff Tractor & Equipment    |                                         | Vendor Total: | 6,326.25   |                            |
| 0000002253  | Hartford Life - The Hartford |                                         |               |            |                            |
| VC-00062370 | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.405.198    | 07/11/2025 | 41.46                      |

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|------------------------|------------------------------|-----------------------------------------|------------|---------------|---------------------|-----|----|
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.451.198 | 07/11/2025    | 58.49               |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.227.000 | 07/11/2025    | 174.26              |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.438.198 | 07/11/2025    | 414.51              |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 04.452.198 | 07/11/2025    | 38.42               |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.414.198 | 07/11/2025    | 15.96               |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.402.198 | 07/11/2025    | 100.12              |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.401.198 | 07/11/2025    | 115.53              |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 01.410.198 | 07/11/2025    | 1,588.69            |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 05.427.198 | 07/11/2025    | 233.15              |     |    |
| VC-00062370            | 675018376484                 | July Life/AD&D/LTD/Sup Life             | 07.442.198 | 07/11/2025    | 400.29              |     |    |
| 0000002253             | Hartford Life - The Hartford |                                         |            | Vendor Total: | 3,180.88            |     |    |
| 0000005674             | Heather Wrubel               |                                         |            |               |                     |     |    |
| VC-00062422            | 15098004.00                  | Electric Final Bill Deposit Refund      | 07.200.100 | 07/11/2025    | 84.60               |     |    |
| 0000005674             | Heather Wrubel               |                                         |            | Vendor Total: | 84.60               |     |    |
| 0000000937             | J.P. Mascaro & Sons          |                                         |            |               |                     |     |    |
| VC-00062365            | 53529                        | Single Stream Recycling 6/17 & 6/19     | 05.426.367 | 07/11/2025    | 512.00              |     |    |
| VC-00062364            | 570565                       | Single Stream Recycling 6/3 & 6/11      | 05.426.367 | 07/11/2025    | 853.00              |     |    |
| 0000000937             | J.P. Mascaro & Sons          |                                         |            | Vendor Total: | 1,365.00            |     |    |
| 0000005661             | Jan Hutwelker                |                                         |            |               |                     |     |    |
| VC-00062345            | 10504001.05                  | Overpayment Refund Final Trash Bill     | 05.200.100 | 07/11/2025    | 87.50               |     |    |
| 0000005661             | Jan Hutwelker                |                                         |            | Vendor Total: | 87.50               |     |    |
| 0000000072             | Judith Patton, Tax Collector |                                         |            |               |                     |     |    |
| VC-00062388            | 33-005-037 2025              | 2025-2026 School Real Estate Tax Notice | 01.406.430 | 07/11/2025    | 2,548.50            |     |    |
| 0000000072             | Judith Patton, Tax Collector |                                         |            | Vendor Total: | 2,548.50            |     |    |
| 0000002527             | K J Door Services Inc        |                                         |            |               |                     |     |    |
| VC-00062346            | 23625                        | Park Doors Service Call                 | 01.454.370 | 07/11/2025    | 274.65              |     |    |
| 0000002527             | K J Door Services Inc        |                                         |            | Vendor Total: | 274.65              |     |    |
| 0000004167             | Land Mobile Corporation      |                                         |            |               |                     |     |    |
| VC-00062434            | 250725                       | Police 2 Way Radios 3rd Qtr 2025        | 01.410.326 | 07/11/2025    | 1,050.00            |     |    |
| 0000004167             | Land Mobile Corporation      |                                         |            | Vendor Total: | 1,050.00            |     |    |
| 0000000136             | Lapp's Landscape Products    |                                         |            |               |                     |     |    |
| VC-00062431            | 6993                         | Topsoil & Mulch                         | 01.454.246 | 07/11/2025    | 576.00              |     |    |
| 0000000136             | Lapp's Landscape Products    |                                         |            | Vendor Total: | 576.00              |     |    |
| 0000005662             | Lauren Bahry                 |                                         |            |               |                     |     |    |
| VC-00062347            | Reimburse                    | Reimburse IdentoGo Fee                  | 01.451.420 | 07/11/2025    | 24.95               |     |    |
| 0000005662             | Lauren Bahry                 |                                         |            | Vendor Total: | 24.95               |     |    |
| 0000000004             | M & S Oil Co.                |                                         |            |               |                     |     |    |



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|-------------|-----------------------------|----------------------------------------|---------------|------------|----------------------------|
| TRANS. NO   | INVOICE NO                  |                                        |               |            |                            |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 07.442.231    | 07/11/2025 | 665.78                     |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 01.454.362    | 07/11/2025 | 404.03                     |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 01.438.362    | 07/11/2025 | 1,081.30                   |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 01.405.231    | 07/11/2025 | -0.78                      |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 01.410.231    | 07/11/2025 | 2,690.48                   |
| VC-00062430 | 486778                      | PW 55G Drum Diesel Exhaust Fluid       | 05.427.231    | 07/11/2025 | 205.50                     |
| VC-00062418 | 72-1 June 2025              | June Gas & Diesel Usage                | 05.427.231    | 07/11/2025 | 1,644.61                   |
| 0000000004  | M & S Oil Co.               |                                        | Vendor Total: | 6,690.92   |                            |
| 0000003688  | M & W Precast LLC           |                                        |               |            |                            |
| VC-00062348 | 82405                       | 6" Concrete M Top w/ Steel Frame       | 01.438.370    | 07/11/2025 | 266.00                     |
| 0000003688  | M & W Precast LLC           |                                        | Vendor Total: | 266.00     |                            |
| 0000005666  | Marc Berger                 |                                        |               |            |                            |
| VC-00062416 | 7/23/25                     | Marc Berger & Ride Summmer Concert     | 01.451.501    | 07/11/2025 | 1,200.00                   |
| 0000005666  | Marc Berger                 |                                        | Vendor Total: | 1,200.00   |                            |
| 0000005021  | Matthew Duross              |                                        |               |            |                            |
| VC-00062440 | 915220 Refund               | Refund Jr Science Camp G. Duross Cance | 01.367.200    | 07/11/2025 | 205.00                     |
| 0000005021  | Matthew Duross              |                                        | Vendor Total: | 205.00     |                            |
| 0000000026  | NAPA Auto Parts             |                                        |               |            |                            |
| VC-00062402 | 532632                      | Refuse Crankcase Filter                | 05.427.250    | 07/11/2025 | 79.02                      |
| 0000000026  | NAPA Auto Parts             |                                        | Vendor Total: | 79.02      |                            |
| 0000000148  | Perkasie Fire Department    |                                        |               |            |                            |
| VC-00062406 | 2024 RE Tax Due             | 2024 Real Estate Tax Balance Due       | 14.411.652    | 07/11/2025 | 8,726.46                   |
| VC-00062407 | 2025 RE Tax                 | 2025 Real Estate Tax Due to 6/30/25    | 14.411.652    | 07/11/2025 | 134,221.17                 |
| 0000000148  | Perkasie Fire Department    |                                        | Vendor Total: | 142,947.63 |                            |
| 0000000070  | Perkasie Regional Authority |                                        |               |            |                            |
| VC-00062375 | 3425                        | 2nd St. Pool 3/24-6/24/25              | 04.452.366    | 07/11/2025 | 423.20                     |
| VC-00062381 | 1988                        | Police Water & Sewer 3/24-6/24/25      | 01.410.364    | 07/11/2025 | 182.10                     |
| VC-00062381 | 1988                        | Police Water & Sewer 3/24-6/24/25      | 01.410.366    | 07/11/2025 | 172.95                     |
| VC-00062380 | 1583                        | Boro Hall Water & Sewer 3/24-6/24/25   | 01.409.364    | 07/11/2025 | 1,015.50                   |
| VC-00062380 | 1583                        | Boro Hall Water & Sewer 3/24-6/24/25   | 01.409.366    | 07/11/2025 | 691.50                     |
| VC-00062386 | 3350                        | 6" Fire Hydrant Water                  | 01.411.366    | 07/11/2025 | 4,226.25                   |
| VC-00062376 | 3388                        | Menlo Bath House Water & Sewer 3/24-6/ | 04.452.366    | 07/11/2025 | 2,409.75                   |
| VC-00062378 | 3389                        | Menlo Pool Water & Sewer 3/24-6/24/25  | 04.452.364    | 07/11/2025 | 5,592.75                   |
| VC-00062378 | 3389                        | Menlo Pool Water & Sewer 3/24-6/24/25  | 04.452.366    | 07/11/2025 | 2,304.75                   |
| VC-00062382 | 1642                        | Menlo House Water & Sewer 3/24-6/24/25 | 01.409.364    | 07/11/2025 | 274.75                     |
| VC-00062382 | 1642                        | Menlo House Water & Sewer 3/24-6/24/25 | 01.409.366    | 07/11/2025 | 184.75                     |
| VC-00062379 | 4418                        | 200 W Walnut Bathrooms 3/24-6/24/25    | 01.454.366    | 07/11/2025 | 103.15                     |
| VC-00062379 | 4418                        | 200 W Walnut Bathrooms 3/24-6/24/25    | 01.454.364    | 07/11/2025 | 123.70                     |
| VC-00062385 | 3351                        | 4" Fire Hydrant Water                  | 01.411.366    | 07/11/2025 | 70.88                      |
| VC-00062383 | 1989                        | PW Water & Sewer 3/24-6/24/25          | 01.409.364    | 07/11/2025 | 200.40                     |
| VC-00062376 | 3388                        | Menlo Bath House Water & Sewer 3/24-6/ | 04.452.364    | 07/11/2025 | 3,987.75                   |

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## BOROUGH OF PERKASIE

| VENDOR NO   | VENDOR NAME                                | INVOICE DESC.                             | ACCOUNT NO | DUE DATE      | VOUCHER AMOUNT PAID | EFT | DP |
|-------------|--------------------------------------------|-------------------------------------------|------------|---------------|---------------------|-----|----|
| TRANS. NO   | INVOICE NO                                 |                                           |            |               |                     |     |    |
| VC-00062383 | 1989                                       | PW Water & Sewer 3/24-6/24/25             | 01.409.366 | 07/11/2025    | 182.30              |     |    |
| VC-00062384 | 3427                                       | 200 W Walnut Water & Sewer 3/24-6/24/2    | 01.454.366 | 07/11/2025    | 66.00               |     |    |
| VC-00062377 | 5320                                       | MAC Water 3/24-6/24/25                    | 04.452.366 | 07/11/2025    | 315.75              |     |    |
| VC-00062384 | 3427                                       | 200 W Walnut Water & Sewer 3/24-6/24/2    | 01.454.364 | 07/11/2025    | 51.00               |     |    |
| 0000000070  | Perkasie Regional Authority                |                                           |            | Vendor Total: | 22,579.18           |     |    |
| 0000005658  | Play-Well TEKnologies                      |                                           |            |               |                     |     |    |
| VC-00062362 | DB26784                                    | Minecraft Lego Camp 6/23-6/27             | 01.451.247 | 07/11/2025    | 2,940.00            |     |    |
| 0000005658  | Play-Well TEKnologies                      |                                           |            | Vendor Total: | 2,940.00            |     |    |
| 0000003250  | Police Accreditation Consultants LLC       |                                           |            |               |                     |     |    |
| VC-00062396 | PBPD-25-006                                | Police Accreditation Consultant June 2025 | 01.410.249 | 07/11/2025    | 640.00              |     |    |
| 0000003250  | Police Accreditation Consultants LLC       |                                           |            | Vendor Total: | 640.00              |     |    |
| 0000003126  | Premier Technology Solutions, LLC          |                                           |            |               |                     |     |    |
| VC-00062389 | 11596                                      | June Managed IT Services                  | 01.405.452 | 07/11/2025    | 2,020.91            |     |    |
| 0000003126  | Premier Technology Solutions, LLC          |                                           |            | Vendor Total: | 2,020.91            |     |    |
| 0000000019  | Richter Drafting & Office Supply Co., Inc. |                                           |            |               |                     |     |    |
| VC-00062349 | IN-5636                                    | Electrical Drawings                       | 07.442.200 | 07/11/2025    | 275.00              |     |    |
| VC-00062368 | WO-8774-1                                  | Admin Office Supplies                     | 01.405.210 | 07/11/2025    | 111.23              |     |    |
| VC-00062394 | OE-4770-1                                  | Police Office Supplies                    | 01.410.210 | 07/11/2025    | 74.99               |     |    |
| VC-00062393 | WO-8441-1                                  | Police Office Supplies                    | 01.410.210 | 07/11/2025    | 79.58               |     |    |
| 0000000019  | Richter Drafting & Office Supply Co., Inc. |                                           |            | Vendor Total: | 540.80              |     |    |
| 0000004177  | Robert Schurr                              |                                           |            |               |                     |     |    |
| VC-00062360 | Reimburse                                  | Reimb Water Community Day & Parking       | 01.410.480 | 07/11/2025    | 20.00               |     |    |
| VC-00062360 | Reimburse                                  | Reimb Water Community Day & Parking       | 01.410.242 | 07/11/2025    | 11.99               |     |    |
| 0000004177  | Robert Schurr                              |                                           |            | Vendor Total: | 31.99               |     |    |
| 0000005109  | Rockhill Car Wash, LLC                     |                                           |            |               |                     |     |    |
| VC-00062392 | 307                                        | Police June Car Washes x 3                | 01.410.451 | 07/11/2025    | 21.00               |     |    |
| 0000005109  | Rockhill Car Wash, LLC                     |                                           |            | Vendor Total: | 21.00               |     |    |
| 0000005667  | Ryan & Brooke Smith                        |                                           |            |               |                     |     |    |
| VC-00062426 | 02929003.00                                | Electric Final Bill Deposit Refund        | 07.200.100 | 07/11/2025    | 58.71               |     |    |
| 0000005667  | Ryan & Brooke Smith                        |                                           |            | Vendor Total: | 58.71               |     |    |
| 0000005668  | Samuel Akech                               |                                           |            |               |                     |     |    |
| VC-00062427 | 03340011.00                                | Electric Final Bill Deposit Refund        | 07.200.100 | 07/11/2025    | 186.25              |     |    |
| 0000005668  | Samuel Akech                               |                                           |            | Vendor Total: | 186.25              |     |    |
| 0000004296  | Samuel Colin Wolf                          |                                           |            |               |                     |     |    |
| VC-00062350 | 7/19/75                                    | Farmers Market Performer                  | 01.451.501 | 07/11/2025    | 80.00               |     |    |
| 0000004296  | Samuel Colin Wolf                          |                                           |            | Vendor Total: | 80.00               |     |    |

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO   | INVOICE DESC.                          | ACCOUNT NO | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|-----------------------------|----------------------------------------|------------|------------|---------------------|-----|----|
| 0000005675             | Sean Jeffries               |                                        |            |            |                     |     |    |
| VC-00062433            | Reimb                       | Reimbursement Bike Helmet & Shorts     | 01.410.240 | 07/11/2025 | 41.10               |     |    |
| 0000005675             | Sean Jeffries               |                                        |            | 41.10      |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000000132             | Sellersville Borough        |                                        |            |            |                     |     |    |
| VC-00062395            | 2024 Overpayment            | Refund 2024 Police Revenue vs. Expense | 01.491.000 | 07/11/2025 | 9,016.00            |     |    |
| 0000000132             | Sellersville Borough        |                                        |            | 9,016.00   |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000004082             | Staples                     |                                        |            |            |                     |     |    |
| VC-00062399            | 6035801858                  | PW Janitorial Supplies                 | 01.438.230 | 07/11/2025 | 208.33              |     |    |
| VC-00062391            | 6035801857                  | Janitorial Supplies                    | 01.438.230 | 07/11/2025 | 456.44              |     |    |
| VC-00062398            | 6035801856                  | PW Janitorial Supplies                 | 01.438.230 | 07/11/2025 | 177.58              |     |    |
| 0000004082             | Staples                     |                                        |            | 842.35     |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000004126             | Stratix Systems, Inc.       |                                        |            |            |                     |     |    |
| VC-00062361            | 0137187-IN                  | Police Network Hardware                | 30.410.703 | 07/11/2025 | 4,771.00            |     |    |
| 0000004126             | Stratix Systems, Inc.       |                                        |            | 4,771.00   |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000005538             | Sunshine Home Builders      |                                        |            |            |                     |     |    |
| VC-00062421            | 12477000.00                 | Electric Final Bill Deposit Refund     | 07.200.100 | 07/11/2025 | 23.33               |     |    |
| 0000005538             | Sunshine Home Builders      |                                        |            | 23.33      |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000002755             | Toter, LLC                  |                                        |            |            |                     |     |    |
| VC-00062408            | 20INV000761268              | 300 64 Gallon Toters                   | 30.440.701 | 07/11/2025 | 18,955.00           |     |    |
| 0000002755             | Toter, LLC                  |                                        |            | 18,955.00  |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000000101             | Tri-State Elevator Co. Inc. |                                        |            |            |                     |     |    |
| VC-00062404            | 154172                      | Monthly Elevator Maintenance June 2025 | 01.409.374 | 07/11/2025 | 146.97              |     |    |
| 0000000101             | Tri-State Elevator Co. Inc. |                                        |            | 146.97     |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000002100             | Trumbauers Lawn & Garden    |                                        |            |            |                     |     |    |
| VC-00062400            | 592490                      | Park Supplies                          | 01.454.370 | 07/11/2025 | 67.98               |     |    |
| VC-00062401            | 592488                      | Belt Cutter Deck                       | 01.454.370 | 07/11/2025 | 64.51               |     |    |
| 0000002100             | Trumbauers Lawn & Garden    |                                        |            | 132.49     |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000003938             | Turtle & Hughes, Inc        |                                        |            |            |                     |     |    |
| VC-00062351            | 6725638-00                  | Street Light Arms                      | 07.442.253 | 07/11/2025 | 3,996.00            |     |    |
| 0000003938             | Turtle & Hughes, Inc        |                                        |            | 3,996.00   |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000000732             | UniFirst Corporation        |                                        |            |            |                     |     |    |
| VC-00062352            | 1290244512                  | Electric Uniforms                      | 07.442.238 | 07/11/2025 | 210.54              |     |    |
| VC-00062353            | 1290243296                  | Electric Uniforms                      | 07.442.238 | 07/11/2025 | 207.62              |     |    |
| 0000000732             | UniFirst Corporation        |                                        |            | 418.16     |                     |     |    |
|                        |                             | Vendor Total:                          |            |            |                     |     |    |
| 0000000480             | US Sports Institute, Inc.   |                                        |            |            |                     |     |    |
| VC-00062419            | R6987                       | Multi Sports Camps                     | 01.451.247 | 07/11/2025 | 4,868.00            |     |    |

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO | INVOICE DESC.                             | ACCOUNT NO |               | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|---------------------------|-------------------------------------------|------------|---------------|------------|---------------------|-----|----|
| 0000000480             | US Sports Institute, Inc. |                                           |            | Vendor Total: | 4,868.00   |                     |     |    |
| 0000000154             | Verizon Wireless          |                                           |            |               |            |                     |     |    |
| VC-00062354            | 6116007653                | Cell Phones 6/15-7/14/25                  | 01.410.324 |               | 07/11/2025 | 295.43              |     |    |
| VC-00062354            | 6116007653                | Cell Phones 6/15-7/14/25                  | 01.451.324 |               | 07/11/2025 | 127.71              |     |    |
| VC-00062354            | 6116007653                | Cell Phones 6/15-7/14/25                  | 01.438.324 |               | 07/11/2025 | 85.14               |     |    |
| VC-00062354            | 6116007653                | Cell Phones 6/15-7/14/25                  | 07.442.324 |               | 07/11/2025 | 85.14               |     |    |
| 0000000154             | Verizon Wireless          |                                           |            | Vendor Total: | 593.42     |                     |     |    |
| 0000000662             | Verizon Wireless          |                                           |            |               |            |                     |     |    |
| VC-00062372            | 6116240019                | Electric Meter Lines 5/18-6/17/25         | 07.442.321 |               | 07/11/2025 | 88.48               |     |    |
| 0000000662             | Verizon Wireless          |                                           |            | Vendor Total: | 88.48      |                     |     |    |
| 0000001181             | Verizon Wireless          |                                           |            |               |            |                     |     |    |
| VC-00062355            | 6116007652                | Police Mobile Data Terminals 6/15-7/14/25 | 01.410.325 |               | 07/11/2025 | 525.25              |     |    |
| VC-00062356            | 6116007652                | Electric AMI Meters 6/15-7/14/25          | 07.442.321 |               | 07/11/2025 | 120.03              |     |    |
| 0000001181             | Verizon Wireless          |                                           |            | Vendor Total: | 645.28     |                     |     |    |
| 0000000087             | Verizon                   |                                           |            |               |            |                     |     |    |
| VC-00062358            | 156951933000198           | Police Centrex Lines 6/17-7/16/25         | 01.410.321 |               | 07/11/2025 | 44.07               |     |    |
| 0000000087             | Verizon                   |                                           |            | Vendor Total: | 44.07      |                     |     |    |
| 0000005669             | William Bucelli           |                                           |            |               |            |                     |     |    |
| VC-00062428            | 03488008.00               | Electric Final Bill Deposit Refund        | 07.200.100 |               | 07/11/2025 | 259.28              |     |    |
| 0000005669             | William Bucelli           |                                           |            | Vendor Total: | 259.28     |                     |     |    |
| 0000005513             | William Sturtevant        |                                           |            |               |            |                     |     |    |
| VC-00062369            | 2025 Boot/Clothing        | 2025 Boot/Clothing Reimbursement          | 01.438.238 |               | 07/11/2025 | 38.09               |     |    |
| 0000005513             | William Sturtevant        |                                           |            | Vendor Total: | 38.09      |                     |     |    |
| 0000005670             | Yelena Quigley            |                                           |            |               |            |                     |     |    |
| VC-00062429            | 03832007.00               | Electric Final Bill Deposit Refund        | 07.200.100 |               | 07/11/2025 | 121.85              |     |    |
| 0000005670             | Yelena Quigley            |                                           |            | Vendor Total: | 121.85     |                     |     |    |
| 0000005672             | Zoe Tierno                |                                           |            |               |            |                     |     |    |
| VC-00062424            | 14444001.00               | Electric Final Bill Deposit Refund        | 07.200.100 |               | 07/11/2025 | 196.89              |     |    |
| 0000005672             | Zoe Tierno                |                                           |            | Vendor Total: | 196.89     |                     |     |    |
| Report Total:          |                           |                                           |            | 407,848.42    |            |                     |     |    |
| Unpaid Report Total:   |                           |                                           |            | 407,848.42    |            |                     |     |    |
| Paid Report Total:     |                           |                                           |            | 0.00          |            |                     |     |    |

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO           | INVOICE DESC.                            | ACCOUNT NO | DUE DATE   | VOUCHER AMOUNT PAID | EFT | DP |
|------------------------|-------------------------------------|------------------------------------------|------------|------------|---------------------|-----|----|
| 0000000055             | Allegheny Electric Cooperative Inc. |                                          |            |            |                     |     |    |
| VC-00062447            | PER100 June 2025                    | June Monthly Electric Sales              | 07.442.361 | 07/18/2025 | 6,967.68            |     |    |
| 0000000055             | Allegheny Electric Cooperative Inc. |                                          |            | 6,967.68   |                     |     |    |
| 0000004430             | Analytical Laboratories, Inc.       |                                          |            |            |                     |     |    |
| VC-00062494            | 1026725                             | MAC Pool Testing                         | 04.452.450 | 07/18/2025 | 800.00              |     |    |
| 0000004430             | Analytical Laboratories, Inc.       |                                          |            | 800.00     |                     |     |    |
| 0000000166             | Armour & Sons Electric, Inc.        |                                          |            |            |                     |     |    |
| VC-00062446            | 910044998                           | Park & Ridge Signal Repairs 6/4/25       | 01.433.253 | 07/18/2025 | 270.00              |     |    |
| 0000000166             | Armour & Sons Electric, Inc.        |                                          |            | 270.00     |                     |     |    |
| 0000000893             | Asphalt Maintenance Solutions, LLC  |                                          |            |            |                     |     |    |
| VC-00062517            | CN 2025-01                          | 2025 Ultra Thin Bonded Wearing Course P  | 15.440.705 | 07/18/2025 | 22,435.00           |     |    |
| VC-00062518            | CN 2025-01                          | Ultra Thin Bonded Wearing Pymt#1-Final   | 30.439.000 | 07/18/2025 | 185,951.78          |     |    |
| 0000000893             | Asphalt Maintenance Solutions, LLC  |                                          |            | 208,386.78 |                     |     |    |
| 0000000018             | B.R. Scholl Sales & Service, Inc.   |                                          |            |            |                     |     |    |
| VC-00062489            | 118517                              | PW Tk#18 Inspection & Brake              | 01.438.370 | 07/18/2025 | 317.11              |     |    |
| 0000000018             | B.R. Scholl Sales & Service, Inc.   |                                          |            | 317.11     |                     |     |    |
| 0000000481             | Bahpco, Inc.                        |                                          |            |            |                     |     |    |
| VC-00062449            | 258110                              | Police Bldg Annual Fire Alarm Monitoring | 01.410.252 | 08/01/2025 | 420.00              |     |    |
| VC-00062450            | 259084                              | Police Annual Fire Alarm Inspection      | 01.410.252 | 07/18/2025 | 285.00              |     |    |
| 0000000481             | Bahpco, Inc.                        |                                          |            | 705.00     |                     |     |    |
| 0000000394             | Bonnie Walck                        |                                          |            |            |                     |     |    |
| VC-00062486            | 7/7-7/11/25                         | Summer Basketball Referee 3 games        | 01.451.118 | 07/18/2025 | 150.00              |     |    |
| 0000000394             | Bonnie Walck                        |                                          |            | 150.00     |                     |     |    |
| 0000005681             | Brendan Booth                       |                                          |            |            |                     |     |    |
| VC-00062501            | 04560010.00                         | Electric Final Bill Deposit Refund       | 07.200.100 | 07/18/2025 | 152.35              |     |    |
| 0000005681             | Brendan Booth                       |                                          |            | 152.35     |                     |     |    |
| 0000004084             | Britton Industries                  |                                          |            |            |                     |     |    |
| VC-00062448            | 1299551-IN                          | Yard Waste 40 Yd Roll Off                | 05.428.368 | 07/18/2025 | 641.84              |     |    |
| VC-00062507            | 1302325-IN                          | Yard Waste 40 Yd Roll Off & Tipping Fee  | 05.428.368 | 07/18/2025 | 783.61              |     |    |
| 0000004084             | Britton Industries                  |                                          |            | 1,425.45   |                     |     |    |
| 0000000135             | Clemens Uniform                     |                                          |            |            |                     |     |    |
| VC-00062451            | 1713939                             | PW Uniforms                              | 01.438.238 | 07/18/2025 | 203.50              |     |    |
| 0000000135             | Clemens Uniform                     |                                          |            | 203.50     |                     |     |    |
| 0000000069             | Comcast                             |                                          |            |            |                     |     |    |
| VC-00062491            | 53456                               | PW Voice/Phone/Wifi 7/7-8/6/25           | 01.438.480 | 07/18/2025 | 230.68              |     | X  |
| 0000000069             | Comcast                             |                                          |            | 230.68     |                     |     |    |

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## BOROUGH OF PERKASIE

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|------------------------|--------------------------------------------|-----------------------------------------|---------------|------------|----------------------------|
| 0000000971             | Commonwealth of Pennsylvania               |                                         |               |            |                            |
| VC-00062499            | 1421570                                    | Annual MS4 General Permit Fee           | 01.408.313    | 07/18/2025 | 500.00                     |
| 0000000971             | Commonwealth of Pennsylvania               |                                         |               | 500.00     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000002726             | David Martin                               |                                         |               |            |                            |
| VC-00062483            | 7/7-7/11/25                                | Summer Basketball Referee 2 games       | 01.451.118    | 07/18/2025 | 100.00                     |
| 0000002726             | David Martin                               |                                         |               | 100.00     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000002414             | De Lage Landen Financial Services, Inc.    |                                         |               |            |                            |
| VC-00062506            | 591059626                                  | Police Copier Contract 7/1-7/31/25      | 01.410.252    | 07/18/2025 | 164.35                     |
| 0000002414             | De Lage Landen Financial Services, Inc.    |                                         |               | 164.35     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000000325             | Deep Run Aquatic Services, Inc.            |                                         |               |            |                            |
| VC-00062487            | 250709-33                                  | Leisure Pool Pump Motor Repair          | 04.452.374    | 07/18/2025 | 878.57                     |
| VC-00062488            | 250709-38                                  | Remove & Replaster Fountain Leisure Poo | 04.452.374    | 07/18/2025 | 1,250.00                   |
| 0000000325             | Deep Run Aquatic Services, Inc.            |                                         |               | 2,128.57   |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000003299             | Delaware Valley Property & Liability Trust |                                         |               |            |                            |
| VC-00062452            | PREM25-PERK3                               | 3rd Qtr Property & Liability Premiums   | 07.442.352    | 07/18/2025 | 9,199.09                   |
| VC-00062452            | PREM25-PERK3                               | 3rd Qtr Property & Liability Premiums   | 01.486.351    | 07/18/2025 | 16,461.53                  |
| VC-00062452            | PREM25-PERK3                               | 3rd Qtr Property & Liability Premiums   | 01.410.350    | 07/18/2025 | 22,755.63                  |
| 0000003299             | Delaware Valley Property & Liability Trust |                                         |               | 48,416.25  |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000001712             | Delaware Valley WC Trust                   |                                         |               |            |                            |
| VC-00062453            | WCPREM25-PERK3                             | 3rd Qtr Workers Comp Premiums           | 01.486.354    | 07/18/2025 | 13,899.97                  |
| VC-00062453            | WCPREM25-PERK3                             | 3rd Qtr Workers Comp Premiums           | 07.442.354    | 07/18/2025 | 19,214.66                  |
| VC-00062453            | WCPREM25-PERK3                             | 3rd Qtr Workers Comp Premiums           | 01.410.195    | 07/18/2025 | 7,767.62                   |
| 0000001712             | Delaware Valley WC Trust                   |                                         |               | 40,882.25  |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000003423             | Donald B. Thomas                           |                                         |               |            |                            |
| VC-00062484            | 7/7-7/11/25                                | Summer Basketball Referee 3 games       | 01.451.118    | 07/18/2025 | 150.00                     |
| 0000003423             | Donald B. Thomas                           |                                         |               | 150.00     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000005679             | Elijah Berry                               |                                         |               |            |                            |
| VC-00062503            | 07354009.00                                | Electric Final Bill Deposit Refund      | 07.200.100    | 07/18/2025 | 148.57                     |
| 0000005679             | Elijah Berry                               |                                         |               | 148.57     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000000514             | ET&T                                       |                                         |               |            |                            |
| VC-00062454            | 195106                                     | Voicemail Service Call                  | 01.405.450    | 07/18/2025 | 350.00                     |
| 0000000514             | ET&T                                       |                                         |               | 350.00     |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |
| 0000001232             | GDS Associates, Inc.                       |                                         |               |            |                            |
| VC-00062456            | 0240684                                    | Power Supply Planning 4/26-5/30/25      | 07.442.450    | 07/18/2025 | 3,620.43                   |
| VC-00062455            | 0240683                                    | Consulting 4/26-5/30/25                 | 07.442.450    | 07/18/2025 | 2,405.00                   |
| 0000001232             | GDS Associates, Inc.                       |                                         |               | 6,025.43   |                            |
|                        |                                            |                                         | Vendor Total: |            |                            |

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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO       | INVOICE DESC.                           | ACCOUNT NO | DUE DATE      | VOUCHER AMOUNT PAID EFT DP |
|------------------------|---------------------------------|-----------------------------------------|------------|---------------|----------------------------|
| 0000000198             | Grand View Hospital             |                                         |            |               |                            |
| VC-00062513            | 52                              | New Hire Physical/Drug Screen Events As | 01.451.450 | 07/18/2025    | 142.00                     |
| VC-00062514            | 52                              | PW PT Help New Hire Physical/Drug Scre  | 01.438.480 | 07/18/2025    | 142.00                     |
| 0000000198             | Grand View Hospital             |                                         |            | Vendor Total: | 284.00                     |
| 0000000259             | Grandview Service Centre        |                                         |            |               |                            |
| VC-00062457            | 418537                          | Unit#56-8 A/C Repair                    | 01.410.451 | 07/18/2025    | 1,319.06                   |
| 0000000259             | Grandview Service Centre        |                                         |            | Vendor Total: | 1,319.06                   |
| 0000002247             | GreatAmerica Financial Services |                                         |            |               |                            |
| VC-00062512            | 39619075                        | Police Datto IT Backup Appliance        | 01.410.452 | 07/18/2025    | 98.33                      |
| 0000002247             | GreatAmerica Financial Services |                                         |            | Vendor Total: | 98.33                      |
| 0000000156             | Groff Tractor & Equipment       |                                         |            |               |                            |
| VC-00062510            | PSO592468-1                     | PW Air Filters                          | 01.438.370 | 07/18/2025    | 41.66                      |
| 0000000156             | Groff Tractor & Equipment       |                                         |            | Vendor Total: | 41.66                      |
| 0000002517             | H&K Materials                   |                                         |            |               |                            |
| VC-00062508            | 78225                           | 1.43 Ton Green Patch                    | 01.438.245 | 07/18/2025    | 214.50                     |
| 0000002517             | H&K Materials                   |                                         |            | Vendor Total: | 214.50                     |
| 0000000499             | Indian Valley Appraisal Company |                                         |            |               |                            |
| VC-00062460            | 2025-319                        | Community Garden Appraisal Fee          | 30.451.707 | 07/18/2025    | 300.00                     |
| 0000000499             | Indian Valley Appraisal Company |                                         |            | Vendor Total: | 300.00                     |
| 0000000937             | J.P. Mascaro & Sons             |                                         |            |               |                            |
| VC-00062459            | 53585                           | Single Stream Recycling 6/24 & 6/26     | 05.426.367 | 07/18/2025    | 524.00                     |
| VC-00062490            | 570783                          | Single Stream Recycling 6/24 & 6/26     | 05.426.367 | 07/18/2025    | 810.00                     |
| 0000000937             | J.P. Mascaro & Sons             |                                         |            | Vendor Total: | 1,334.00                   |
| 0000004413             | Jake Voloshin                   |                                         |            |               |                            |
| VC-00062485            | 7/7-7/11/25                     | Summer Basketball Referee 3 games       | 01.451.118 | 07/18/2025    | 150.00                     |
| 0000004413             | Jake Voloshin                   |                                         |            | Vendor Total: | 150.00                     |
| 0000005512             | Jennifer Ann Brown              |                                         |            |               |                            |
| VC-00062461            | 05252032                        | June Zumba Instructor                   | 01.451.247 | 07/18/2025    | 89.60                      |
| 0000005512             | Jennifer Ann Brown              |                                         |            | Vendor Total: | 89.60                      |
| 0000003542             | JoAnn Morrell                   |                                         |            |               |                            |
| VC-00062458            | 7/26/25                         | Farmers Market Performer                | 01.451.501 | 07/18/2025    | 80.00                      |
| 0000003542             | JoAnn Morrell                   |                                         |            | Vendor Total: | 80.00                      |
| 0000005677             | Joseph J. Hollenbach            |                                         |            |               |                            |
| VC-00062482            | 7/7-7/11/25                     | Basketball Referee 3 games              | 01.451.118 | 07/18/2025    | 150.00                     |
| 0000005677             | Joseph J. Hollenbach            |                                         |            | Vendor Total: | 150.00                     |



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## BOROUGH OF PERKASIE

| VENDOR NO<br>TRANS. NO | VENDOR NAME<br>INVOICE NO            | INVOICE DESC.                            | ACCOUNT NO    | DUE DATE   | VOUCHER AMOUNT PAID EFT DP |
|------------------------|--------------------------------------|------------------------------------------|---------------|------------|----------------------------|
| 0000005429             | JRF Tree LLC                         |                                          |               |            |                            |
| VC-00062492            | 1055                                 | June Tree Work Skate Park, Boro Hall, St | 01.454.450    | 07/18/2025 | 1,600.00                   |
| 0000005429             | JRF Tree LLC                         |                                          |               | 1,600.00   |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000000072             | Judith Patton, Tax Collector         |                                          |               |            |                            |
| VC-00062500            | 33-016-009                           | Community Garden RE Tax 2025             | 01.406.430    | 07/18/2025 | 1,132.06                   |
| 0000000072             | Judith Patton, Tax Collector         |                                          |               | 1,132.06   |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000003940             | Kathleen Ebbert                      |                                          |               |            |                            |
| VC-00062462            | 58                                   | Pickleball Instructor June 2025          | 01.451.247    | 07/18/2025 | 1,212.00                   |
| 0000003940             | Kathleen Ebbert                      |                                          |               | 1,212.00   |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000000043             | Labelcraft Press, Inc.               |                                          |               |            |                            |
| VC-00062511            | 25296                                | Park & Rec Signs                         | 01.451.342    | 07/18/2025 | 109.00                     |
| 0000000043             | Labelcraft Press, Inc.               |                                          |               | 109.00     |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000005682             | Lucas Benscoter                      |                                          |               |            |                            |
| VC-00062505            | 7/7-7/11/25                          | Summer Basketball Referee 1 game         | 01.451.118    | 07/18/2025 | 50.00                      |
| 0000005682             | Lucas Benscoter                      |                                          |               | 50.00      |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000005298             | Matt's Heavy Duty Mobile Diagnostics |                                          |               |            |                            |
| VC-00062463            | 1015843                              | Tk#13 Inspection                         | 01.438.370    | 07/18/2025 | 2,731.90                   |
| 0000005298             | Matt's Heavy Duty Mobile Diagnostics |                                          |               | 2,731.90   |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000000096             | Pennsylvania One Call System, Inc.   |                                          |               |            |                            |
| VC-00062469            | 0001110802                           | June Monthly Activity Fee                | 07.442.450    | 07/18/2025 | 60.34                      |
| 0000000096             | Pennsylvania One Call System, Inc.   |                                          |               | 60.34      |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000000283             | Philadelphia Business Forms Company  |                                          |               |            |                            |
| VC-00062468            | 12037                                | 2000 Final Electric Shut Off Notices     | 07.442.342    | 07/18/2025 | 929.84                     |
| 0000000283             | Philadelphia Business Forms Company  |                                          |               | 929.84     |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000002433             | Primo Brands                         |                                          |               |            |                            |
| VC-00062465            | 15G0438910135                        | PW Bottled Water Delivery                | 01.438.480    | 07/18/2025 | 13.99                      |
| VC-00062466            | 15G0438789356                        | Boro Hall Bottled Water Delivery         | 01.409.450    | 07/18/2025 | 37.98                      |
| VC-00062467            | 15G0438789398                        | Electric Bottled Water Delivery          | 07.442.450    | 07/18/2025 | 23.99                      |
| VC-00062464            | 15G0438789372                        | Police Bottled Water Delivery            | 01.410.450    | 07/18/2025 | 43.99                      |
| 0000002433             | Primo Brands                         |                                          |               | 119.95     |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000005550             | Promiseland Murals, LLC              |                                          |               |            |                            |
| VC-00062495            | 1144                                 | Mural Freight Car Balance Due            | 30.451.706    | 07/18/2025 | 12,233.00                  |
| 0000005550             | Promiseland Murals, LLC              |                                          |               | 12,233.00  |                            |
|                        |                                      |                                          | Vendor Total: |            |                            |
| 0000003376             | Robert E. Little, Inc.               |                                          |               |            |                            |
| VC-00062509            | 05-1198940                           | Park Parts                               | 01.454.370    | 07/18/2025 | 155.34                     |

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## BOROUGH OF PERKASIE

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|---------------------------|-----------------------------------------------|-------------------------------------------|------------|---------------|------------|---------------------|-----|----|
| 0000003376                | Robert E. Little, Inc.                        |                                           |            | Vendor Total: | 155.34     |                     |     |    |
| 0000005678<br>VC-00062504 | Ryan Smalley<br>14439002.00                   | Electric Final Bill Deposit Refund        | 07.200.100 |               | 07/18/2025 | 186.95              |     |    |
| 0000005678                | Ryan Smalley                                  |                                           |            | Vendor Total: | 186.95     |                     |     |    |
| 0000005680<br>VC-00062502 | Samuel Cassidy<br>07184007.00                 | Electric Final Bill Deposit Refund        | 07.200.100 |               | 07/18/2025 | 103.81              |     |    |
| 0000005680                | Samuel Cassidy                                |                                           |            | Vendor Total: | 103.81     |                     |     |    |
| 0000005676<br>VC-00062470 | Sandra McCabe<br>Refund                       | Farmers Market Vendor Refund 4 Wks        | 01.451.501 |               | 07/18/2025 | 120.00              |     |    |
| 0000005676                | Sandra McCabe                                 |                                           |            | Vendor Total: | 120.00     |                     |     |    |
| 0000000983<br>VC-00062471 | Shane Huey<br>2025 Boot Reimb                 | 2025 Boot/Clothing Reimbursement          | 07.442.238 |               | 07/18/2025 | 414.45              |     |    |
| 0000000983                | Shane Huey                                    |                                           |            | Vendor Total: | 414.45     |                     |     |    |
| 0000000502<br>VC-00062496 | Sleepy Hollow Farm Inc.<br>2025 Fall Fest     | 50% Deposit for 2025 Fall Fest            | 01.451.501 |               | 07/18/2025 | 1,648.00            |     |    |
| 0000000502                | Sleepy Hollow Farm Inc.                       |                                           |            | Vendor Total: | 1,648.00   |                     |     |    |
| 0000000243<br>VC-00062472 | Styer Associates<br>23721                     | Final Billing 2024 Audit                  | 01.402.311 |               | 07/18/2025 | 10,105.00           |     |    |
| 0000000243                | Styer Associates                              |                                           |            | Vendor Total: | 10,105.00  |                     |     |    |
| 0000000422<br>VC-00062497 | Swank Motion Pictures, Inc.<br>BO 2524826     | The Lego Movie                            | 01.451.247 |               | 07/30/2025 | 500.00              |     |    |
| 0000000422                | Swank Motion Pictures, Inc.                   |                                           |            | Vendor Total: | 500.00     |                     |     |    |
| 0000003409<br>VC-00062493 | The Free Press LLC<br>9695                    | July Small Banner Ad                      | 01.451.501 |               | 07/18/2025 | 95.00               |     |    |
| 0000003409                | The Free Press LLC                            |                                           |            | Vendor Total: | 95.00      |                     |     |    |
| 0000005664<br>VC-00062473 | Thomas V. Pennise Jr.<br>7/30/2025            | Summer Concert "The Pennise Family Ba     | 01.451.501 |               | 07/18/2025 | 1,060.00            |     |    |
| 0000005664                | Thomas V. Pennise Jr.                         |                                           |            | Vendor Total: | 1,060.00   |                     |     |    |
| 0000005080<br>VC-00062515 | Tim Deibert<br>7/11/25                        | Menlo After Dark "Brake for Turtles" band | 04.452.300 |               | 07/18/2025 | 400.00              |     |    |
| 0000005080                | Tim Deibert                                   |                                           |            | Vendor Total: | 400.00     |                     |     |    |
| 0000000071<br>VC-00062475 | Towne Answering Service, Inc.<br>289407072025 | Answering Service 6/9-7/6/25              | 07.442.450 |               | 07/18/2025 | 135.00              |     |    |
| 0000000071                | Towne Answering Service, Inc.                 |                                           |            | Vendor Total: | 135.00     |                     |     |    |

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### BOROUGH OF PERKASIE

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|--------------------------------------------------------|--------------------------------------------------------------------------|----------------------------------------|--------------------------|--------------------------------------|----------------------------|
| 0000003938<br>VC-00062474<br>0000003938                | Turtle & Hughes, Inc<br>6814652-01<br>Turtle & Hughes, Inc               | Electric Hardware & Parts              | 07.442.253               | 07/18/2025<br>232.05                 | 232.05                     |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| 0000000155<br>VC-00062480<br>0000000155                | UGI Utilities, Inc.<br>411001210953<br>UGI Utilities, Inc.               | Boro Hall Gas                          | 01.409.362               | 07/18/2025<br>31.93                  | 31.93                      |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| 0000002791<br>VC-00062498<br>0000002791                | Uline<br>38373801<br>Uline                                               | Park & Rec Chairs & Dolly              | 01.451.210               | 07/18/2025<br>2,013.73               | 2,013.73                   |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| 0000000732<br>VC-00062479<br>VC-00062476<br>0000000732 | UniFirst Corporation<br>1290246971<br>1290245468<br>UniFirst Corporation | Electric Uniforms<br>Electric Uniforms | 07.442.238<br>07.442.238 | 07/18/2025<br>07/18/2025<br>424.00   | 216.38<br>207.62           |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| 0000003836<br>VC-00062477<br>VC-00062478<br>0000003836 | Uniform Gear Inc<br>5858-3<br>5857-3<br>Uniform Gear Inc                 | Police Uniforms<br>Police Uniforms     | 01.410.238<br>01.410.238 | 07/18/2025<br>07/18/2025<br>2,945.36 | 1,734.00<br>1,211.36       |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| 0000000002<br>VC-00062481<br>0000000002                | Waste Management<br>0015779-1062-1<br>Waste Management                   | Municipal Waste Disposal 6/16-6/30/25  | 05.427.367               | 07/18/2025<br>10,054.19              | 10,054.19                  |
|                                                        |                                                                          |                                        | Vendor Total:            |                                      |                            |
| Report Total:                                          |                                                                          |                                        |                          | 373,338.02                           |                            |
| Unpaid Report Total:                                   |                                                                          |                                        |                          | 373,338.02                           |                            |
| Paid Report Total:                                     |                                                                          |                                        |                          | 0.00                                 |                            |



# BOROUGH OF PERKASIE

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## MEMORANDUM

DATE: July 16, 2025

TO: Andrea Coaxum, Borough Manager  
Council Members  
Mayor Hollenbach  
Rebecca Deemer, Finance Director

FROM: Jeffrey Tulone, Public Works Director  
*Jeffrey Tulone*

RE: Rental of Refuse Truck from Big Truck Rental

At this time, I would like to ask Council to consider authorizing the Public Works Department to rent a refuse truck from Big Truck Rental for the Borough's Recycling and Refuse program. The spare truck was inspected this week and it did not pass. A new refuse truck was ordered in January to replace this spare truck, and we had hoped that it would be in by now, but it will not arrive until the end of October, as long as there are no additional delays with the delivery schedule. The existing spare truck will be put on Municibid once the new truck arrives; depending on what it will cost to repair it, the spare truck may be put on Municibid "as is".

The Department needs to have four trucks available to run every day because it takes three of those trucks just to complete the recycling and refuse routes. If one of the trucks goes down due to mechanical issues, or needs to be inspected, we would not have enough trucks to get the collection done in a timely manner. We have a double collection day coming up due to the Labor Day holiday, so we will need all four trucks for that day. The cost to rent a truck from Big Truck Rental would be \$8,000.00 a month and we will need the truck for three months, for a total of \$24,000.00. The funds to cover this expenditure will need to come out of the Refuse fund balance.



Company Address 4221 W. Boy Scout Blvd  
Suite 400  
Tampa, FL 33607

Prepared By Liz Stevenson

Phone (813) 725-3505

Created Date 7/16/2025

Email [estevenson@bigtruckrental.com](mailto:estevenson@bigtruckrental.com)

Quote Number 00058921

## CUSTOMER INFORMATION

|                  |                                                                                      |                  |                                                                                      |
|------------------|--------------------------------------------------------------------------------------|------------------|--------------------------------------------------------------------------------------|
| Billing Customer | Perkasie Borough- Perkasie, PA                                                       | Rental Customer  | Perkasie Borough- Perkasie, PA                                                       |
| Billing Contact  | Jeffrey Tulone                                                                       | Shipping Contact | Jeffrey Tulone                                                                       |
| Billing Address  | 311 South 9th Street<br>Perkasie PA 18944                                            | Shipping Address | 311 South 9th Street<br>Perkasie PA 18944<br>United States                           |
| Billing Email    | <a href="mailto:publicworks@perkasieborough.org">publicworks@perkasieborough.org</a> | Shipping Email   | <a href="mailto:publicworks@perkasieborough.org">publicworks@perkasieborough.org</a> |
| Billing Phone    | 12152576860                                                                          | Shipping Phone   | 12152576860                                                                          |

## Product Details

| Chassis Vin                                | Product Family |
|--------------------------------------------|----------------|
| Rear Loader Rental on a multi-weekly basis | Rear Loader    |

## Pricing Details

| Line Item Description                      | Quantity | Sales Price | Total Product Price | Rental Start Date | Rental End Date |
|--------------------------------------------|----------|-------------|---------------------|-------------------|-----------------|
| Rear Loader Rental on a multi-weekly basis | 4.00     | \$2,000.00  | \$8,000.00          | 7/28/2025         | 8/24/2025       |

## RENTAL CONTRACT PRICING SUMMARY

|                      |            |                  |            |
|----------------------|------------|------------------|------------|
| Order Subtotal       | \$8,000.00 | Total Amount Due | \$8,000.00 |
| Total Security       | \$0.00     |                  |            |
| Deposit              |            |                  |            |
| Total Transportation | \$0.00     |                  |            |
| Cost                 |            |                  |            |

## RENTAL REMINDERS

**MASTER RENTAL AGREEMENT:** This document supplements the Master Rental Agreement, which the Customer signed and is subject to all provisions therein.

**INSURANCE:** This Supplemental Rental Agreement utilizes the insurance information provided in the Master Rental Agreement. Customer is required to provide continued proof of insurance at the inception of this Supplemental Rental Agreement and through the duration of the same.

**RENTAL RATE:** Customer is to use the Vehicle for a maximum of one-shift, which is defined as not more than 50 hours per week. If Customer uses the Vehicle beyond one-shift, Customer agrees that it will pay an additional charge for such use. The additional charge shall be calculated in the following manner: (a) If the Customer uses the Vehicle more than 50 hours per week but less than 80 hours per week, then Customer shall pay an additional charge equal to one-half (½) times the Rental Rate; (b) If the Customer uses the Vehicle 80 or more hours per week, then Customer shall pay an additional charge equal to one (1) times the Rental Rate.

**MAINTENANCE:** Customer is responsible for all routine maintenance of the truck and body while it is in the care and control of the Customer. Refer to Section 6 of the Master Agreement for detailed responsibility.

**DAMAGE:** Customer will be back billed for any damage to the rented property which Big Truck Rental determines to be beyond normal wear and tear. In addition, if the damage to a rented vehicle prevents Big Truck Rental from reletting the vehicle resulting in additional downtime and lost rental revenue for Big Truck Rental, then this Supplemental Rental Agreement shall automatically extend and Customer shall be billed for a reasonable period of time with which to make the necessary repairs. The customer is responsible for collection of prepaid security deposit.



Uncollected security deposits older than one year, will be forfeited.

**TIRES:** As a tire is a consumable item, Big Truck Rental documents the condition of the tires on its trucks at the inception of the rental and at the time that the truck is returned. It is the Customer's responsibility to assure that the tires are in substantially the same condition at the end of the rental as when the truck is received by the Customer. Tires worn substantially more at the time they are returned than at the rental inception shall be back billed. In addition, any Non-Steer Tires(s) replaced during the duration of the rental period shall be replaced with a recappable casing. All Steer Tires must be replaced with a virgin tire. No exceptions. If Customer fails to replace the tire(s) as outlined herein, Big Truck Rental shall back bill for the cost of replacing said tire(s). Any casing deemed un-recappable by our tire vendor will be back billed.

**FUEL:** Short-term rentals are not subject to IFTA, all fuel tax and the reporting thereof is the responsibility of the renter. Any violations or fines of that nature are the responsibility of the Customer.

**GOVERNMENT:** All trucks rented from Big Truck Rental are owned by Big Truck Rental. Customer shall not cover or remove any truck identification, other than DOT numbers. Big Truck Rental's vehicles are legally licensed on the federal highways of 48 states, however, any state or local permits for state or county road use and waste pick up and/ or disposal are the sole and absolute responsibility of the Customer. Customer agrees Big Truck Rental is not the motor carrier operator and will display customer's DOT number as required by law.

By execution of this Rental Agreement, Customer acknowledges that the Vehicle described herein is rented to and in accordance with the terms, conditions, and provisions of the Master Rental Agreement and Rental Extension Agreement previously signed by the Customer and also those terms found in this Supplemental Rental Agreement. Customer evidences such knowledge by signing below.

#### CUSTOMER

CUSTOMER NAME:

PURCHASE ORDER #:

\_\_\_\_\_

DATE:

BY:

\_\_\_\_\_

TAX ID #: \_\_\_\_\_

(Signature)

STATE:

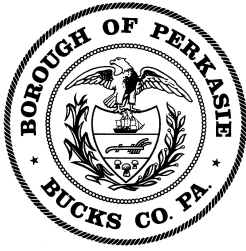
PRINT NAME:

\_\_\_\_\_

TITLE:

\_\_\_\_\_ Initial here acknowledging you have read Section 6 on maintenance responsibility in the Master Agreement.

Please sign quote and email to [btrsales@bigtruckrental.com](mailto:btrsales@bigtruckrental.com) or fax to (813) 261-0821.



# BOROUGH OF PERKASIE

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## MEMORANDUM

DATE: July 16, 2025

TO: Andrea Coaxum, Borough Manager  
Council Members  
Mayor Hollenbach  
Rebecca Deemer, Finance Director

FROM: Jeffrey Tulone, Public Works Director  
*Jeffrey Tulone*

RE: Omnia Partners – Cooperative Purchasing Agreement

At this time, I would like to ask Council to sign the Cooperative Purchasing Agreement with Omnia Partners. Omnia Partners is a cooperative purchasing program like COSTARS, but on a national level. The company that we are using to rent an additional refuse truck uses this program instead of COSTARS because they rent trucks throughout the United States.



**RESOLUTION NO. 2025-36**

**A RESOLUTION OF THE COUNCIL OF THE BOROUGH OF PERKASIE APPROVING THE MASTER INTERGOVERNMENTAL COOPERATIVE PURCHASING AGREEMENT BETWEEN OMNIA PARTNERS AND PERKASIE BOROUGH FOR THE PURPOSE OF PROCURING PRODUCTS AND SERVICES AND AUTHORIZING THE BOROUGH MANAGER TO EXECUTE THE CONTRACT ON BEHALF OF THE BOROUGH OF PERKASIE.**

**WHEREAS**, OMNIA Partners (“OMNIA”), has provided the Borough of Perkasio with a Master Intergovernmental Cooperative Purchasing Agreement for the purpose of procuring products and services; and

**WHEREAS**, the Borough of Perkasio, Bucks County, Pennsylvania has determined that it is in the best interest of the Borough to approve the Master Intergovernmental Cooperative Purchasing Agreement; and

**WHEREAS**, the Borough Council herein authorizes the Borough Manager to execute any and all documents related to the Master Intergovernmental Cooperative Purchasing Agreement.

**NOW, THEREFORE**, be it resolved by the Borough Council of Perkasio Borough as follows:

1. Approval of Agreement. The Borough Council of Perkasio Borough herein approves the Master Intergovernmental Cooperative Purchasing Agreement, which is attached hereto as Exhibit “A” and incorporated by reference.

2. Execution. The Borough Council further authorizes the Borough Manager to execute the Master Intergovernmental Cooperative Purchasing Agreement between the Borough and OMNIA, on behalf of Perkasio Borough.

THIS RESOLUTION was duly adopted this 21<sup>st</sup> day of July, 2025.

**ATTEST:**

**BOROUGH OF PERKASIE:**

By: \_\_\_\_\_  
Andrea L. Coaxum, Secretary

By: \_\_\_\_\_  
James Ryder, Council President

# **EXHIBIT “A”**



## **MASTER INTERGOVERNMENTAL COOPERATIVE PURCHASING AGREEMENT**

This Master Intergovernmental Cooperative Purchasing Agreement (this “**Agreement**”) is entered into by and between those certain government agencies that execute a Principal Procurement Agency Certificate (“**Principal Procurement Agencies**”) with OMNIA Partners, Public Sector, Inc., a Delaware corporation f/k/a National Intergovernmental Purchasing Alliance Company; Communities Program Management, LLC, a California limited liability company d/b/a U.S. Communities, and/or NCPA LLC, a Texas limited liability company d/b/a National Cooperative Purchasing Alliance (collectively, “**OMNIA Partners**”), in its capacity as the cooperative administrator, to be appended and made a part hereof and such other agencies (“**Participating Public Agencies**”), as defined in each Master Agreement (as defined below), who register to participate in the cooperative purchasing programs administered by OMNIA Partners and its affiliates and subsidiaries (collectively, the “**OMNIA Partners Parties**”) by either registering on the OMNIA Partners website ([www.omniapartners.com/publicsector](http://www.omniapartners.com/publicsector) or any successor website), or by executing a copy of this Agreement.

### **RECITALS**

**WHEREAS**, after a competitive solicitation and selection process by Principal Procurement Agencies, in compliance with their own policies, procedures, rules and regulations, a number of suppliers have entered into “**Master Agreements**” (herein so called) to provide a variety of goods, products and services (“**Products**”) to the applicable Principal Procurement Agency and the Participating Public Agencies;

**WHEREAS**, Master Agreements are made available by Principal Procurement Agencies through the OMNIA Partners Parties and provide that Participating Public Agencies may purchase Products on the same terms, conditions and pricing as the Principal Procurement Agency, subject to any applicable federal and/or local purchasing ordinances and the laws of the State of purchase; and

**WHEREAS**, in addition to Master Agreements, the OMNIA Partners Parties may from time to time offer Participating Public Agencies the opportunity to acquire Products through other group purchasing agreements.

**NOW, THEREFORE**, in consideration of the mutual promises contained in this Agreement, and of the mutual benefits to result, the parties hereby agree as follows:

1. Each party will facilitate the cooperative procurement of Products.

2. The Participating Public Agencies shall procure Products in accordance with and subject to the relevant federal, state and local statutes, ordinances, rules and regulations that govern Participating Public Agency's procurement practices. The Participating Public Agencies hereby acknowledge and agree that it is the intent of the parties that all provisions of this Agreement and that Principal Procurement Agencies' participation in the program described herein comply with all applicable laws, including but not limited to the requirements of 42 C.F.R. § 1001.952(j), as may be amended from time to time. The Participating Public Agencies further acknowledge and agree that they are solely responsible for their compliance with all applicable "safe harbor" regulations, including but not limited to any and all obligations to fully and accurately report discounts and incentives.

3. The Participating Public Agency represents and warrants that the Participating Public Agency is not a hospital or other healthcare provider and is not purchasing Products on behalf of a hospital or healthcare provider; provided that the foregoing shall not prohibit Participating Public Agency from furnishing health care services so long as the furnishing of health care services is not in furtherance of a primary purpose of the Participating Public Agency.

4. The cooperative use of Master Agreements shall be in accordance with the terms and conditions of the Master Agreements, except as modification of those terms and conditions is otherwise required by applicable federal, state or local law, policies or procedures.

5. The Principal Procurement Agencies will make available, upon reasonable request, Master Agreement information which may assist in improving the procurement of Products by the Participating Public Agencies.

6. The Participating Public Agency agrees the OMNIA Partners Parties may provide access to group purchasing organization ("**GPO**") agreements directly or indirectly by enrolling the Participating Public Agency in another GPO's purchasing program, provided that the purchase of Products through the OMNIA Partners Parties or any other GPO shall be at the Participating Public Agency's sole discretion.

7. The Participating Public Agencies (each a "**Procuring Party**") that procure Products through any Master Agreement or GPO Product supply agreement (each a "**GPO Contract**") will make timely payments to the distributor, manufacturer or other vendor (collectively, "**Supplier**") for Products received in accordance with the terms and conditions of the Master Agreement or GPO Contract, as applicable. Payment for Products and inspections and acceptance of Products ordered by the Procuring Party shall be the exclusive obligation of such Procuring Party. Disputes between Procuring Party and any Supplier shall be resolved in accordance with the law and venue rules of the State of purchase unless otherwise agreed to by the Procuring Party and Supplier. The Participating Public Agency acknowledges and agrees that the OMNIA Partners Parties may market all Master Agreements available through Principal Procurement Agencies to such Participating Public Agency and its employees and representatives.

8. The Procuring Party shall not use this Agreement as a method for obtaining additional concessions or reduced prices for purchase of similar products or services outside of the Master Agreement. Master Agreements may be structured with not-to-exceed pricing, in which cases the Supplier may offer the Procuring Party and the Procuring Party may accept lower pricing or additional concessions for purchase of Products through a Master Agreement.

9. The Procuring Party shall be responsible for the ordering of Products under this

Agreement. A non-procuring party shall not be liable in any fashion for any violation by a Procuring Party, and, to the extent permitted by applicable law, the Procuring Party shall hold non-procuring party harmless from any liability that may arise from the acts or omissions of the Procuring Party.

10. WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, THE OMNIA PARTNERS PARTIES EXPRESSLY DISCLAIM ALL EXPRESS OR IMPLIED REPRESENTATIONS AND WARRANTIES REGARDING ANY PRODUCT, MASTER AGREEMENT AND GPO CONTRACT. THE OMNIA PARTNERS PARTIES SHALL NOT BE LIABLE IN ANY WAY FOR ANY SPECIAL, INCIDENTAL, INDIRECT, CONSEQUENTIAL, EXEMPLARY, PUNITIVE, OR RELIANCE DAMAGES, EVEN IF THE OMNIA PARTNERS PARTIES ARE ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. FURTHER, THE PROCURING PARTY ACKNOWLEDGES AND AGREES THAT THE OMNIA PARTNERS PARTIES SHALL HAVE NO LIABILITY FOR ANY ACT OR OMISSION BY A SUPPLIER OR OTHER PARTY UNDER A MASTER AGREEMENT OR GPO CONTRACT.

11. This Agreement shall remain in effect until termination by either party giving thirty (30) days' written notice to the other party. The provisions of Paragraphs 6 - 10 hereof shall survive any such termination.

12. This Agreement shall take effect upon (i) execution of the Principal Procurement Agency Certificate, or (ii) registration on the OMNIA Partners website or the execution of this Agreement by a Participating Public Agency, as applicable.

13. This Agreement may be executed in counterparts, each of which so executed shall be deemed to be an original, and such counterparts shall together constitute one and the same Agreement. The exchange of copies of this Agreement and of signature pages by facsimile, or by .pdf or similar electronic transmission, will constitute effective execution and delivery of this Agreement as to the parties and may be used in lieu of the original Agreement for all purposes. Signatures of the parties transmitted by facsimile, or by .pdf or similar electronic transmission, will be deemed to be their original signatures for any purpose whatsoever.

**Participating Public Agency:**

[\_\_\_\_\_]

**OMNIA Partners, as the cooperative  
administrator on behalf of Principal  
Procurement Agencies:**  
**OMNIA PARTNERS, PUBLIC SECTOR,  
INC.**

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Name

\_\_\_\_\_  
Title and Agency Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

Sarah E. Vavra

\_\_\_\_\_  
Name

Sr. Vice President, Public Sector Contracting

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

JEFFREY P. GARTON  
DOUGLAS C. MALONEY  
THOMAS J. PROFY, IV\*†  
FRANCIS X. DILLON  
JOHN A. TORRENTE\*  
STEVEN M. JONES  
MICHAEL J. MEGINNISS  
BREANDAN Q. NEMEC\*  
BRENDAN M. CALLAHAN\*  
BRADLEY R. CORNETT\*  
SEAN M. GRESH  
BRYCE H. McGUIGAN\*  
TRACY L. CASSEL-BROPHY\*  
CHRIS LITTLE SIMCOX\*  
BRENDAN G. CORRIGAN^  
KIMBERLY N. BARRON  
CHLOE M. BOUDAZIN  
CHELSEY CROCKER JACKMAN  
MARISA M. PERINI  
HANNAH M. SCHWEIZER

\*Member of PA & NJ Bars  
†Master of Laws (Taxation)  
^Member of PA & NY Bars



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LANGHORNE, PENNSYLVANIA 19047-0308  
TELEPHONE: 215.750.0110  
FAX: 215.750.0954

JEFFREY P. GARTON, ESQUIRE  
[jgarton@begleycarlin.com](mailto:jgarton@begleycarlin.com)

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THOMAS E. HORA  
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TRACY P. HUNT  
PAMELA A. VAN BLUNK\*  
KATHARINE J. WEEDER\*  
MARC I. RICKLES\*

NEW HOPE OFFICE  
123 W. BRIDGE STREET  
NEW HOPE, PA 18938  
215.862.0701

July 16, 2025

**VIA EMAIL**

**[manager@perkasiaborough.org](mailto:manager@perkasiaborough.org)**

Andrea L. Coaxum, Borough Manager  
Perkasie Borough  
620 W. Chestnut Street  
Perkasie, PA 18944

**Re: OMNIA**

Dear Andrea:

Pursuant to a request from Rebecca, I reviewed the Master Intergovernmental Cooperative Purchasing Agreement proposed by OMNIA Partners. In that regard, my comments with respect to same are as follows:

1. Cooperative Purchasing Agreements are a suitable method and means by which municipalities in Pennsylvania can procure products and services. I assume that OMNIA is its agent, the principal of which is a cooperative agency involving numerous municipalities and governmental entities. As such, OMNIA is available for participation by the Borough.
2. Paragraph 2 – Please note the Borough’s obligation for compliance with safe harbor regulations. Have you reviewed the safe harbor regulations?
3. Paragraph 7 – Obviously, the Borough will be responsible for anything it procures, but I found no cost within the confines of this Agreement for the Borough to pay OMNIA. I assume they are paid by vendors, or suppliers.

4. Paragraph 10 – Please note the limitations of liability, as OMNIA is not providing any products on its own, so you have no right to be filing any claims against OMNIA for any deficiencies of any product or service.
5. Lastly, I enclose an appropriate Resolution for consideration by Council at an upcoming Council meeting.

If you have any questions, please advise.

Very truly yours,

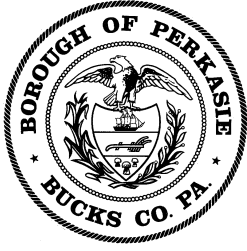


Jeffrey P. Garton

JPG:ers  
Attachment

cc: Rebecca Deemer





# BOROUGH OF PERKASIE

## MEMORANDUM

DATE: July 15, 2025

TO: Borough Council  
Mayor Hollenbach  
Andrea Coaxum

FROM: Rebecca Deemer, Finance Director

SUBJECT: Implementation of Positive Pay

I am recommending that we implement Positive Pay services offered by Univest Bank to help safeguard the Borough's accounts and reduce exposure to fraudulent transactions. Fraud continues to be one of the greatest challenges faced by organizations today. As advancements in technology make it easier to produce authentic-looking fraudulent transactions, it is critical to strengthen our account security measures.

Univest offers two types of Positive Pay solutions:

- ACH Positive Pay: This service reduces the risk of paying unauthorized ACH transactions. It utilizes block and filter functionality so only approved ACH debits post to our accounts. Unauthorized transactions are either presented for review or automatically returned.
- Check Positive Pay: This tool complements internal security measures by verifying issued check information against checks presented for payment. Any discrepancies or unauthorized checks are flagged for review or returned.

The cost for these fraud prevention services is \$85 per month for the first account, with an additional \$45 per month for each additional account as listed below:

| Fund           | Monthly Fee     | Annual Fee         |
|----------------|-----------------|--------------------|
| Electric Fund  | \$85.00 / month | \$ 1,020.00        |
| General Fund   | \$45.00 / month | \$ 540.00          |
| Menlo Fund     | \$45.00 / month | \$ 540.00          |
| Refuse Fund    | \$45.00 / month | \$ 540.00          |
| Capital Fund   | \$45.00 / month | \$ 540.00          |
| Total Annually |                 | <u>\$ 3,180.00</u> |

Implementing Positive Pay would add an important layer of protection for Borough funds. I request Council's approval to move forward with setting up Positive Pay services for the Borough's accounts.



# TREASURY MANAGEMENT

## FRAUD PREVENTION

Fraud is one of the greatest challenges businesses face today. Advancements in technology make it easier to produce authentic-looking transactions that threaten the most basic business processes. Univest can help you safeguard your business accounts and avoid losses with our fraud prevention tools.



**PAYMENT  
ORIGINATES**



**BANK VERIFIES  
TRANSACTION**



**COMPANY  
NOTIFIED OF  
POTENTIAL FRAUD**



**UNAUTHORIZED  
PAYMENTS  
RETURNED**

## CHECK POSITIVE PAY

Check Positive Pay is a fraud detection tool that complements internal security measures to ensure only authorized checks are paid. Checks processed for payment are monitored and verified with daily issued check information you send to Univest. Unauthorized transactions will either be presented for your review via online banking or automatically returned.

**To learn more about minimizing your  
exposure to risk, please contact:**

**267.695.3999 | [tm@univest.net](mailto:tm@univest.net)**



# TREASURY MANAGEMENT

## FRAUD PREVENTION

Fraud is one of the greatest challenges businesses face today. Advancements in technology make it easier to produce authentic-looking transactions that threaten the most basic business processes. Univest can help you safeguard your business accounts and avoid losses with our fraud prevention tools.



**PAYMENT  
ORIGINATES**



**BANK VERIFIES  
TRANSACTION**



**COMPANY  
NOTIFIED OF  
POTENTIAL FRAUD**



**UNAUTHORIZED  
PAYMENTS  
RETURNED**

## ACH POSITIVE PAY

Reduce the risk of paying unauthorized ACH transactions with ACH Positive Pay from Univest. Utilizing block and filter functionality, only approved ACH transactions post to your account and potentially fraudulent debits are returned to the originator.

**Block All:** Completely block and return all ACH debits that attempt to post to your account.

**Filter:** Incoming ACH transactions that align with your pre-established instructions will post to your account. Based on your preference, unauthorized transactions will either be presented for your review via online banking or automatically returned.

**To learn more about minimizing your exposure to risk, please contact:**

**267.695.3999 | [tm@univest.net](mailto:tm@univest.net)**



## COMMUNITY & ECONOMIC DEVELOPMENT REPORT – July 17th, 2025

### Economic Development Plan Update

- Steering Committee meetings held on June 11<sup>th</sup> and July 16<sup>th</sup>. Next meeting scheduled for September 17<sup>th</sup>.
- Received 382 responses to public Community Survey. Updates available on Borough's website: <https://perkasiaborough.org/departments/economic-community-development/>
- This project is partly funded with a DCED Keystone Communities Planning Grant of \$25,000.

### Economic News

- WP Perkasio LLC was granted a variance related to the configuration of the drive-thru vehicle stacking at the Zoning Hearing Board on May 27<sup>th</sup>. Plans resubmitted & reviewed. Awaiting resubmission.
- *Bloom Flower Company* is moving to new premises at the corner of 5<sup>th</sup> & Market.
- The *Highly Mystical Creations* retail store is moving in to 21 N. 7<sup>th</sup> St this summer.
- Construction work continues at the “**Glassworks**” campus, owned by Kingdom Partners LLC. The campus will house a thrift store and office space.
- The “Pacaz” parcel – the vacant area adjacent to the Landis Shopping Center and Mavis Tire is under agreement of sale. Sketch plans received from potential developer, planning to appear before the Perkasio Planning Commission.
- Kingdom Partners were granted a Use & Occupancy permit for the main floor of the **Methodist Church** on 5<sup>th</sup> St.
- Helping a number local business owners in their search for commercial premises in the Borough.
- Maintaining inventory of commercial space available for lease/sale in the Borough.

### ZONING / CODE:

- Ordinance amendments related to the Keeping of Chickens and to Roadside Stands have been drafted by the Borough solicitor and are being reviewed.
- Provided list of other potential zoning amendments and research packet to the Chair of the Planning & Zoning Committee of Council.
- Responded to Zoning, Property Maintenance and Land Development & Subdivision applications and questions as necessary. Permit applications are listed in the Permits Report in Council's packet.
- Perkiomen Mapping and Flood Mitigation Study – participating as a stakeholder in the master plan project.
- Stormwater & BMP MS4 Reporting: new web page constructed. Letter sent to all property owners with BMP/Stormwater Management on their parcel outlining the process and timings for compliance with PA DEP reporting requirements. Planning a Farmers Market event this season to meet the requirement for public education.
- **NEXLEVEL** Service Request Report in Council packet - tracks calls & complaints received through to closeout. Permits, Code issues and other property file matters all logged on NexLevel.
- High number of **PERMIT APPLICATIONS**, including new home construction, home improvements etc.
- **THP Homes** received their building permits for the remaining homes on 8<sup>th</sup> St.
- **PERMIT CLOSEOUT**: Years-old “legendary” permit backlog being closed out.
- **CODE ENFORCEMENT**: focusing on Summer property maintenance. Receiving a lot of calls related to rainwater, sump pumps etc, because of the recent amount of rain and storms.
- 

### PERKASIE BOROUGH COMMUNITY EVENTS

- **Farmers Market Outdoor Season 2025**: market opened on Saturday June 7<sup>th</sup>. Great turnout. Happy vendors and customers. Additional event security protocols in place. Special event calendar.
- **Summer Concert Series**: Series opened on July 9<sup>th</sup>. July 16<sup>th</sup> concert postponed to 8/20 because of rain.

- **Under the Stars Car Show:** Planning underway. Seeking volunteers.
- **Fall Festival:** Planning underway
- **America's Oldest Tree Lighting:** planning underway.
- **Memorial Day Parade & Service (Saturday May 24<sup>th</sup>):** Next Memorial Day Parade & Service will be in Sellersville in 2026, returning to Perkasio in May 2027.
- Working with PD on Public Safety plan and measures for all Borough and 3<sup>rd</sup> party community events.
- **Indoor Farmers Market:** Closed for the season.
- **Celtic Festival:** no action.
- **Community Day & Fireworks:** no action.
- **America250:** initial planning meeting with the Perkasio Historical Society.
- **Perkasio's 150<sup>th</sup> anniversary** celebration in May 2029. No action this month.

#### **COMMUNITY EVENTS / 3<sup>RD</sup> PARTY**

- **First Friday:** Next event will be on W. Walnut St on Friday August 1<sup>st</sup>.
- **The Craftery Market** is penciled in for 11/15/25

#### **RESIDENT COMMUNICATION**

- Managing resident issues through resolution as necessary.
- Continuing regular social media posts and updating alerts on Borough website.
- Wrote & issued numerous press releases.
- Managing increased marketing and advertising for Parks & Recreation programming.

#### **OTHER PROJECTS**

- **SEPTA FREIGHT CAR:** PERKASIE mural complete. Planning a "block pARTy" with a ribbon cutting from 5:30pm-7:30pm on Tuesday August 26<sup>th</sup>. The mural project is funded in part by a \$13,500 Visit Bucks County Tourism Grant award. Perkasio Borough developed the grant application which was submitted by the PTIA.
- **PARK AVENUE PROJECT:**
  - o Planning Transportation Alternative Set Aside (TASA) pre-application for funding of pedestrian and bicycle components of the larger project.
  - o Received executed contracts from HUD for the \$2.1million in Congressionally Directed Funding.
  - o Environmental Review is complete. Submitted to HUD for their review.
  - o Waiting on Green Light Go grant application for \$425,240 (total project cost \$531,550) and LSA grant application (\$1million) to make up project funding.
  - o Webpage on Borough website describing the project and anticipated funding sources.
- **CYBERSECURITY:**
  - o Staff committee is reviewing recommendations for staff training and new Cybersecurity policies from Borough's Cybersecurity consultant.
  - o Drafting project needs & budget for 2026.
- **BULK TRASH:** continuing to monitor Bulk Trash with Public Works. Public education continuing.
- **FIRE SERVICES:** no action.

#### **PROFESSIONAL DEVELOPMENT / CONFERENCES / MEETINGS:**

Conducted first and second round interviews for Municipal Accounting & Permits Clerk



# BOROUGH OF PERKASIE

---

620 West Chestnut Street  
PO Box 96  
Perkasie, PA 18944-0096

Phone: (215) 257-5065  
Fax: (215) 257-6875

June 20, 2025

Kelsey Widdick  
Emergency Management Specialist  
PA Emergency Management Agency

Via Electronic Mail:  
kwiddick@pa.gov

Dear Kelsey:

Perkasie Borough would like to make PEMA and FEMA aware of **Change of Scope #3** related to the design and engineering of DR4618 - Perkasie Borough (Bucks) - Project 662216 Historic Wooden Covered Bridge.

In response to the FEMA email received by the Borough on June 16<sup>th</sup>, the Borough is submitting the attached budget document for the Public Assistance portion of the project. The Borough recognizes that a portion of the abutment work is to be paid under the Hazard Mitigation program, so further conversation would be needed in determining that amount based on FEMA's response to the May 9<sup>th</sup> Change of Scope Request.

In addition to our Change of Scope requests on May 9<sup>th</sup> & May 21<sup>st</sup>, 2025, the Borough has identified additional areas in the FEMA Public Assistance Scope of Cost plan that omitted sections of the covered bridge damaged by flooding. Wood Research & Development (WRD), the engineering firm retained for the bridge's rehabilitation, identified other sections of the bridge badly damaged by the event not included in FEMA's site inspection and subsequent Scope of Cost plan.

**Based on FEMA's response to the Change in Scope requests, Perkasie will submit a revised production schedule to accommodate the bridge's move and the additional time for repairs for the omitted timber sections, which will likely include a project extension request.**

**Change Request #3:** Coverage in the Scope of Cost plan for Replace or Repair-in-Kind for:

- Top Chords,
- Middle Chords,
- Bottom Chords,
- Lattice Members,
- Posts at Wingwalls,
- Transverse Beams,
- Lower Cross Braces.

**Reasons for Change:** Inadvertent Errors Or Omissions. At the FEMA Site Inspection of April 21, 2022 (75423), FEMA's engineer did not account for any damage above the bridge floor.

- Top Chords: From the WRD Site Inspection and subsequent report of January 7, 2025, "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 63, Photos: page 63-69.
- Middle Chords: From the WRD Site Inspection and subsequent report of January 7, 2025, "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 71, Photos: page 71-76.
- Bottom Chords: "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 77, Photos: page 78-90.
- Lattice Members: "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 91-92; 103-104, Photos: page 93-102; 105-126.
- Posts at Wingwalls: "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 126-127, Photos: page 127-131.
- Transverse Beams: "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations & Photos: pages 143-171.
- Lower Cross Braces: "connections were further compromised when the bridge was moved and rotated globally during the hurricane." Observations: page 283-284, Photos: page 286-301.

**Cost Estimate:**

|                     |              |
|---------------------|--------------|
| Top Chords:         | \$32,450.00  |
| Middle Chords:      | \$23,600.00  |
| Bottom Chords:      | \$42,222.90  |
| Lattice Members:    | \$119,806.25 |
| Posts at Wingwalls: | \$20,334.40  |
| Transverse Beams:   | \$30,430.39  |
| Lower Cross Braces: | \$19,152.03  |
|                     |              |
| Subtotal            | \$287,995.98 |
|                     |              |

**Construction timeline/project schedule:** Abutment construction expected take place during August-September 2025.

Please let us know if you have any questions or would like to schedule a call to discuss.

Regards,



Andrea L. Coaxum  
Borough Manager  
Perkasie Borough



**Borough of Perkasio  
Historic Wooden Covered Bridge  
4618DR-PA Project# 662216  
Change of Scope #3 - Cost Estimate and Components Update**

**FEMA Original Cost Estimate**

**Deck, 2"x12" Oak (2 Layers) 93.25 FT x 15 FT**

| RSMeans Item Description                                       | Quantity | Unit | Unit Cost | Total Cost   |
|----------------------------------------------------------------|----------|------|-----------|--------------|
| 061323100902 Heavy Timber Framing, 2" x 10", Floor Planks, T&G | 5,595    | BF   | \$ 6.63   | \$ 37,095.00 |

**Deck Framing (Floor Joists/Transverse Beams/Top Chords)**

| RSMeans Item Description                                           | Quantity | Unit | Unit Cost | Total Cost   |
|--------------------------------------------------------------------|----------|------|-----------|--------------|
| 061323100502 10" x 10" heavy mill timber framing, structural grade | 180      | LF   | \$ 49.58  | \$ 8,930.00  |
| 061323100302 6" x 6" heavy mill timber framing, structural grade   | 1,306    | LF   | \$ 18.54  | \$ 24,220.00 |
|                                                                    |          |      |           | \$ 33,150.00 |

**Bottom Chord and Bearing Support (Bottom Chords/Posts at Wingwalls)**

| RSMeans Item Description | Quantity | Unit | Unit Cost | Total Cost |
|--------------------------|----------|------|-----------|------------|
|                          |          |      |           |            |

**Lower Cross Bracing**

| RSMeans Item Description | Quantity | Unit | Unit Cost | Total Cost |
|--------------------------|----------|------|-----------|------------|
|                          |          |      |           |            |

**Knee Braces, Upper Cross Bracing, and Collar Ties**

| RSMeans Item Description | Quantity | Unit | Unit Cost | Total Cost |
|--------------------------|----------|------|-----------|------------|
|                          |          |      |           |            |

**Incidental Items**

| RSMeans Item Description                                                                                                         | Quantity | Unit  | Unit Cost   | Total Cost   |
|----------------------------------------------------------------------------------------------------------------------------------|----------|-------|-------------|--------------|
| 015419500500 Crane crew, daily use for small jobs, 80-ton truck mounted hydraulic crane, portal to portal                        | 6        | DAYS  | \$ 4,456.00 | \$ 26,740.00 |
| 024119190840 Selective demolition, rubbish handling, dumpster, 40 CY, 10 ton capacity, weekly rental, includes one dump per week | 2        | Weeks | \$ 850.00   | \$ 1,700.00  |

**Roofing, Cladding, Lattice Members and Middle Chords**

| RSMeans Item Description | Quantity | Unit | Unit Cost | Total Cost |
|--------------------------|----------|------|-----------|------------|
|                          |          |      |           |            |

**Updated Cost Estimate - Wood Research Development**

**Deck, 3"x12" Oak (2 layers)**

| Description                                           | Quantity | Unit | Unit Cost | Total Cost  |
|-------------------------------------------------------|----------|------|-----------|-------------|
| Heavy Timber Framing, 2" x 10", Floor Planks, T&G     | 1070     | BF   | \$6.84    | \$7,321.48  |
| Hardware                                              | 5152     | BF   | \$1.15    | \$5,924.80  |
| Labor to remove and replace existing salvaged decking | 4082     | BF   | \$6.35    | \$25,922.74 |

**Deck Framing (Floor Joists/Transverse Beams/Top Chords)**

| Description                                                                  | Quantity | Unit | Unit Cost | Total Cost  |
|------------------------------------------------------------------------------|----------|------|-----------|-------------|
| 12" x 10" heavy mill timber framing, structural grade (Transverse Beams)     | 84       | LF   | \$49.58   | \$4,164.72  |
| 6" x 6" heavy mill timber framing, structural grade (Floor Joists)           | 290      | LF   | \$18.54   | \$5,381.07  |
| Remove and replace Floor Joists and Transverse Beams and replace all members | 1356     | LF   | \$38.75   | \$52,531.34 |
| Repair Connections-Top Chords                                                | 110      | EA   | \$295.00  | \$32,450.00 |

**Bottom Chord and Bearing Support (Bottom Chords/Posts at Wingwalls)**

| Description                                                         | Quantity | Unit | Unit Cost | Total Cost  |
|---------------------------------------------------------------------|----------|------|-----------|-------------|
| 3" x 12" heavy mill timber framing, structural grade (Bottom Chord) | 387      | LF   | \$56.70   | \$21,942.90 |
| Repair Bottom Chord Conenctions                                     | 60       | EA   | \$338.00  | \$20,280.00 |
| 6" x 8" heavy mill timber framing, structural grade (Corner Post)   | 64       | LF   | \$75.60   | \$4,838.40  |
| Repair Corner Connections                                           | 16       | EA   | \$968.50  | \$15,496.00 |

**Lower Cross Bracing**

| Description                                                               | Quantity | Unit | Unit Cost | Total Cost  |
|---------------------------------------------------------------------------|----------|------|-----------|-------------|
| 6" x 6" heavy mill timber framing, structural grade (Lower Cross Bracing) | 81       | LF   | \$21.32   | \$1,718.95  |
| Repair Connections                                                        | 23       | EA   | \$757.96  | \$17,433.08 |

**Knee Braces, Upper Cross Bracing, and Collar Ties**

| Description                                                             | Quantity | Unit | Unit Cost  | Total Cost  |
|-------------------------------------------------------------------------|----------|------|------------|-------------|
| 5"x7" heavy mill timber framing, structural grade (Knee Braces)         | 216      | LF   | \$42.88    | \$9,261.00  |
| 4"x6" heavy mill timber framing, structural grade (Upper Cross Bracing) | 326      | LF   | \$26.04    | \$8,501.29  |
| 3"x10" heavy mill timber framing, structural grade (Collar Ties)        | 80       | LF   | \$28.35    | \$2,268.00  |
| Knee Brace Connections                                                  | 24       | EA   | \$1,875.00 | \$45,000.00 |
| Repair Connections                                                      | 13       | EA   | \$1,047.20 | \$13,613.60 |

**Incidental Items**

| Description                                                                                  | Quantity | Unit | Unit Cost   | Total Cost  |
|----------------------------------------------------------------------------------------------|----------|------|-------------|-------------|
| Crane crew, daily use for small jobs, 80-ton truck mounted hydraulic crane, portal to portal | 12       | DAYS | \$3,735.00  | \$44,820.00 |
|                                                                                              |          |      |             |             |
| Shipping                                                                                     | 1        | EA   | \$9,730.00  | \$9,730.00  |
| Project Management                                                                           | 1        | EA   | \$10,230.00 | \$10,230.00 |

**Roofing, Cladding, Lattice Members and Middle Chords**

| Description                                                          | Quantity | Unit | Unit Cost   | Total Cost  |
|----------------------------------------------------------------------|----------|------|-------------|-------------|
| Cladding                                                             | 1316     | SQFT | \$22.50     | \$29,601.00 |
| Cladding Repair                                                      | 1076     | SQFT | \$11.25     | \$12,109.50 |
| Roofing                                                              | 1920     | SQFT | \$17.50     | \$33,600.00 |
| 3"x4" heavy mill timber framing, structural grade (Secondary Rafter) | 304      | LF   | \$14.70     | \$4,468.80  |
| 5"x7" heavy mill timber framing, structural grade (Main Rafter)      | 64       | LF   | \$42.88     | \$2,744.00  |
| Support bridge relocation and staging                                | 1        | EA   | \$25,000.00 | \$25,000.00 |
| Bridge Placement and Anchorage                                       | 4        | EA   | \$4,540.00  | \$18,160.00 |
| 3"x10" heavy mill timber framing, structural grade (Lattice members) | 342      | DAYS | \$36.75     | \$12,573.45 |
| Lattice Restoration                                                  | 2340     | SQFT | \$25.00     | \$58,500.00 |
| Lattice Connection Repairs                                           | 24       | EA   | \$1,047.20  | \$25,132.80 |
| Lattice End Connection Repairs                                       | 32       | EA   | \$1,475.00  | \$47,200.00 |

Borough of Perkasio  
Historic Wooden Covered Bridge  
4618DR-PA Project# 662216  
Change of Scope #3 - Cost Estimate and Components Update

| Abutments    |                                                                                                   |          |      |                               |                      |
|--------------|---------------------------------------------------------------------------------------------------|----------|------|-------------------------------|----------------------|
| RSMeans Item | Description                                                                                       | Quantity | Unit | Unit Cost                     | Total Cost           |
| 044110100600 | Rubble Stone Wall up to 18" thick, in mortar bed                                                  | 135.0    | CF   | \$ 55.47                      | \$ 7,490.00          |
| 042210260550 | Concrete Block, foundation wall, trowel cut joints, normal weight, solid, 2000 psi, 8" x 8" x 16" | 22.5     | SF   | \$ 15.19                      | \$ 350.00            |
| 321123230301 | Base course drainage layers, crushed stone base, compacted, to 4" deep                            | 52.2     | SY   | \$ 7.93                       | \$ 420.00            |
| 321123236900 | Base course drainage layers for small and irregular areas, add 50% Labor and Equipment            | 52.2     | SY   | \$ 0.70                       | \$ 40.00             |
| 321123237000 | Base course drainage layers, prepare and roll sub-base, small areas to 2500 SY                    | 52.2     | SY   | \$ 2.49                       | \$ 140.00            |
| 320610100020 | Sidewalks, driveways, and patios, asphaltic concrete, 4" thick                                    | 59.2     | SY   | \$ 28.14                      | \$ 1,670.00          |
|              |                                                                                                   |          |      | Sub Total                     | \$ 108,795.00        |
|              |                                                                                                   |          |      | Contingency                   |                      |
|              |                                                                                                   |          |      | Overhead                      |                      |
|              |                                                                                                   |          |      | Bonding                       |                      |
|              |                                                                                                   |          |      | Quality, Safety, and Services |                      |
|              |                                                                                                   |          |      | Submittals and As-Builts      |                      |
|              |                                                                                                   |          |      | Mobilization 5%               | \$ 5,440.00          |
|              |                                                                                                   |          |      |                               | <b>\$ 114,235.00</b> |

| Abutments             |          |      |                               |              |
|-----------------------|----------|------|-------------------------------|--------------|
| Description           | Quantity | Unit | Unit Cost                     | Total Cost   |
| Excavation            | 354      | EA   | \$36.00                       | \$12,744.00  |
| Concrete              | 154      | YDS  | \$1,500.00                    | \$231,000.00 |
| Borrow Fill           | 150      | YDS  | \$75.00                       | \$11,250.00  |
| Rebar                 | 16815    | LBS  | \$5.00                        | \$84,075.00  |
| 6"Subbase             | 443      | SY   | \$15.06                       | \$6,671.58   |
| Superpave 3"          | 294      | SY   | \$21.36                       | \$6,279.84   |
| Superpave 1.5" (WC)   | 294      | SY   | \$10.27                       | \$3,019.38   |
| Topsoil and seeding   | 6        | YDS  | \$250.00                      | \$1,500.00   |
| Mobilize & Demobilize | 1        | EA   | \$15,000.00                   | \$15,000.00  |
| Foundation Demolition | 1        | EA   | \$10,000.00                   | \$10,000.00  |
| E&S Control           | 1        | EA   | \$3,500.00                    | \$3,500.00   |
| Abutment Drains       | 1        | EA   | \$2,500.00                    | \$2,500.00   |
| Bonds and Insurance   | 1        | EA   | \$6,600.00                    | \$6,600.00   |
|                       |          |      | Sub Total - Abutments         | \$394,140    |
|                       |          |      | Sub Total-Timber Structure    | \$627,919    |
|                       |          |      | Contingency                   | \$31,396     |
|                       |          |      | Overhead                      | \$43,954     |
|                       |          |      | Bonding                       | \$18,838     |
|                       |          |      | Quality, Safety, and Services | \$31,396     |
|                       |          |      | Submittals and As-Builts      | \$18,838     |
|                       |          |      | Mobilization                  | \$80,100     |
|                       |          |      |                               |              |
|                       |          |      | \$                            | 1,246,580    |

# Perkasie Borough Purchases Kratz Garden Property, Preserving Community Tradition

By [MediaNews Group](#)

PUBLISHED: June 23, 2025 at 12:21 PM EDT

PERKASIE — Perkasie Borough has announced the official acquisition of the Kratz family's garden property, solidifying its place as a permanent part of the borough's park system.

Now formally named the Jerry D. Kratz Community Garden, the space honors the Kratz family's generosity and their decades-long commitment to cultivating a love of gardening and community connection, said a Perkasie borough press release.

Since 2007, the Kratz family has allowed the borough to use their privately-owned land, located at the corner of N. 5th St and Shadywood Drive, for a seasonal community garden. The Perkasie Parks & Recreation Department has managed the property, inviting residents and non-residents alike to take on a 10' x 10' garden plot. Over the years, it has become a cherished destination for individual gardeners, local clubs such as the Perkasie Garden Club, and anyone seeking a quiet, natural respite in the northern part of the borough.

"The community garden has been a part of our family's heart for many years," said the Kratz family. "We are deeply honored that Perkasie Borough has chosen to preserve this space for future generations. Knowing that the garden will remain a welcoming, peaceful place for all fills us with gratitude and joy."

Over the years, the garden has become a cherished destination for individual gardeners, local clubs and anyone seeking a quiet, natural respite. (Courtesy of Geoff Patton / Montgomery Media)

Over the past 18 years, the garden has been maintained by borough staff in partnership with dedicated community volunteers, and the site is listed in the 2010 Open Space Plan as one of the borough's top land preservation priorities. The Parks and Recreation Board highlighted the site's unique role as the only passive park space in the northern end of town and strongly recommended that the borough pursue permanent acquisition, said the release.

"Perkasie Borough Council is committed to preserving spaces that enhance quality of life for our residents," said David Worthington, Chair of the Parks & Recreation Committee. "The Kratz Garden is a wonderful example of how thoughtful, long-term stewardship can grow into something truly meaningful for a community. We are grateful to the Kratz family for their vision and generosity and thrilled to carry that legacy forward."

With the purchase now complete, the garden joins the Borough's park system and will continue to be managed by the Parks and Recreation Department. Plans for a ribbon cutting event and ongoing community involvement and seasonal use will be announced soon, said the release.

For more information about the Jerry D. Kratz Community Garden and Perkasie's park programs, visit <https://perkasieborough.org> or follow Perkasie Borough on Facebook and Instagram.

# Landis Market, Perkasio Fire Company receive Jim Purcell Memorial Award

By [John Worthington](mailto:jworthington@montgomerynews.com) | [jworthington@montgomerynews.com](mailto:jworthington@montgomerynews.com) | The Reporter  
UPDATED: July 3, 2025 at 2:06 PM EDT

PERKASIE — Perkasio Borough recently honored Landis Market and the Perkasio Fire Company with its second annual Jim Purcell Memorial Award for service to the community.

The award, named after former Perkasio council member Jim Purcell, was presented at Perkasio's Community Day on June 28 in Lenape Park. Perkasio mayor Jeff Hollenbach, who chose the award recipients, proclaimed the annual award in April 2024 to honor individuals and organizations who have made significant contributions to the betterment of the community.

"There are the four words I think of for [Purcell] – service, commitment, dedication and integrity, and these two parties represent those words very well," said Hollenbach.

Founded in 1938 by Frank and Sadie Landis, Landis Market started as a small neighborhood grocery store on Main Street in Telford. Now a third-generation, family-owned business with multiple locations, including Perkasio, Landis Market employs nearly 500 team members and supports over 200 local charitable and nonprofit organizations, with weekly donations to local food banks, said a Perkasio Borough press release.

"They have been a fixture in Perkasio for many years, feeding our community," said Hollenbach. "For years, they've provided fresh food, friendly service and unwavering support during both ordinary days and times of need. I have deep appreciation for their commitment to our residents and for making our town a better place to live."

Meanwhile, the Perkasio Fire Company has served the community since its formation in 1890 and is currently celebrating its 135th anniversary. Today, the company operates as an all-volunteer organization, with nearly 100 volunteer firefighters, fire police, and contributing members providing 24/7 service to the Pennridge area, said the release.

"They have been a bedrock of our community safety and well-being," said Hollenbach. "Their unwavering commitment, bravery and countless hours of service reflect the very essence of what Jim Purcell championed – a deep love for Perkasio and a tireless dedication to its residents."

Scott Landis, Landis Market chairman, and Jason Trotter, Perkasio Fire Company Chief, expressed immense gratitude for the award.

"I'm humbled and honored to accept Jim Purcell Memorial Award tonight on behalf of the Landis family and the nearly 500 team members who work with us at Landis Market," said Landis. "It means a great deal to us to be recognized, not just as a local business but to be part of the fabric of the community."

"Jim was always an advocate of Perkasio Fire Company, was always willing to step up and look for ways he could lead the borough into areas where we needed help," said Trotter. "It's a cool honor to accept this award named after him, and we appreciate it."

Purcell passed away in November 2023 at the age of 70. His public service in Perkasio began in 1977 when he was appointed to the Pennridge Wastewater Treatment Authority. He additionally served on the Perkasio Regional Authority and was a member of the Pennridge Jaycees. He was first elected to Perkasio Borough Council in 1992, serving as vice president for many years, said his obituary.

Some of Purcell's most notable acts included spearheading the construction of the Lenape Park walking trail, assisting in the relief and reconstruction efforts after the devastating 1988 Perkasio fire and developing Perkasio's widely-recognized electric department, said Hollenbach.

"When the great Perkasio Fire of 1988 occurred, Jim was on the roof of his building with a firehose, wetting the roofs so the sparks from the fire wouldn't spread," said sister Maureen Purcell. "After the fire, he helped raise \$50,000 for the [relief efforts]. I'm very honored to represent him."

"Jim poured his considerable gifts and talents into this community because he loved Perkasio," said Hollenbach. "We as a community are clearly blessed by his effort."

*Originally Published: July 1, 2025 at 12:34 PM EDT*

# Perkasie Borough celebrates National Park and Recreation Month

By [MediaNews Group](#)

UPDATED: July 7, 2025 at 4:47 PM EDT

PERKASIE — This July, Perkasie Borough joins the nationwide celebration of Park and Recreation Month, honoring the essential role that parks, programs, and recreation professionals play in strengthening our community.

At the June 16, 2025 Perkasie Borough Council meeting, Mayor Jeff Hollenbach officially proclaimed July as National Parks and Recreation Month in Perkasie borough, encouraging all residents to recognize the vital contributions of parks and recreation to our quality of life. The 2025 theme, “Build Together, Play Together,” marks the 40th anniversary of Park and Recreation Month, first launched in 1985, said a Perkasie borough press release.

Perkasie’s Park and Recreation Department will be celebrating all month long with a series of community-focused events and activities in the borough’s parks designed to bring people together through play, wellness, and creativity. From yoga in the park and magic shows to outdoor concerts and family friendly events, the month will highlight how shared spaces and programs cultivate lifelong memories, friendships, and community bonds.

“Park and recreation services are vital to the health and well-being of our residents,” said David Worthington, Perkasie Borough Councilman. “This year’s theme reminds us that together, we’re building accessible, inclusive, and thriving spaces that serve everyone in our community—now and for future generations.”

Perkasie borough invites residents of all ages to join the celebration, connect with neighbors, and discover all that our parks have to offer, said the release.

A full schedule of July events and programs are available on the borough’s website at [perkasieborough.org](http://perkasieborough.org). Highlights will also be posted on the Perkasie Parks and Recreation Facebook and Instagram pages.

*Originally Published: July 7, 2025 at 4:42 PM EDT*